

PROPOSED NEW CONSTRUCTION FOR :

BRELIE GEAR

CORPORATE DRIVE
WAUKESHA, WISCONSIN



5 EXTERIOR PERSPECTIVE LOOKING
SOUTHWEST Copy 1 Copy 2

SHEET INDEX			
Sheet Order	Sheet Number	Sheet Name	Discipline Order
0-GENERAL	T1.1	TITLE SHEET	0-GENERAL
1-CIVIL	SV1.0	PLAT OF SURVEY	1-CIVIL
2	C1.0	SITE PLAN	1-CIVIL
3	C2.0	SITE GRADING PLAN	1-CIVIL
4	C3.0	SITE UTILITY PLAN	1-CIVIL
	C4.0	EROSION CONTROL PLAN	1-CIVIL
2-LANDSCAPING	L1.0	OVERALL LANDSCAPE PLAN	2-LANDSCAPING
	L1.1	LANDSCAPE DETAILS, NOTES AND SCHEDULES	2-LANDSCAPING
4-ARCHITECTURAL	A1.0	ARCHITECTURAL SITE PLAN	4-ARCHITECTURAL
	A1.1	FLOOR PLAN	4-ARCHITECTURAL
	A1.2	ENLARGED PLANS	4-ARCHITECTURAL
	A4.1	ROOF PLAN	4-ARCHITECTURAL
	AS.1	EXTERIOR ELEVATIONS	4-ARCHITECTURAL
	AS.2	EXTERIOR PERSPECTIVES	4-ARCHITECTURAL
	AS.3	AERIAL PERSPECTIVE LOOKING SOUTHWEST	4-ARCHITECTURAL
	AS.4	AERIAL PERSPECTIVE LOOKING NORTHWEST	4-ARCHITECTURAL
	A7.1	WALL SECTIONS	4-ARCHITECTURAL
	A7.2	WALL SECTIONS	4-ARCHITECTURAL
7-ELECTRICAL	E1.0	EXTERIOR PHOTO-METRIC DRAWINGS	7-ELECTRICAL

PROJECT BUILDING INFORMATION:

CODE:	SPS 340-366 WISCONSIN COMMERCIAL BUILDING CODE (IBC 2015, IECC 2015, IBC 2015, IMC 2015 AND IFGC 2015) SPS 314 FIRE PREVENTION SPS 316 ELECTRICAL SPS 381-387 PLUMBING	
OCCUPANCY:	PRIMARY F-2 (MODERATE HAZARD FACTORY INDUSTRIAL) SECONDARY S-1 (MODERATE HAZARD STORAGE) SECONDARY B (OFFICE/BUSINESS)	
CLASS OF CONSTRUCTION:	TYPE 2B	
SPRINKLER SYSTEM:	FULL	
FLOOR LEVELS:	1	
NUMBER OF STORIES:	1	
BUILDING AREA:	36,546 SF	NOTE: ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SPRINKLER ENGINEERING BY DESIGN-BUILD CONTRACTORS
ZONING:	M-3 LIMITED BUSINESS & INDUSTRIAL PARK	
SETBACKS:	40' STREET 10' SIDE 25' REAR	
PARKING:	29 PARKING STALLS	

PLAN COMMISSION SET
JANUARY 21, 2019

OWNER :

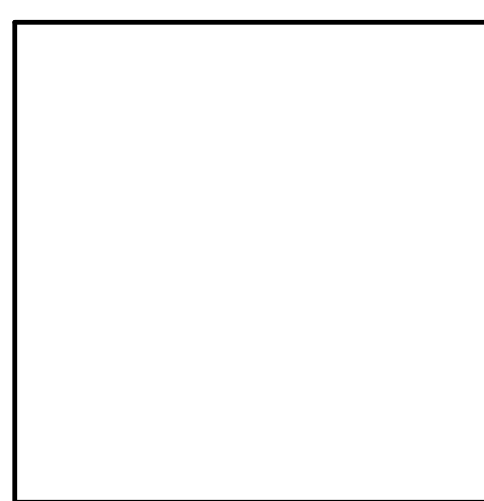
BRELIE GEAR
OWNER REPRESENTATIVE:
STEVE JANKE
2715 S. GLADSTONE PLACE
MILWAUKEE, WI 53207
(414) 481-5488 PHONE

GENERAL CONTRACTOR :

BRIOHN BUILDING CORPORATION
CARY BILICKI
3885 N. BROOKFIELD RD., SUITE 200
BROOKFIELD, WISCONSIN 53045
(262) 790-0500 PHONE
(262) 790-0505 FAX

CIVIL ENGINEER:

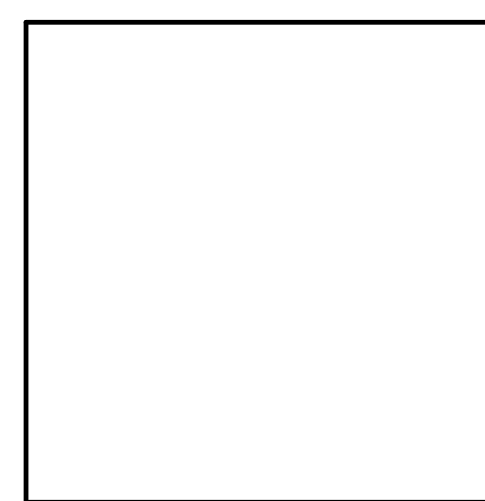
CJ ENGINEERING, INC.
CHRISTOPHER A. JACKSON, PE PLS
9205 W. CENTER STREET, SUITE 214
MILWAUKEE, WI 53222
PH: (414) 443-1312 X222
CELL: (414) 940-4450



SUPERVISING PROFESSIONAL

ARCHITECT :

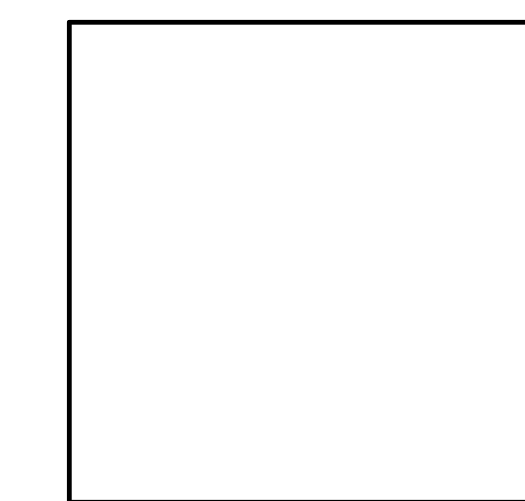
BRIOHN DESIGN GROUP LLC
CHRISTOPHER WENZLER, AIA
DOMENICO FERRANTE, AIA
3885 N. BROOKFIELD RD., SUITE 200
BROOKFIELD, WISCONSIN 53045
(262) 790-0500 PHONE
(262) 790-0505 FAX



SUPERVISING PROFESSIONAL

STRUCTURAL ENGINEER:

BRIOHN DESIGN GROUP LLC
KEVIN JANKOWSKI, PE
3885 N. BROOKFIELD RD., SUITE 200
BROOKFIELD, WISCONSIN 53045
(262) 790-0500 PHONE
(262) 790-0505 FAX



SUPERVISING PROFESSIONAL

LOCATION MAPS:



REGION LOCAITON MAP



SITE LOCATION MAP

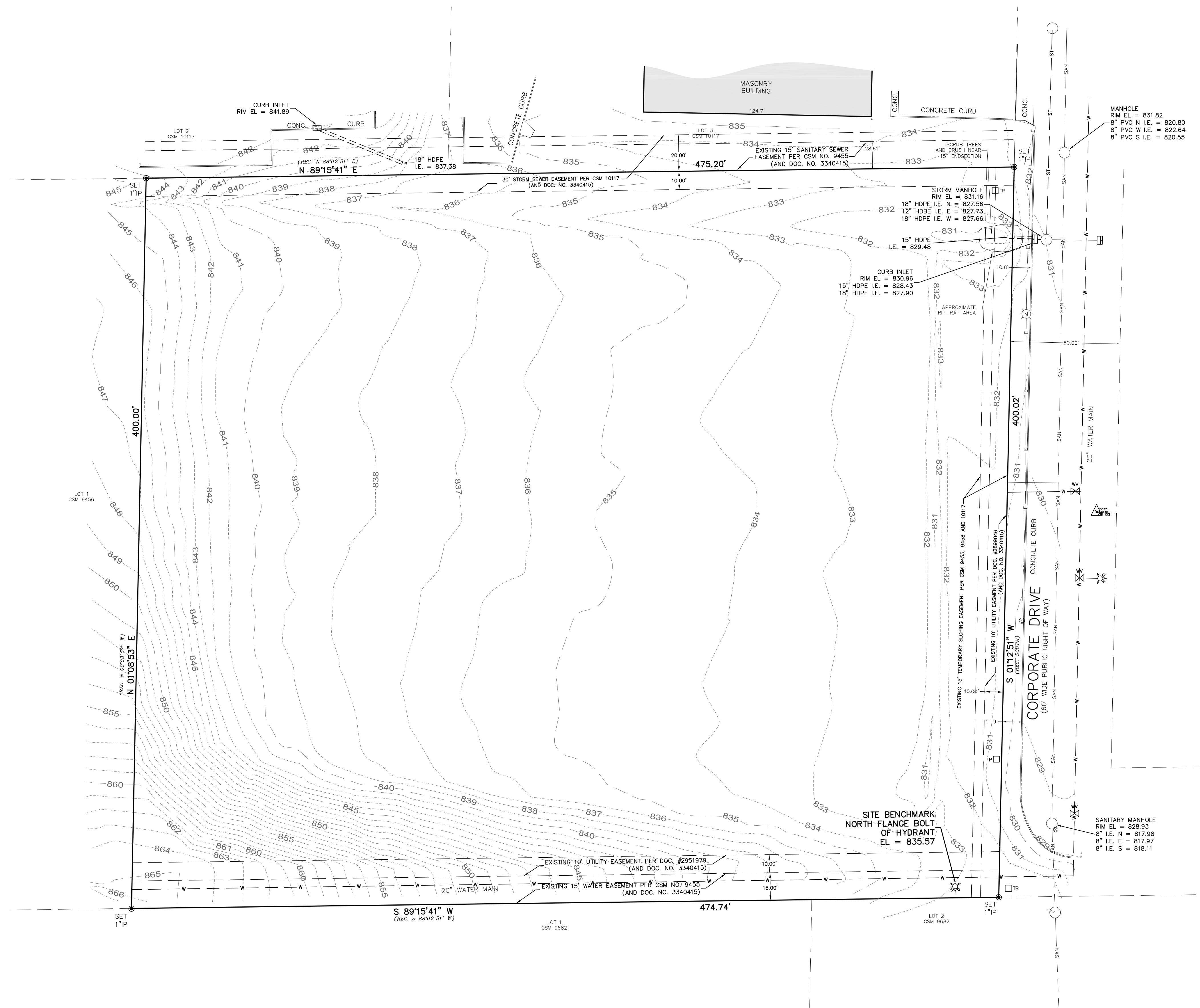


TITLE SHEET

BRELIE GEAR
CORPORATE ROAD
WAUKESHA WI

JOB: 3123
DRAWN: CJR
CHECKED: DF
DATE: 01-21-2019
SHEET:

T1.1



LEGAL DESCRIPTION:
 LOT 4 OF CERTIFIED SURVEY MAP NO. 10,117, BEING A REDIVISION OF LOT 3 OF CSM NO. 9458 AND LOCATED IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, AND THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 22, TOWN 6 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN.
 CONTAINING: 189,885 SQUARE FEET OR 4.3591 ACRES.

- NOTES
- LEGAL DESCRIPTION FROM CSM 10117.
 - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 59133C03266, WITH A DATE OF IDENTIFICATION OF 11/05/2014, IN COMMUNITY NO. 550491, THE CITY OF WAUKESHA, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
 - PROJECT BENCHMARK - CHISELED CROSS FOUND IN TOP OF NW SIDE OF HYD. FLANGE OF HYDRANT 27.55 FEET SE OF THE WEST CORNER OF SECTION 22-6-19, EL. = 857.384.
 - SITE BENCHMARK - NORTH FLANGE BOLT OF HYDRANT AS SHOWN HEREON.
 - ELEVATIONS BASED ON INFORMATION FROM SEWRPC AND ARE AT NGVD 29 DATUM.
 - SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), WAUKESHA COUNTY: NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NA83(2011)).
 - ZONING: M-3 LIMIT BUSINESS AND INDUSTRIAL PARK DISTRICT
 SETBACKS: FRONT = 40'
 SIDE = 10'
 REAR = 25'

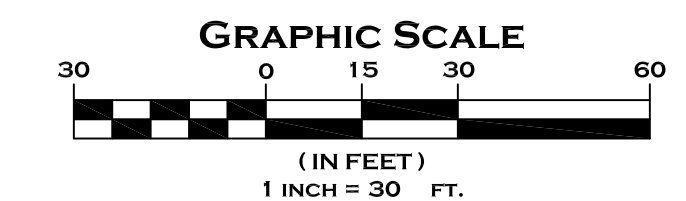
BRELIE GEAR
 CORPORATE ROAD
 WAUKESHA, WI

CJE NO.: 184IRIEX
 JANUARY 21, 2019

LEGEND	
— SAN —	SANITARY SEWER
— ST —	STORM SEWER
— W —	WATER MAIN
— G —	BURIED GAS LINE
— TEL —	BURIED TELEPHONE LINE
— E —	BURIED ELECTRIC LINE
— FO —	BURIED FIBER OPTIC LINE
— OUL —	OVERHEAD UTILITY LINES
— CATV —	BURIED CABLE TELEVISION LINE
— COMB —	COMBINATION SEWER
— WOOD —	WOOD FENCE
— METAL —	METAL FENCE
— BRUSH —	EDGE OF TREES AND BRUSH
— 94.32 95.2 —	DOOR SILL ELEVATION
—	FIRE DEPARTMENT CONNECTION
—	ELECTRIC TRANSFORMER
—	ELECTRIC PEDESTAL
—	ELECTRIC BOX AT GRADE
—	TELEPHONE BOX AT GRADE
—	TELEPHONE PEDESTAL
—	TV PEDESTAL
—	GAS METER
—	AIR CONDITIONER
—	UTILITY POLE
—	WOOD SIGN
—	METAL SIGN
—	FLAG POLE
—	BOLLARD
—	BOLLARD LIGHT
—	MAL BOX
—	FIBER OPTIC MARKER
—	SOIL NAIL
—	HYDRANT
—	WATER VALVE
—	GAS VALVE
—	MANHOLE
—	STORM MANHOLE
—	CATCH BASIN
—	CURB INLET
—	METAL LIGHT POLE
—	CONCRETE LIGHT POLE
—	WOOD LIGHT POLE
—	MAL BOX
—	FIBER OPTIC MARKER
—	SOIL NAIL

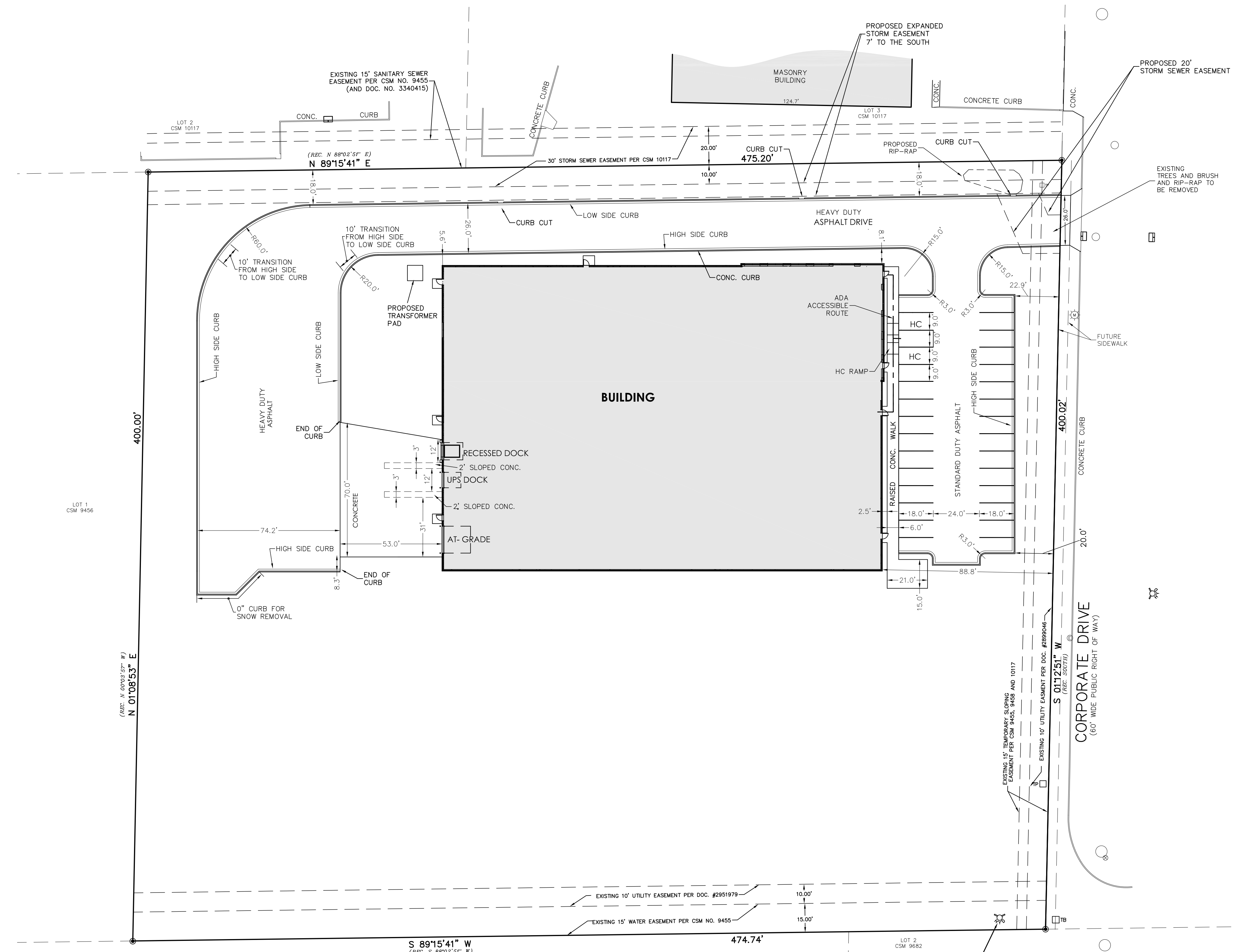
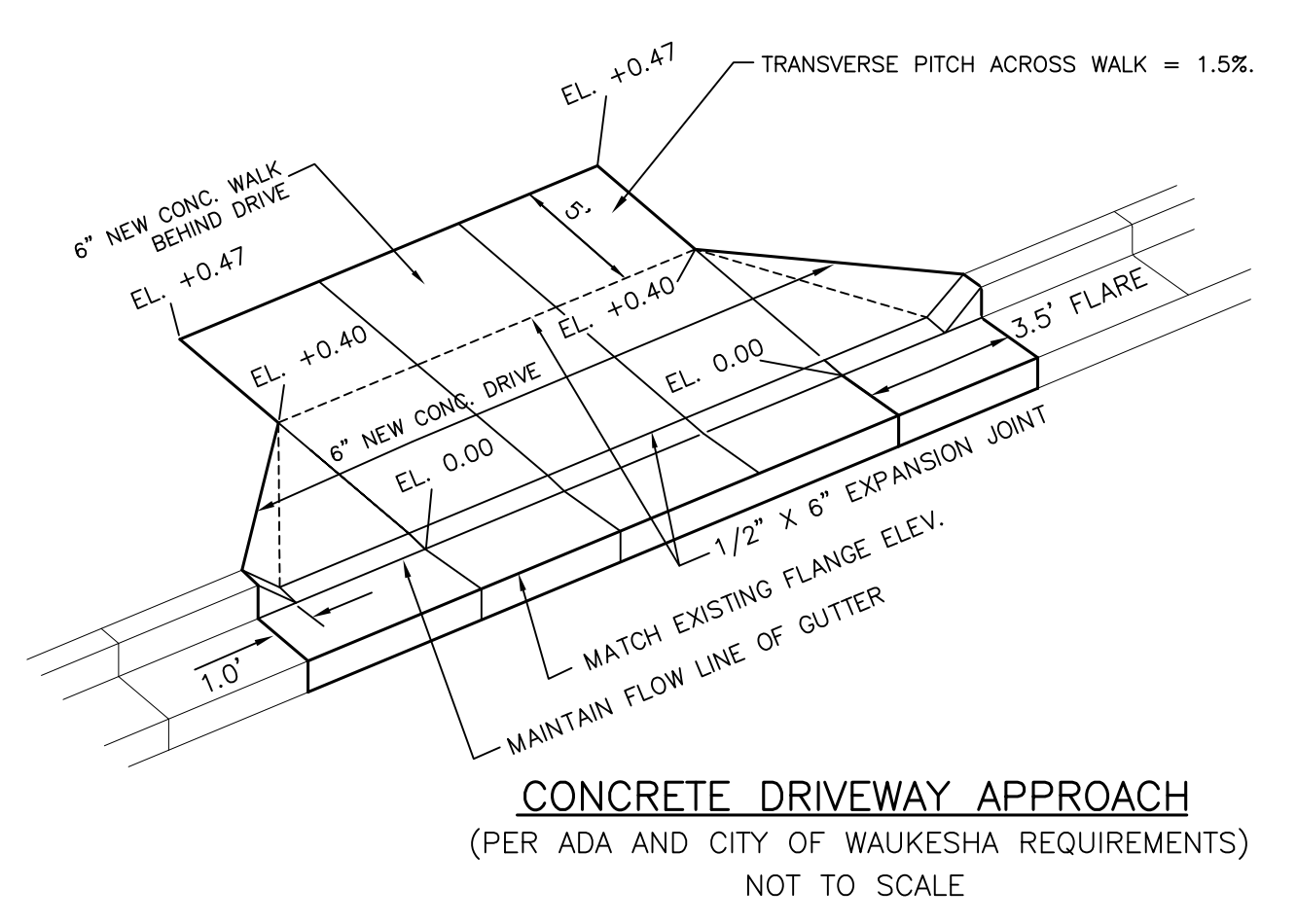
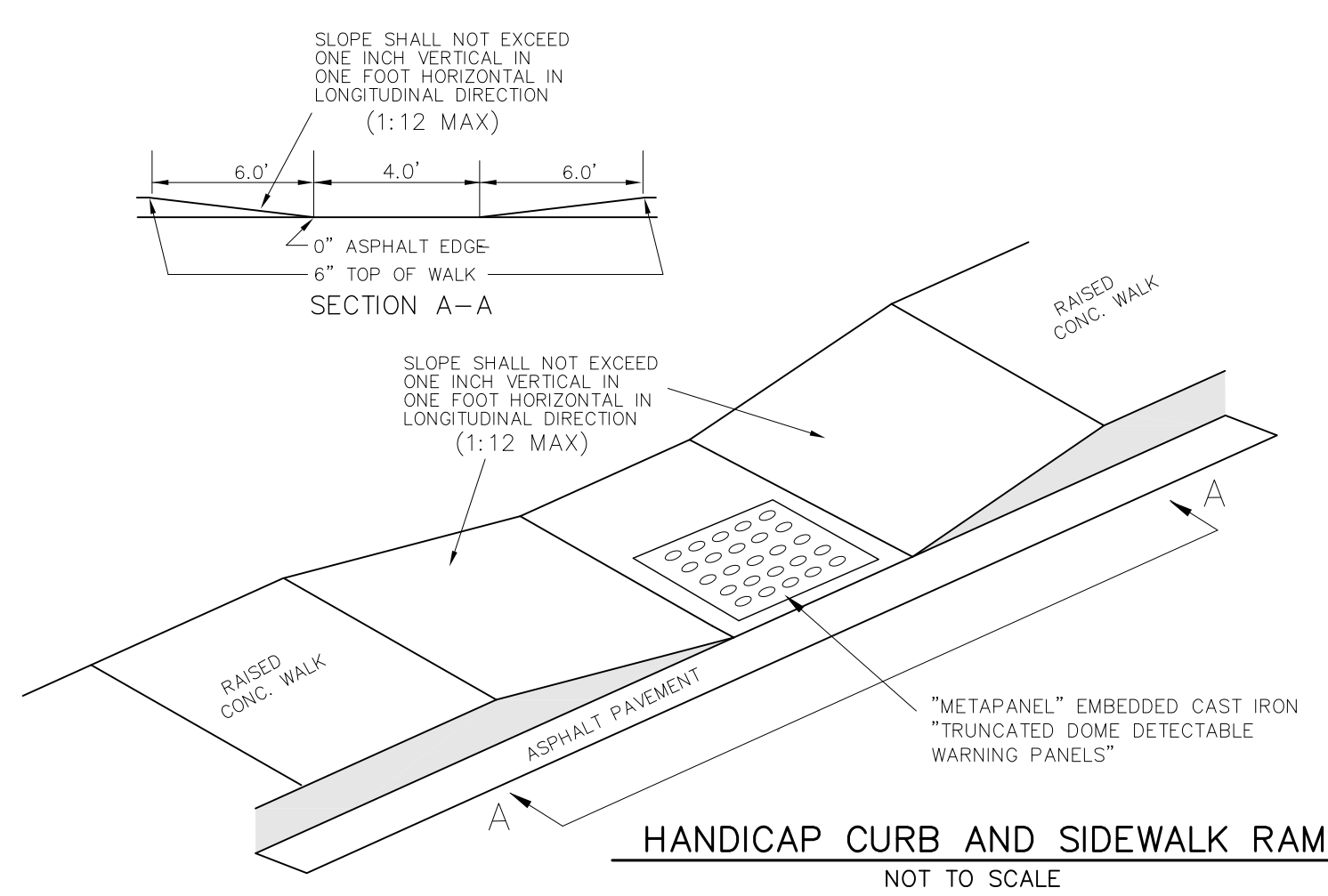
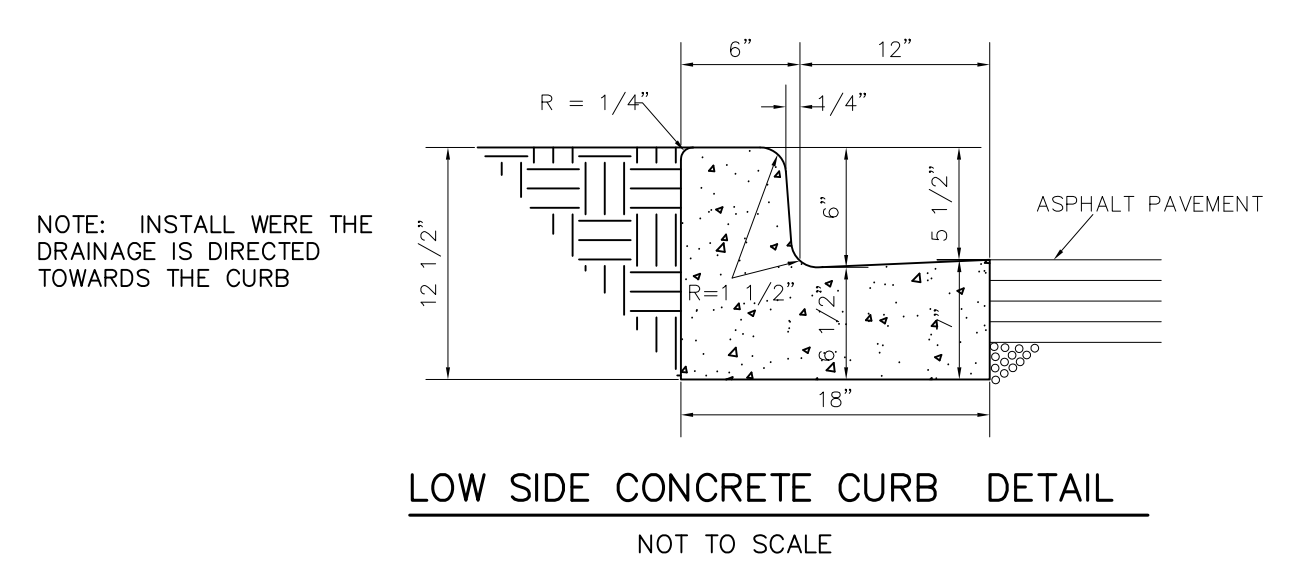
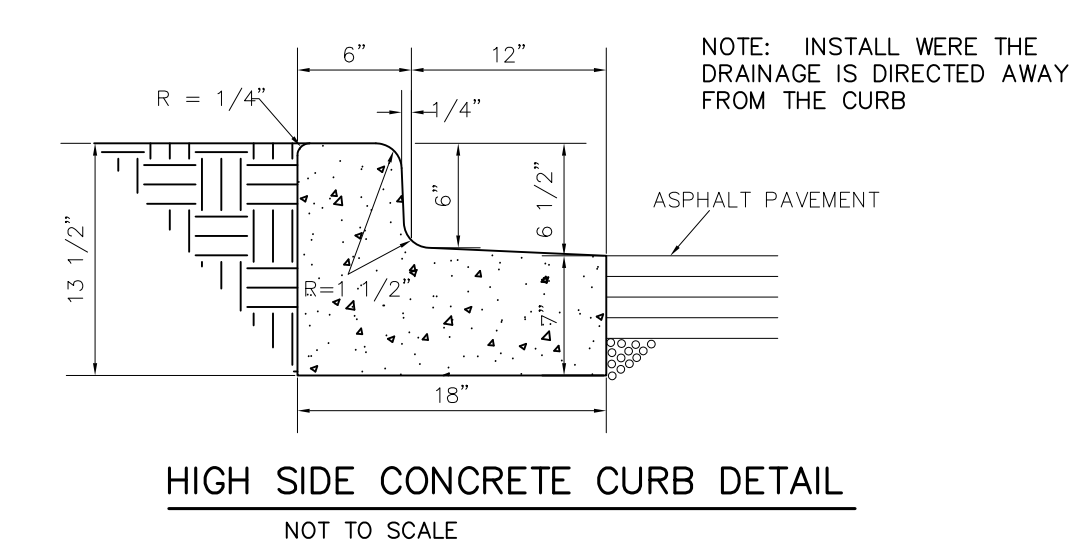
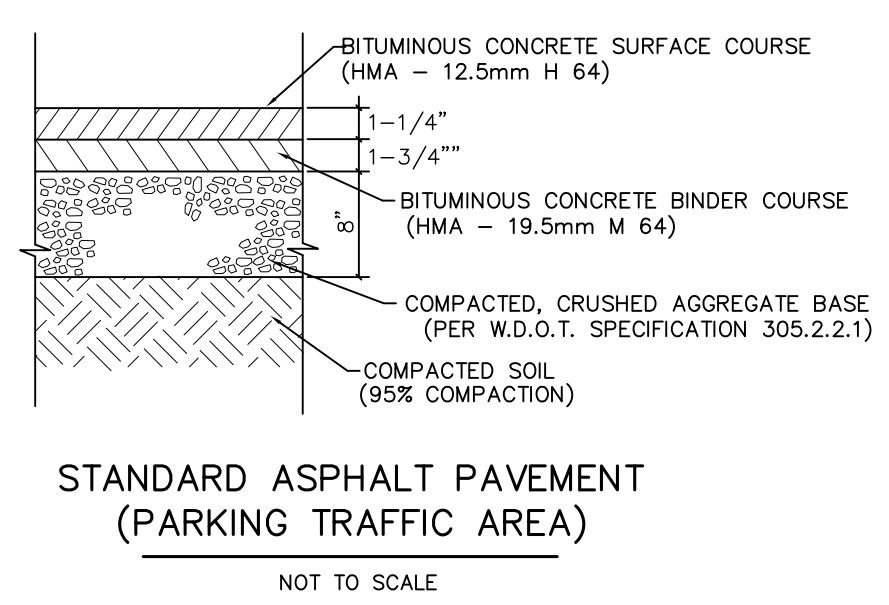
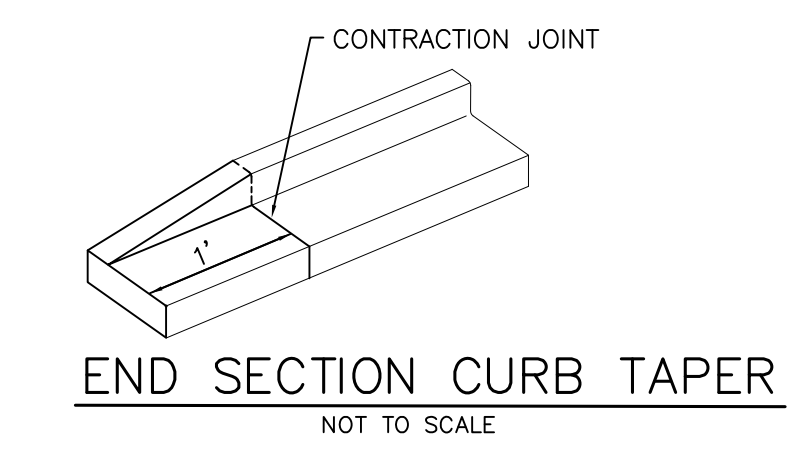
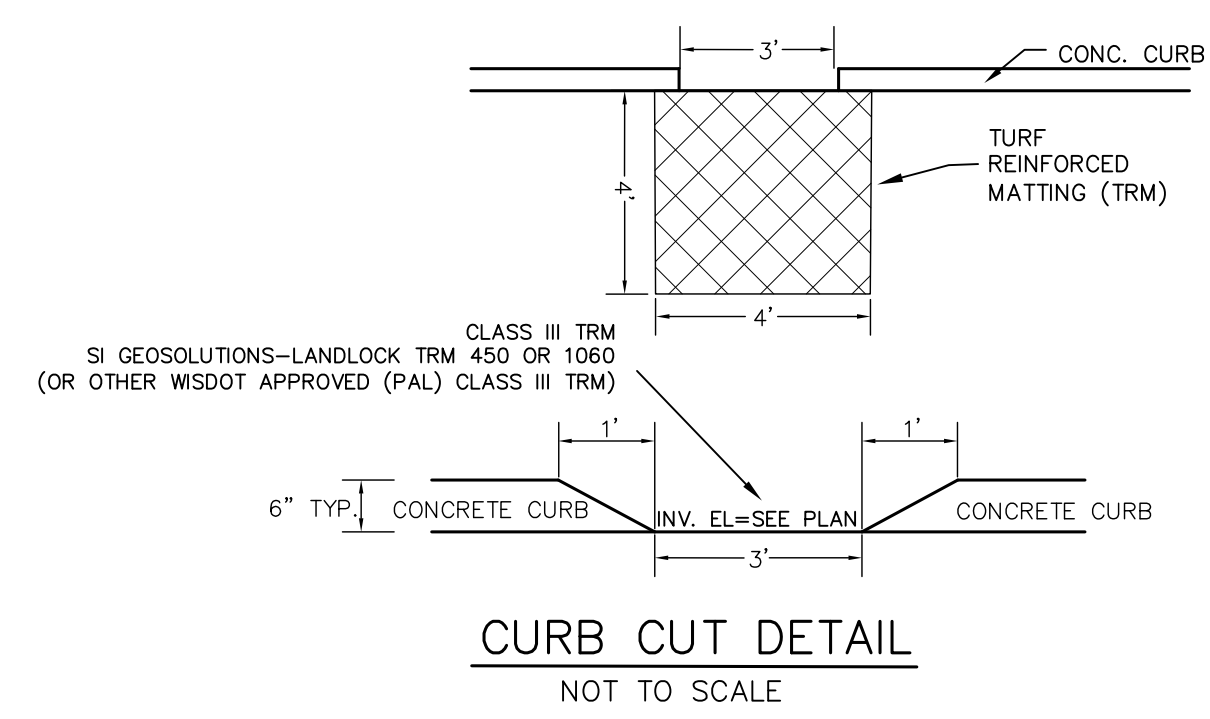
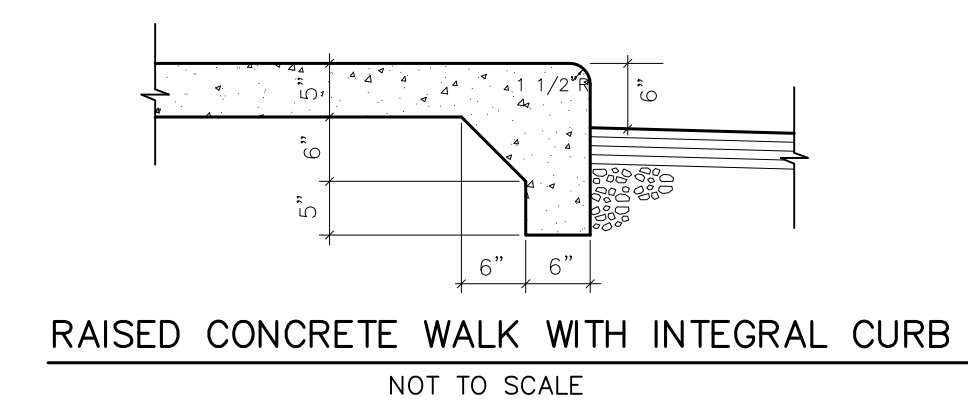
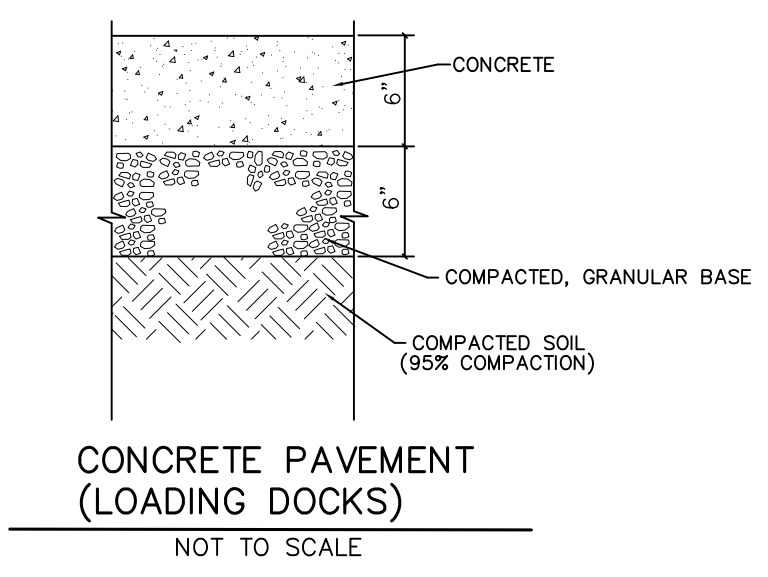
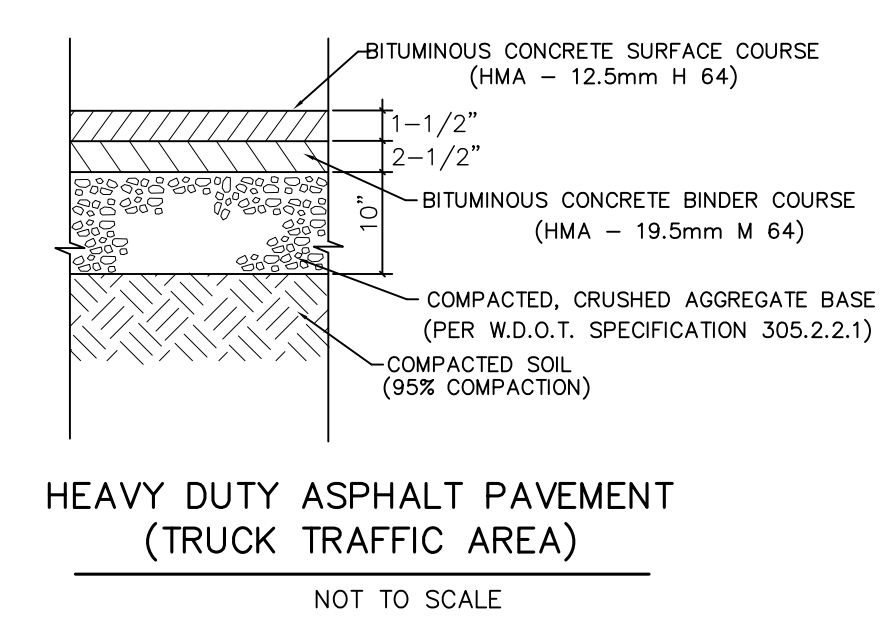
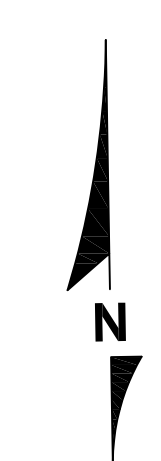
I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.
 THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THEREON, WITHIN ONE (1) YEAR FROM DATE THEREOF.

NOVEMBER 14, 2017
 DATE
 MICHAEL J. BERRY, R.L.S.
 REGISTERED LAND SURVEYOR S-2545



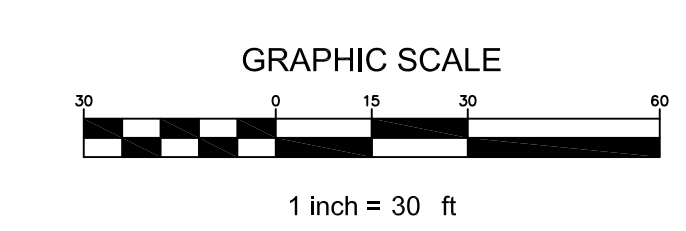
PLAT OF SURVEY
 WITH TOPOGRAPHY

SV1.0



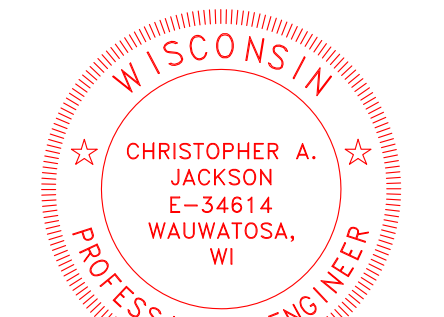
- NOTES:**
1. DIMENSIONS ARE TO THE FACE OF CURB.
 2. DISTURBED AREA = 120,000 S.F. (2.75 ACRES)
 3. STORM WATER MANAGEMENT IS PROVIDED BY A REGIONAL OFF SITE STORM WATER POND.
 4. CURRENT CITY STANDARD SPECIFICATIONS SHALL BE FOLLOWED FOR ALL WORK IN THE PUBLIC RIGHT OF WAY.
 5. LIMITS OF FINAL CITY STREET PAVEMENT AND CURB AND GUTTER REMOVAL AND REPLACEMENTS TO BE MARKED BY CITY ENGINEERING STAFF IN FIELD.

- SITE AREAS:**
- PROPERTY AREA = 189,885 S.F. (4.359 ACRES)
 - BUILDING FOOTPRINT = 36,546 S.F.
 - PAVEMENT = 38,006 S.F.
 - TOTAL IMPERVIOUS AREA = 74,552 S.F. (1.711 ACRES)
 - GREEN SPACE = 115,333 (2.648 ACRES) 60.7%

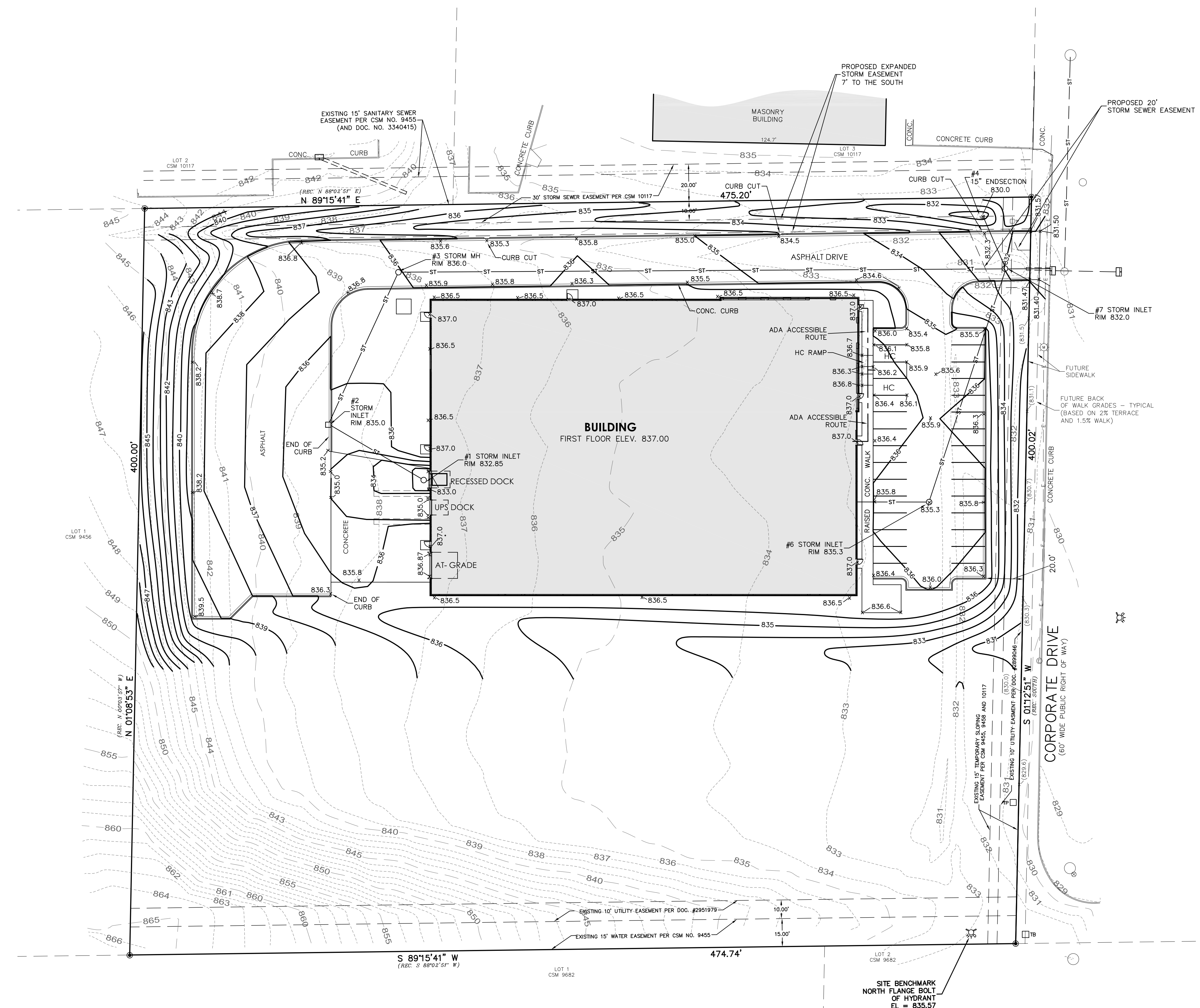
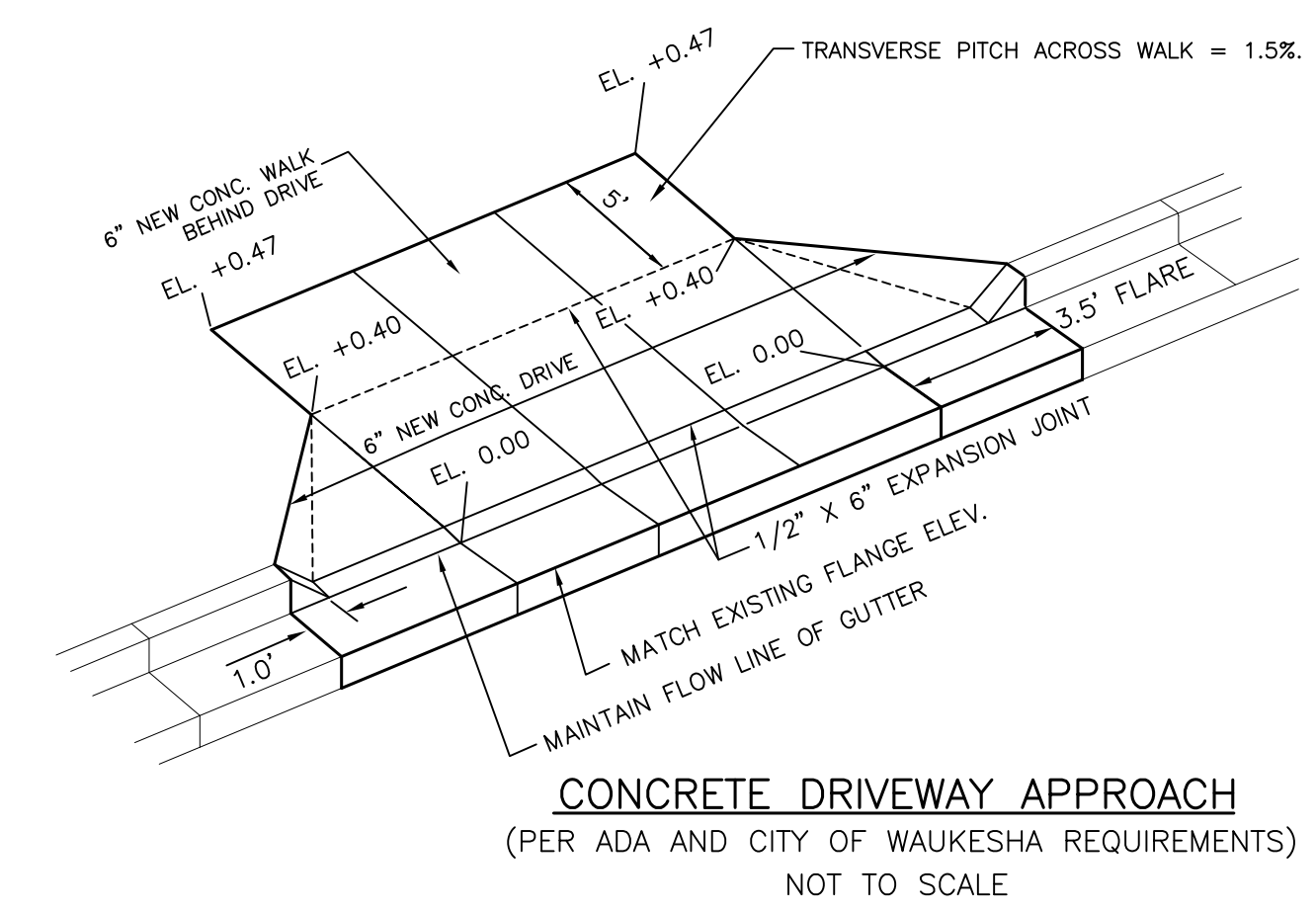
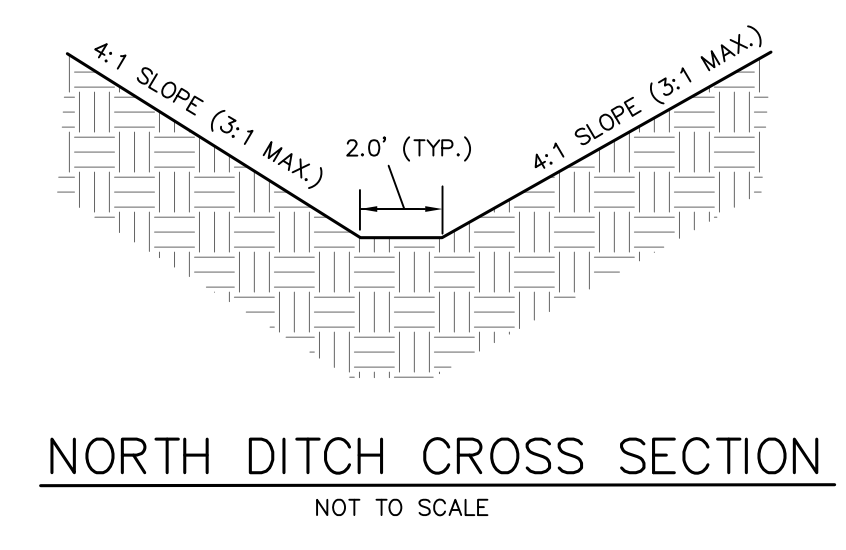
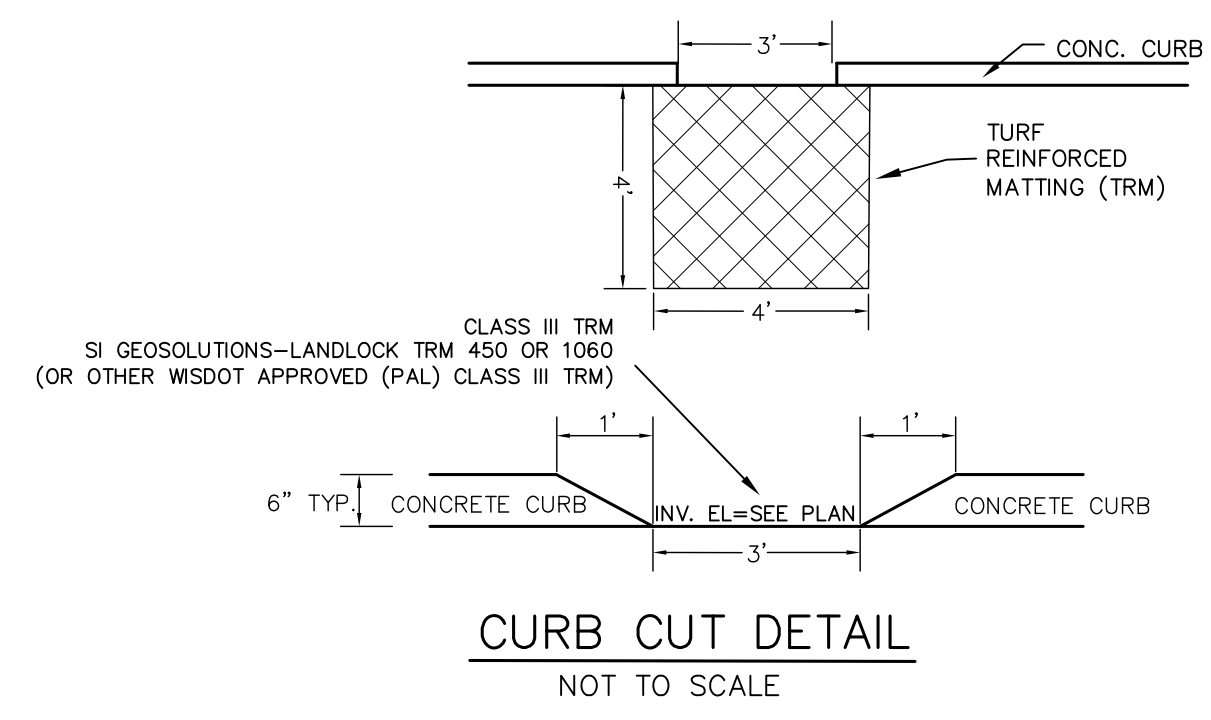
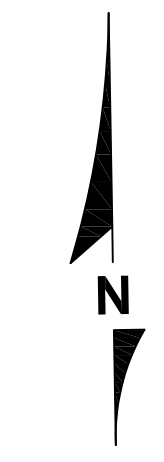


BRELIE GEAR
 CORPORATE ROAD WAUKESHA, WI

CJE NO.: 1841R4
 JANUARY 21, 1999



SITE PLAN
C1.0
 SHEET 1 OF 4

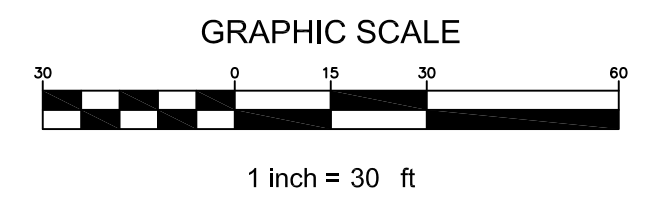


LEGEND

--- B4.1 ---	EXISTING CONTOUR
— 835 —	PROPOSED CONTOUR
x 836.5	PROPOSED ELEVATION
— ST —	EXISTING STORM SEWER
— ST —	PROPOSED STORM SEWER
□	PROPOSED SILT FENCE

- NOTES:**
1. GRADES ALONG THE CURB OR RAISED WALK ARE AT THE BOTTOM OF CURB OR WALK.
 2. DISTURBED AREA = 120,000 S.F. (2.75 ACRES)
 3. STORM WATER MANAGEMENT IS PROVIDED BY A REGIONAL OFF SITE STORM WATER POND.
 4. CURRENT CITY STANDARD SPECIFICATIONS SHALL BE FOLLOWED FOR ALL WORK IN THE PUBLIC RIGHT OF WAY.
 5. LIMITS OF FINAL CITY STREET PAVEMENT AND CURB AND GUTTER REMOVAL AND REPLACEMENTS TO BE MARKED BY CITY ENGINEERING STAFF IN FIELD.

SITE AREAS:
 PROPERTY AREA = 189,885 S.F. (4.359 ACRES)
 BUILDING FOOTPRINT = 36,546 S.F.
 PAVEMENT = 38,006 S.F.
 TOTAL IMPERVIOUS AREA = 74,552 S.F. (1.711 ACRES)
 GREEN SPACE = 115,333 (2.648 ACRES) 60.7%

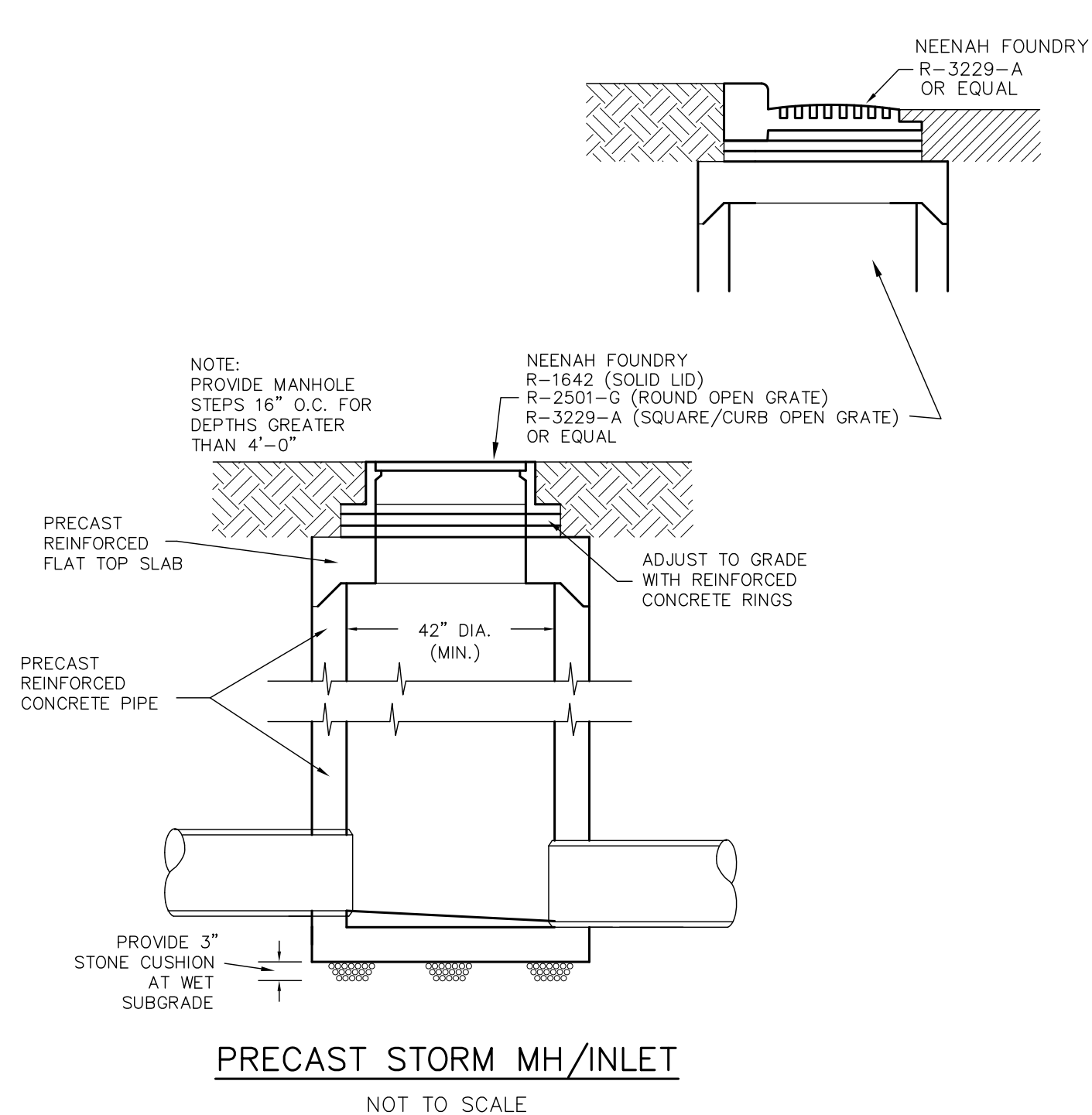


BRELIE GEAR
 CORPORATE ROAD WAUKESHA, WI

CJE NO.: 1841R4
 JANUARY 21, 1999



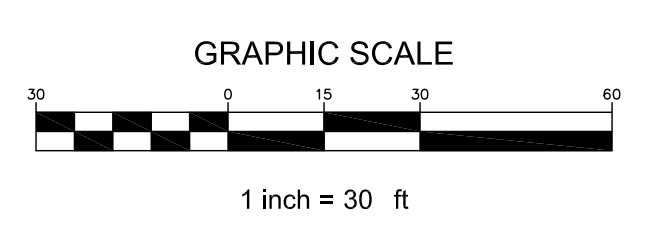
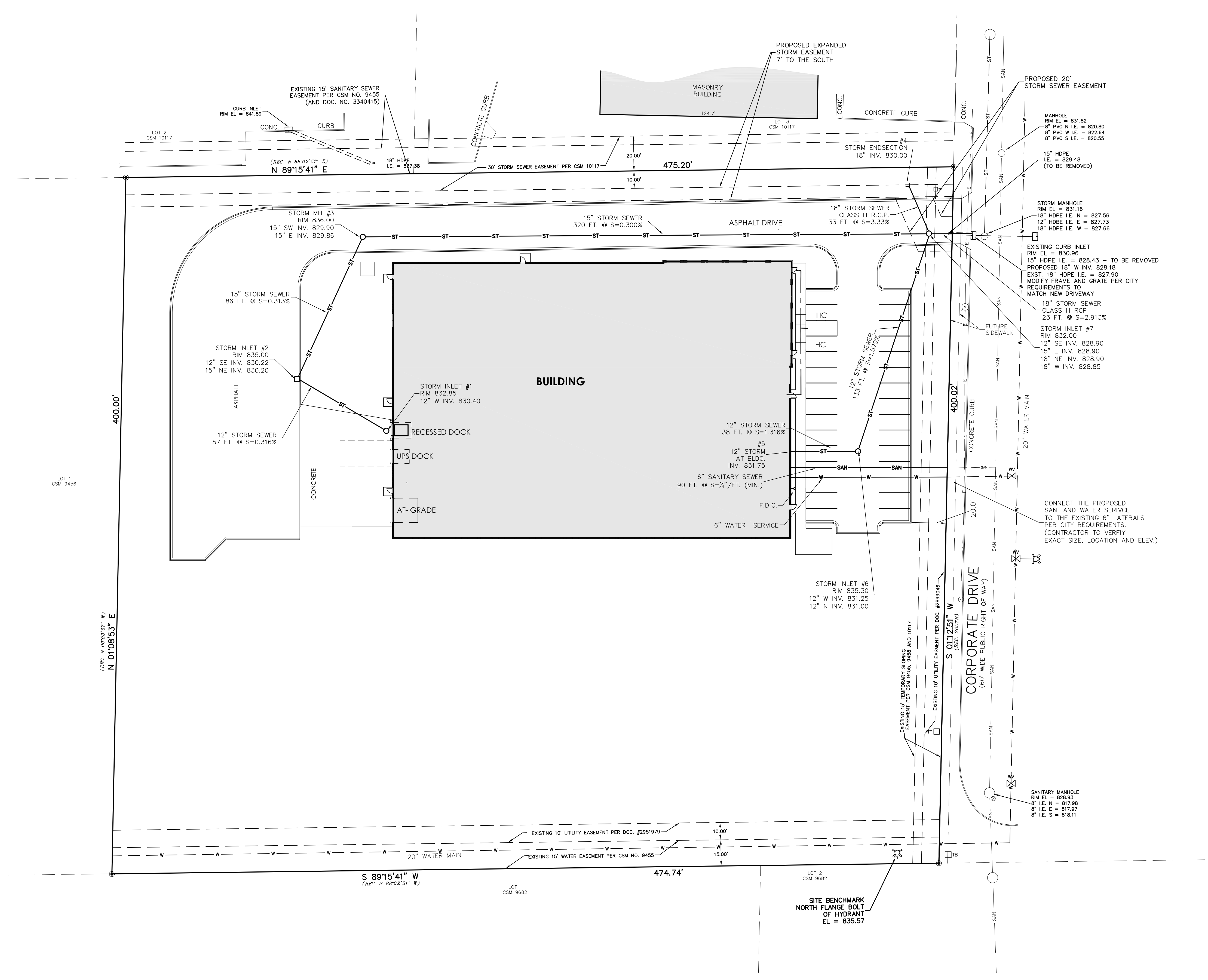
SITE GRADING PLAN C2.0



PRECAST STORM MH/INLET
 NOT TO SCALE

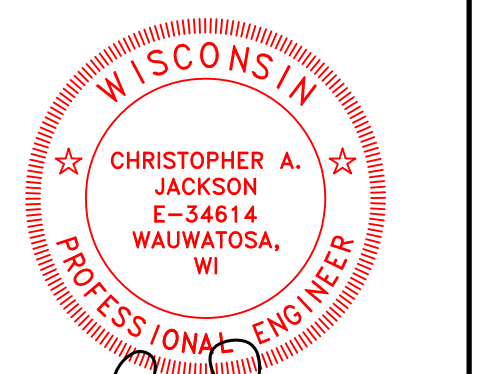
- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF WAUKESHA REQUIREMENTS.
 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
 3. EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDINGS BY PLUMBING CONSULTANT/CONTRACTOR.
 4. PROPOSED WATER SERVICE SHALL HAVE A MINIMUM 6 FEET OF COVER.
 5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 6. THE PROPOSED STORM SEWER HAS BEEN DESIGNED FOR THE 10-YEAR STORM EVENT.
 7. UNLESS OTHERWISE LABELED ON THE PLAN:
 STORM SEWER: ADS CORRUGATED HDPE N-12 OR PVC ASTM D3034
 SANITARY SEWER: PVC ASTM D3034, SDR 35
 WATER MAIN: PVC ASTM D1785 OR AWWA C900
 8. DISTURBED AREA = 120,000 S.F. (2.75 ACRES)
 9. STORM WATER MANAGEMENT IS PROVIDED BY A REGIONAL OFF SITE WATER POND.
 10. CURRENT CITY STANDARD SPECIFICATIONS SHALL BE FOLLOWED FOR ALL WORK IN THE PUBLIC RIGHT OF WAY.
 11. THE CONTRACTOR SHALL PROVIDE A POST CONSTRUCTION SEWER LATERAL VIDEO OF THE SANITARY LATERAL CONNECTION TO THE PROPOSED BUILDING. IF LATERAL MAINTENANCE IS NEEDED (IN THE EXISTING LATERAL SECTION), THEN THE LATERAL IMPROVEMENTS SHALL BE INCLUDED AS PART OF THIS PROJECT.

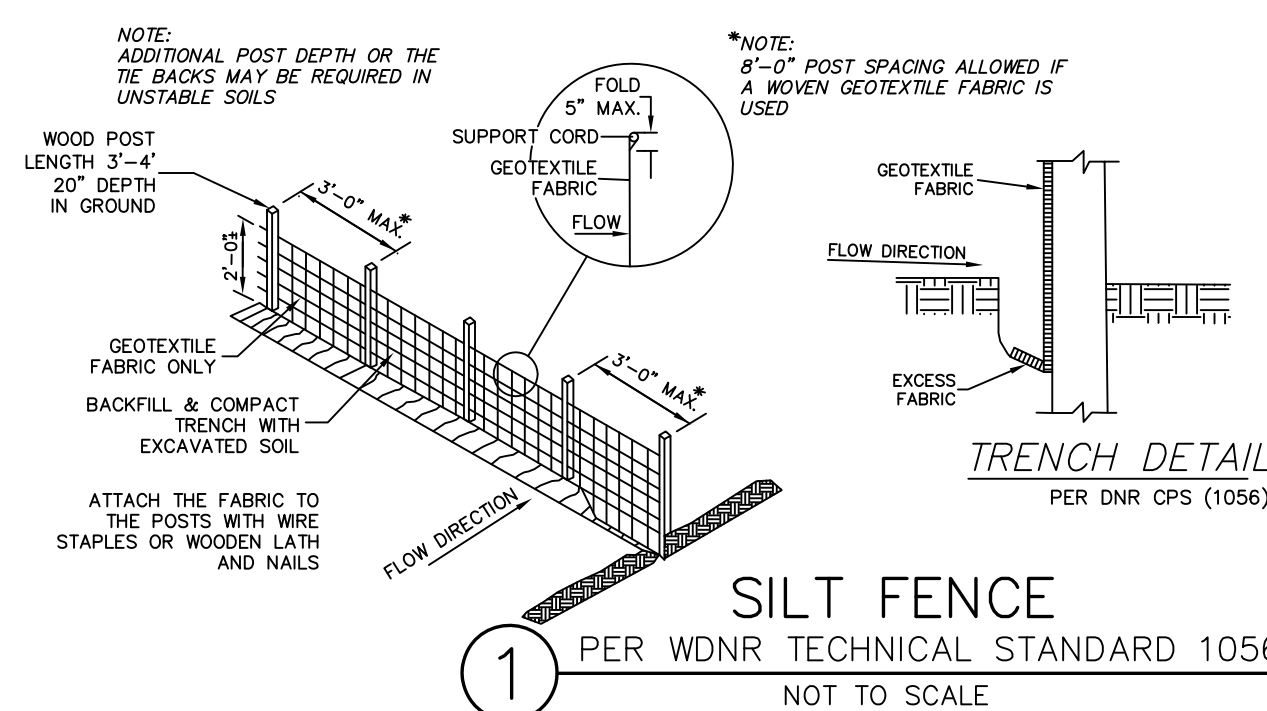
LEGEND	
—ST—	EXISTING STORM SEWER
—ST—	PROPOSED STORM SEWER
—SAN—	EXISTING SANITARY SEWER
—SAN—	PROPOSED SANITARY SEWER
—W—	EXISTING WATER MAIN
—W—	PROPOSED WATER MAIN
—G—	BURIED GAS MAIN
—E—	OVER HEAD WIRE
—E—	BURIED ELECTRIC



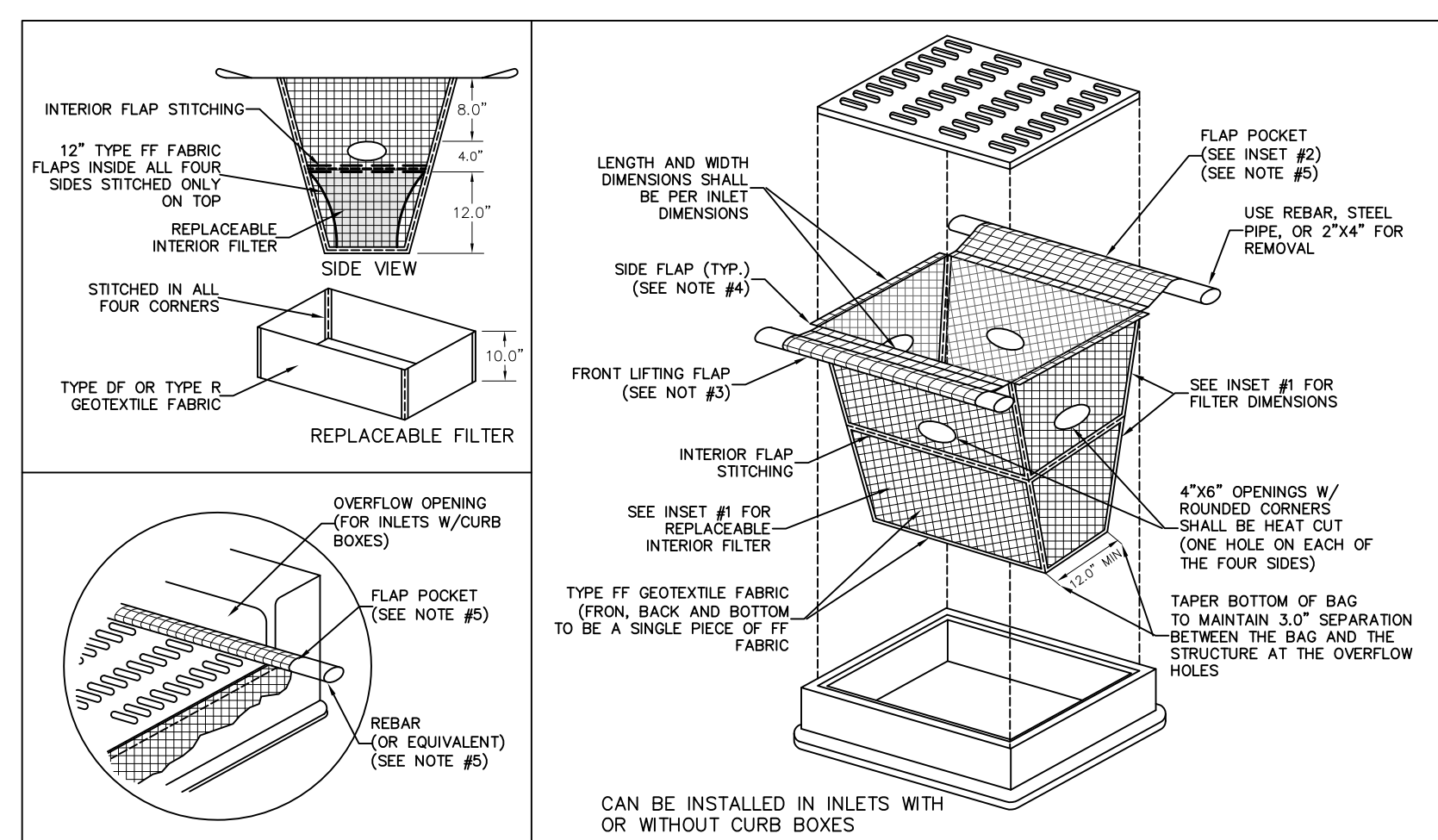
BRELIE GEAR
 WAUKESHA, WI
 CORPORATE ROAD

CJE NO.: 1841R4
 JANUARY 21, 2019

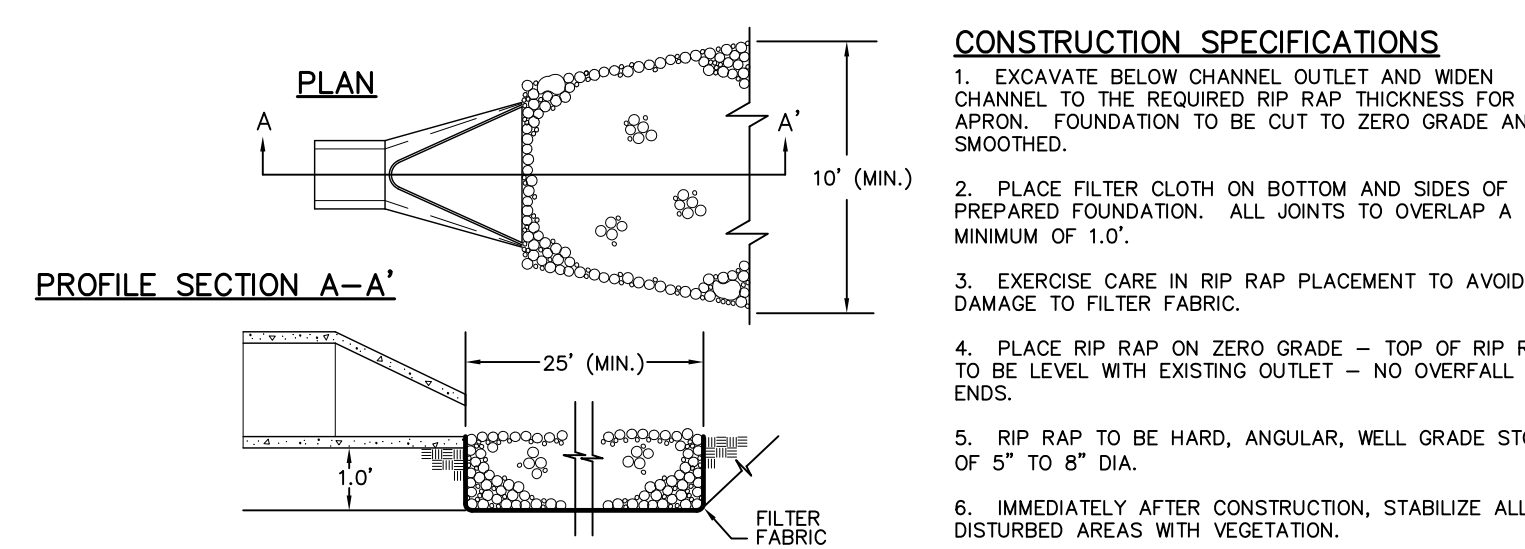




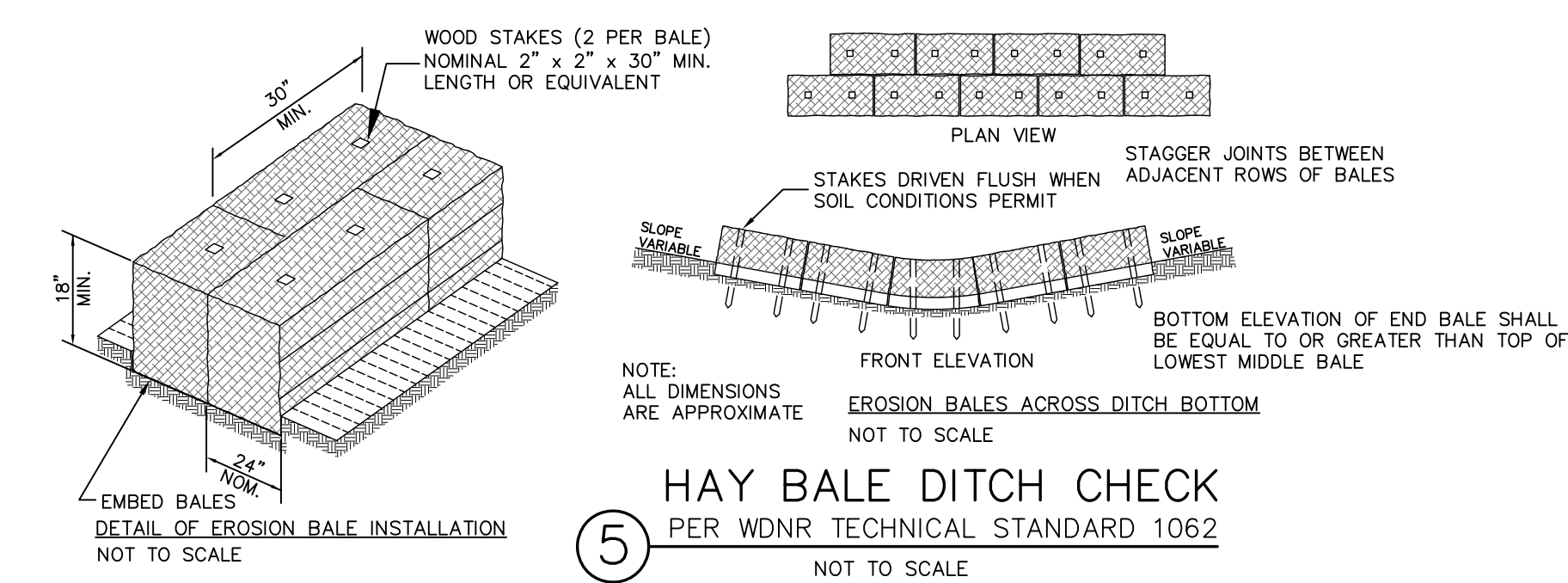
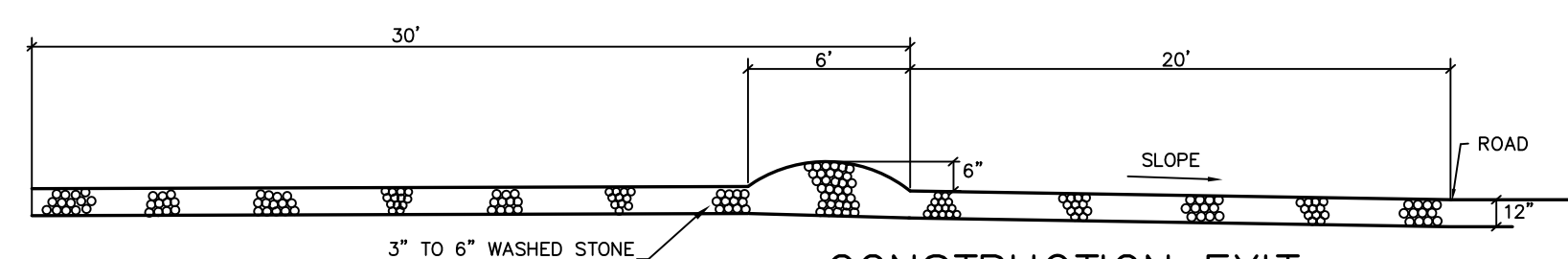
- SILT FENCE CONSTRUCTION SPECIFICATIONS**
 PER DNR CPS (1056)
- Construction silt fence around the disturbed area shall be installed on Erosion Control Plan, to prevent sediment from being washed into the drainage system.
 - Locate posts per DNR CPS (1056)
 - When joints are necessary, refer to DNR CPS (1056)
 - Filter fabric to be nylon, polyester, polypropylene or ethylene with a minimum strength of 50 LB/in. (Minimum) and a pore size with a flow rate of at least 0.5 gal./sq. ft./min. and contain ultraviolet ray inhibitors and stabilizers.
 - The filter fabric shall be anchored by spreading at least 8 inches of fabric in a 4" x 4" trench.
 - The filter fabric shall be stapled and/or nailed to the upside side of the posts.
 - Posts to be 1 1/8" x 1 1/8" heavy or oak, 3 feet long, spaced a maximum of 5 feet apart.
 - Use wire reinforcement in unstabilized minor swales, ditches or ditches.
 - Use WSDOT approved silt fence.



- NOTES:**
- TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO GHT STRUCTURE WALL.
 - GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG, FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
 - FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
 - SIDE FLAPS SHALL BE A MINIMUM OF TWO INCHES LONG, FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4", REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- MAINTENANCE NOTES:**
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



- CONSTRUCTION SPECIFICATIONS**
- EXCAVATE BELOW CHANNEL, OUTLET AND WEDEN CHANNEL TO THE REQUIRED RIP RAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
 - PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1.0'.
 - EXERCISE CARE IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
 - PLACE RIP RAP ON ZERO GRADE - TOP OF RIP RAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.
 - RIP RAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 2" TO 4" DIA.
 - IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.



- NOTES:**
- GRADES ALONG THE CURB OR RAISED WALK ARE AT THE BOTTOM OF CURB OR WALK.
 - DISTURBED AREA = 120,000 S.F. (2.75 ACRES)
 - STORM WATER MANAGEMENT IS PROVIDED BY A REGIONAL OFF SITE STORM WATER POND.
 - CURRENT CITY STANDARD SPECIFICATIONS SHALL BE FOLLOWED FOR ALL WORK IN THE PUBLIC RIGHT OF WAY.

TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:
 DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Oats	131*	98
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

LAND APPLICATION OF ADDITIVES:
 DURING NONGROWING SEASON (NOVEMBER 1 - MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST MGT PAL (UPDATED 11/2/2017) - SEE WDNR TECHNICAL STANDARD 1050.

STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

WINTER CONDITIONS

DURING WINTER CONSTRUCTION (NOVEMBER 1 TO MAY 1), CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER, POLYACRYLAMIDE (PAM) PER LATEST MGT PAL (UPDATED 11/2/2017) ON ALL DISTURBED AREAS THAT ARE NOT TO BE DISTURBED BEYOND 7 DAYS. CONTRACTOR TO INSTALL PAM PER WDNR TECHNICAL STANDARD 1050 AND THE MANUFACTURERS SPECIFICATIONS.

CONSTRUCTION SCHEDULE

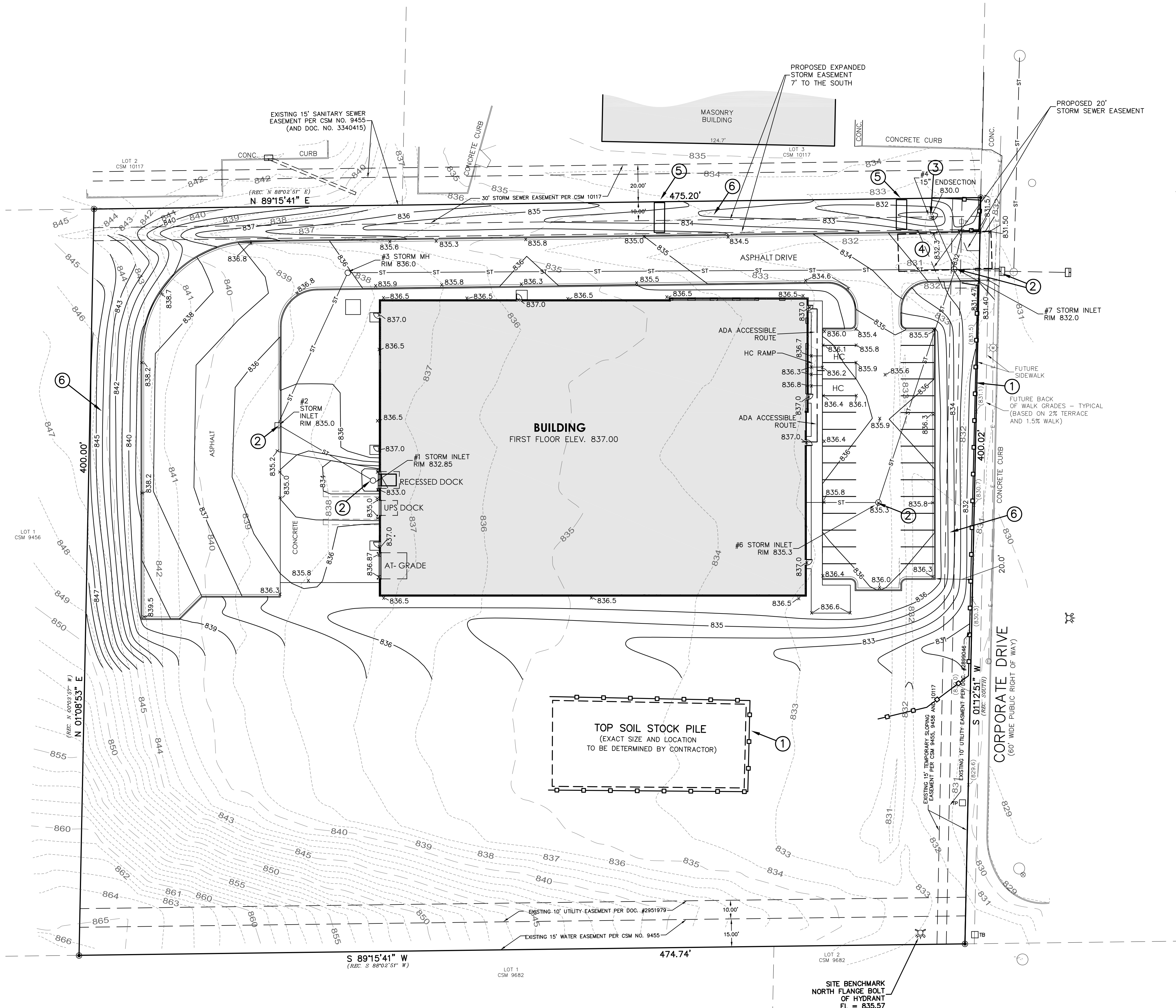
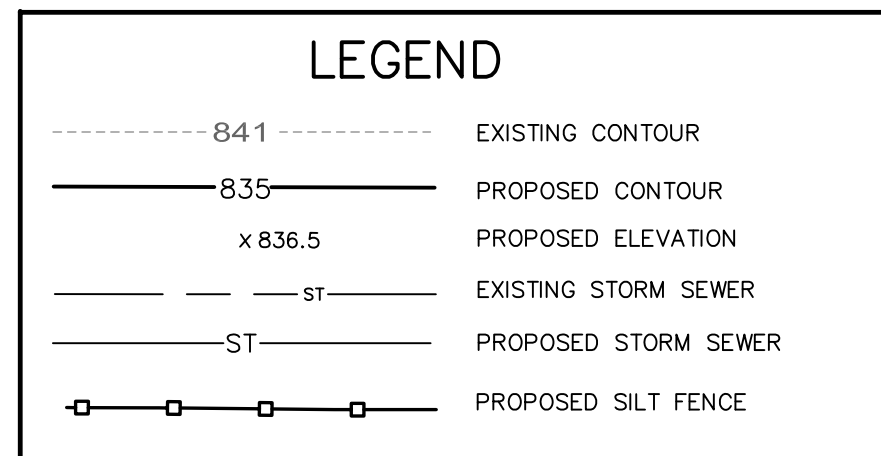
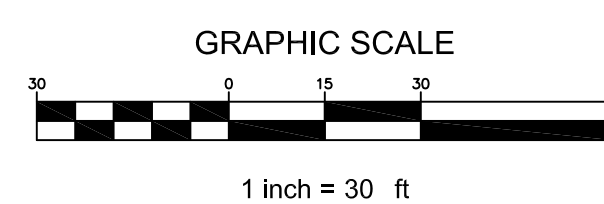
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- OBTAIN CITY STORM WATER PERMIT AND PERFORM WEEKLY EROSION CONTROL INSPECTIONS. SUBMIT INSPECTIONS TO CITY EROSION CONTROL INSPECTOR.
- INSTALL INLET PROTECTION IN THE EXISTING INLETS.
- INSTALL / RELOCATE THE NORTH DRAINAGE SWALE AND STORM SEWER OUTLET. PROVIDE TEMPORARY OR PERMANENT STABILIZATION ALONG WITH HAYBALE DITCH CHECKS.
- INSTALL CONSTRUCTION EXIT / TRACKING PAD. EXACT LOCATION TO BE DETERMINE BY CONTRACTOR.
- STRIP AND STOCK PILE TOP SOIL, SURROUND WITH SILT FENCE AND PROVIDE TEMPORARY STABILIZATION.
- ROUGH GRADE SITE.
- BEGIN BUILDING CONSTRUCTION.
- INSTALL PROPOSED UTILITIES. INSTALL INLET GRATE SCREENS AND OUTLET PROTECTION.
- INSTALL BASE COURSE OF PAVEMENT.
- FINAL GRADING OF SLOPES, TOPSOIL, CRITICAL SLOPES; VEGETATE AND MULCH/MAT ALL FINAL DISTURBED AREAS.
- ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
- AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
- ESTIMATED TIME BEFORE FINAL STABILIZATION - 6 MONTHS.

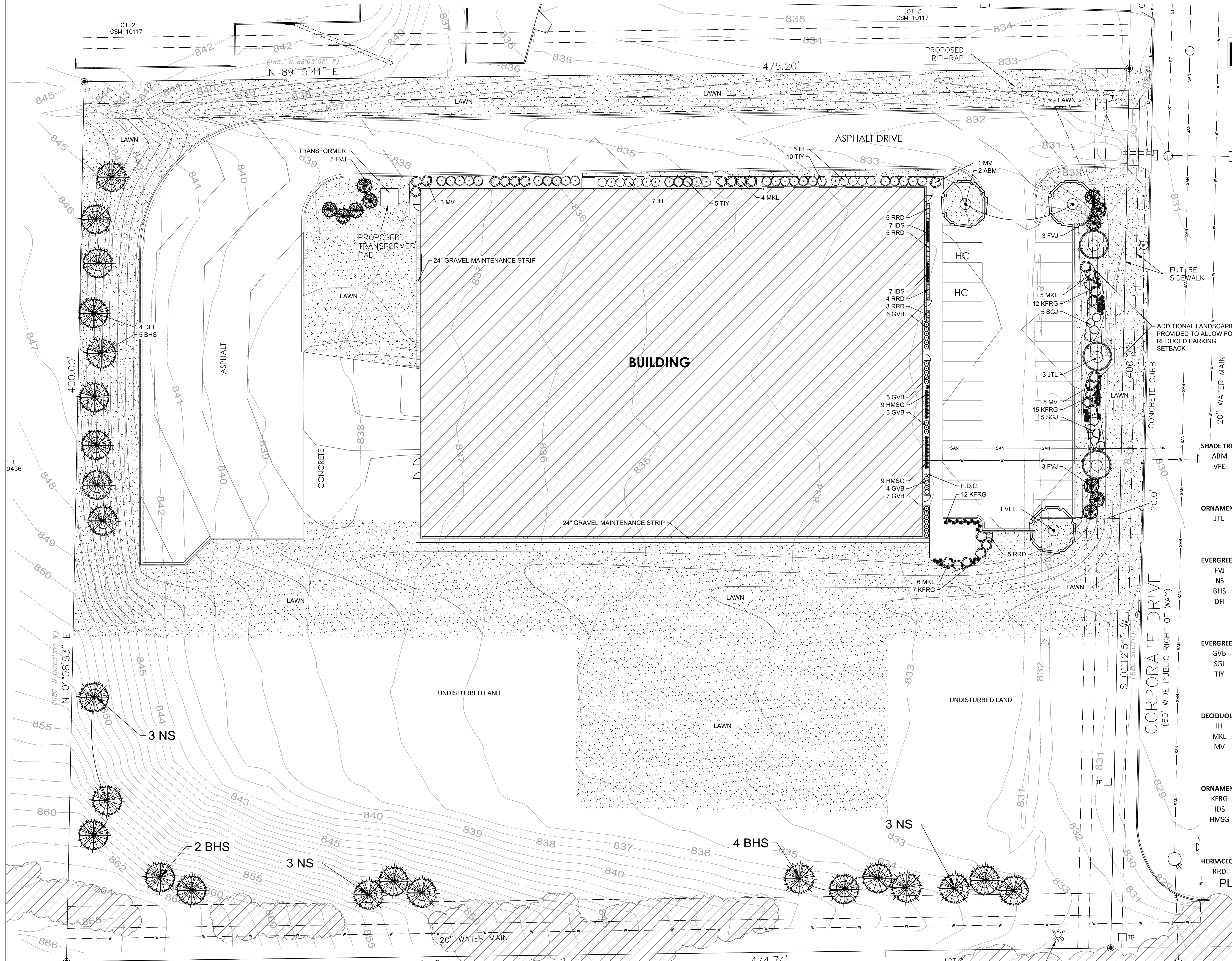
MAINTENANCE PLAN

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARBER.
- ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEEDD AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

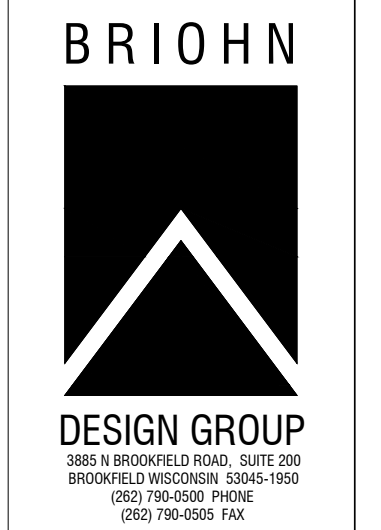
EROSION CONTROL PRACTICES SCHEDULE

- SILT FENCE
- INLET GRATE SCREEN
- OUTLET PROTECTION
- CONSTRUCTION EXIT
- HAYBALE DITCH CHECK
- EROSION MATTING





DIGGERS HOTLINE
 TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 811 or 1-800-242-8511
 MKL AREA 255-1181
 MS STATUTE 182.075(1974)
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



OVERALL LANDSCAPE PLAN

- SHADE TREES (DECIDUOUS)**
 ABM Autumn Blaze Maple
 VFE Valley Forge American Elm
- ORNAMENTAL TREES (DECIDUOUS)**
 JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES**
 FVJ Fairview Upright Juniper (upright)
 NS Norway Spruce
 BHS Black Hills Spruce
 DFI Douglas Fir
- EVERGREEN SHRUBS**
 GVB Green Velvet Boxwood
 SGJ Sea Green Juniper
 TIY Taunton Intermediate Yew
- DECIDUOUS SHRUBS**
 IH Incrediball Hydrangea
 MKL Miss Kim Dwarf Lilac
 MV Mohican Viburnum
- ORNAMENTAL GRASSES**
 KFRG Karl Foerster Feather Reed Grass
 IDS Ice Dance Sedge
 HMSG Heavy Metal Switch Grass
- HERBACEOUS PERENNIALS**
 RRD Rosy Returns Daylily
- PLANT ABBREVIATIONS**

A NEW FACILITY FOR:
BRELIE GEAR
CORPORATE DRIVE
WAUKESHA, WISCONSIN

HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE
 P.O. Box 1359
 Lake Geneva, Wisconsin 53147-1359
 ph 262.639.9733
 david@wdavidheller.com
 www.wdavidheller.com

OVERALL LANDSCAPE PLAN
 Scale: 1" = 20'0"
L 1.0

JOB: 18-095
 DRAWN: PCAWDH
 CHECKED: WDH
 DATE: 1.21.2019
 SHEET:



- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, secure the remaining 2/3 of the burlap and remove the twine. Provide one slow release fertilizer packets (per 1" caliper) for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% Soil Amendments (see Note 11). Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring / saucer around all trees. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of Soil Amendments with blended, pulverized topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soils (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 2/3 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree rings to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All shrub planting and perennial planting bed areas (groupings) shall receive a 2-3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:
 - Per 100 SF of bed area (Soil Amendment composition):
 - 1/2 CY Peat Moss or Mushroom Compost
 - 1/2 CY blended/pulverized Topsoil
 - 1/2 CY composted manure
 - In roto-tilled beds only, also include in above mixture:
 - 2 lbs Starter Fertilizer

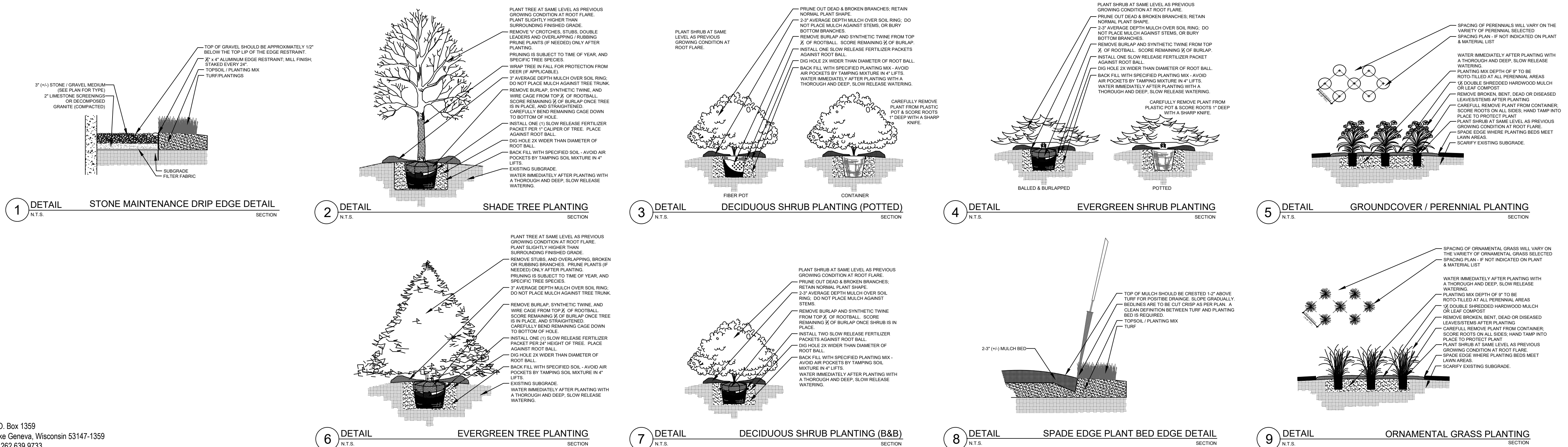
- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer (20-10-5, or approved comparable) and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing red canary grass is NOT acceptable as a mulch covering.
 - An acceptable quality seed installation is defined as having:
 - No bare spots larger than one (1) square foot
 - No more than 10% of the total area with bare areas larger than one (1) square foot
 - A uniform coverage through all turf areas

- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.

- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.

- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES



PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CALIPER/HEIGHT	ROOT	SPECIFICATION / NOTES	PLANT SPACING
		BOTANICAL NAME	COMMON NAME	SIZE			
Proposed Landscape Materials							
SHADE TREES (DECIDUOUS)							
ABM	2	Acer xfreemianii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
VFE	1	Ulmus americana 'Valley Forge'	Valley Forge American Elm	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
ORNAMENTAL TREES (DECIDUOUS)							
JTL	3	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	6"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	
EVERGREEN TREES							
FVJ	11	Juniperus scopulorum 'Fairview'	Fairview Upright Juniper (upright)	6"	B&B	Evenly shaped tree with branching to the ground	60"
NS	9	Picea abies	Norway Spruce	7-8"	B&B	Evenly shaped tree with branching to the ground	17'
BHS	11	Picea glauca 'densata'	Black Hills Spruce	7-8"	B&B	Evenly shaped tree with branching to the ground	15'
DFI	4	Pseudotsuga menziesii	Douglas Fir	6"	B&B	Evenly shaped tree with branching to the ground	17'
EVERGREEN SHRUBS							
GVB	25	Buxus 'Green Velvet'	Green Velvet Boxwood	15" HT	Cont.	Full rounded well branched shrub	24-30"
SGJ	15	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5	Cont.	Full rounded well branched shrub	54"
TYJ	17	Taxus xmedia 'Tautoni'	Taunton Intermediate Yew	24"	B&B	Full rounded well branched shrub	42"
DECIDUOUS SHRUBS							
IH	12	Hydrangea arborescens 'Abetwo'	Incrediball Hydrangea	#5	Cont.	Full, well rooted plant, evenly shaped	48"
MKL	14	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	24-30"	Cont.	Full, well rooted plant, evenly shaped	60"
MV	9	Viburnum lantana 'Mohican'	Mohican Viburnum	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance	60"
ORNAMENTAL GRASSES							
KFRG	46	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant	15-18"
IDS	14	Carex morrowii 'Ice Dance'	Ice Dance Sedge	#1	Cont.	Full, well rooted plant	15"
HMSG	18	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	#1	Cont.	Full, well rooted plant	18"
HERBACEOUS PERENNIALS							
RRD	22	Heimerocallis 'Rosy Returns'	Rosy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped	18"
LAWN							
LAWN	6070	Lawn Establishment Area / Grading Area				SY Reinder's Deluxe 50 Seed Mix (800-785-3301)	
	54613	Erosion Matting for sloped seeded areas				SF EroTex D575 Erosion Control Blanket (or approved equal)	
Hardscape Materials							
	6	Heritage River Gravel Mulch (1.0-1.5" pieces)		Area: 630 SF		TN 2" depth	
	310	Aluminum Edge Restraint (gravel areas)		Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish		LF	
	630	Landscape Fabric		SF		SF	
	36	Shredded Hardwood Mulch (3" depth)		Area: 3,900 SF		CY Bark Mulch; apply Preemergent after installation of mulch	
	24	Soil Amendments (2" depth)		Area: 3,900 SF		CY	
	168	Pulverized Topsoil (Lawn Area)		Area: 54,615 SF		CY	
	24	Pulverized Topsoil (2" over bed areas)		Area: 3,900 SF		CY	

*Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan, including the graphics and notations depicted therein, shall govern.

Seed Compositions:
 Reinder's Deluxe 50 Seed Mix (800-785-3301):
 20% Kentucky Bluegrass (Sod Quality)
 15% Newport Kentucky Bluegrass
 15% Ken Blue Kentucky Bluegrass
 25% Creeping Red Fescue
 15% Quebec Perennial Ryegrass
 10% Fiesta III Perennial Ryegrass
 Seed at rate of 150-200# per acre

PLANT & MATERIAL SCHEDULE



LANDSCAPE DETAILS, NOTES, AND SCHEDULES

A NEW FACILITY FOR:
 BRELIE GEAR
 CORPORATE DRIVE
 WAUKESHA, WISCONSIN

18-095
 DRAWN: PCA/WDH
 CHECKED: WDH
 DATE: 1.21.2019
 SHEET:

L 1.1



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"

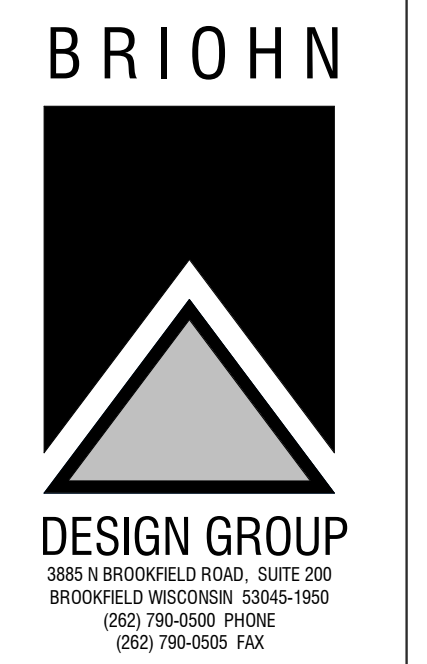
APPLICABLE
TO ALL
PLAN VIEWS

A1.0

JOB: 3123
DRAWN: CJR
CHECKED: DF
DATE: 01-21-2019
SHEET:

BRELLIE GEAR
CORPORATE ROAD
WAUKESHA WI

ARCHITECTURAL SITE
PLAN

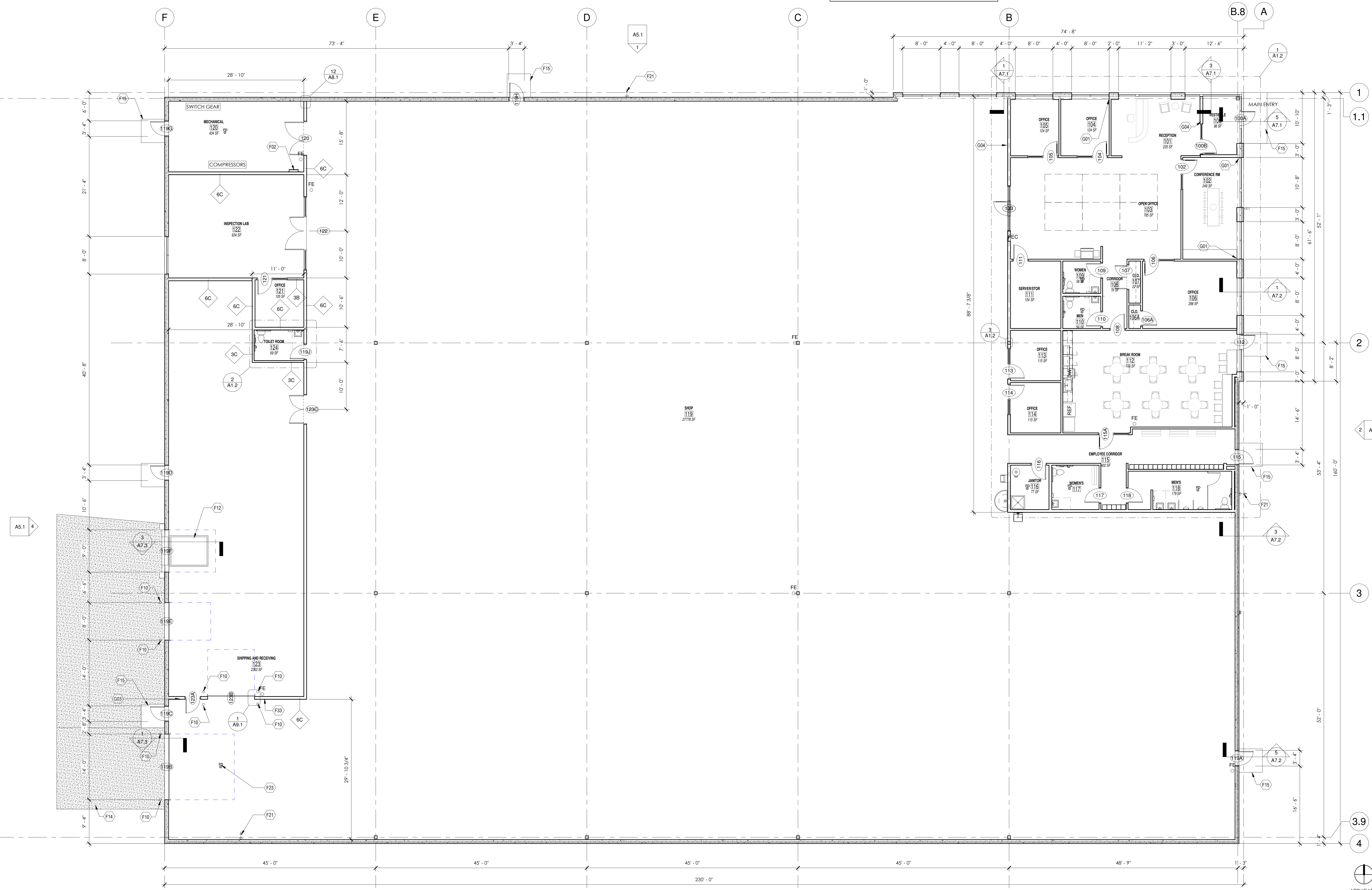
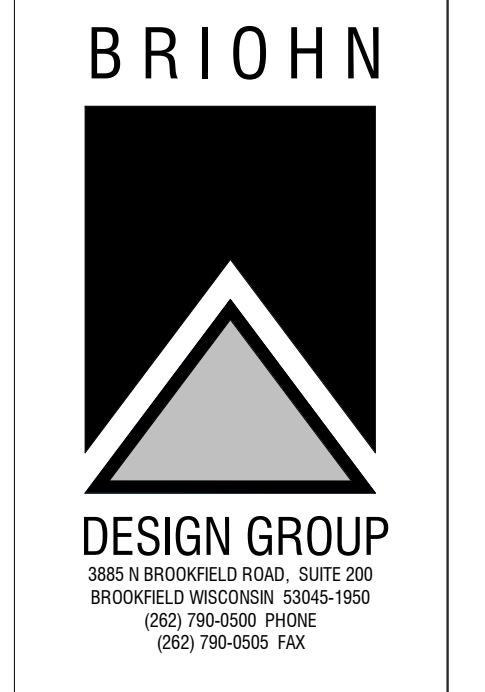


SHEET TITLE

KEYNOTE LEGEND	
VALUE	FLOOR PLAN CODED NOTES
F02	ROOF ACCESS LADDER PER OSHA 1926.1053.
F10	6" DIA. CONCRETE FILLED BOLLARD, 42" ABOVE GRADE-PAINTED
F14	7' X 8' AIR POWERED DOCK LEVELERS- COORDINATE WITH ELECTRICAL
F15	CONCRETE APRON-SEE STRUCTURAL
F21	HOSE BIBBS.
F23	FLOOR DRAIN - SEE PLUMBING DRAWINGS
F33	PROVIDE EPOXY PAINT FINISH ON WALL FROM CORNER TO CORNER FULL HEIGHT
G01	ALIGN SURFACES
G03	ALIGN DOOR CENTERS
G04	CENTER PARTITION ON MULLION

FLOOR PLAN LEGEND			
ROOM	ROOM NAME	---	PARTITION TO BE DEMOLISHED
ROOM NUMBER	ROOM NUMBER	---	PARTITION TO BE DEMOLISHED
100	DOOR NUMBER	---	DOOR AND FRAME TO BE REMOVED
1	PARTITION TYPE	---	EXISTING PARTITION TO REMAIN
1	PLAN NOTES	---	EXISTING DOOR TO REMAIN
F.E.	SURFACE MOUNTED FIRE EXTINGUISHER	---	NEW CONSTRUCTION
F.E.C.	SEMI-RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER	---	NEW DOOR & FRAME

- GENERAL NOTES - NEW FLOOR...**
- SEE MEP DRAWINGS BY OTHERS FOR FURTHER INFORMATION.
 - FURNITURE, APPLIANCES AND EQUIPMENT ARE BY OWNER AND ARE SHOWN IN THESE DRAWINGS FOR REFERENCE ONLY.
 - DURING CONSTRUCTION, AREA TO BE KEPT BROOM SWEEP AND DEBRIS FREE.
 - SEE EXTERIOR ELEVATIONS FOR EXTERIOR WINDOW TYPES
 - SEE SHEET A1.2 FOR PARTITION TYPES LEGEND
 - CAULK ALL INTERIOR PRECAST WALL JOINTS USING PAINTABLE CAULK.



FLOOR PLAN

BRELLIE GEAR
CORPORATE ROAD
WAUKESHA WI

JOB: 3123
DRAWN: CJR
CHECKED: DF
DATE: 01-21-2019
SHEET:

A1.1

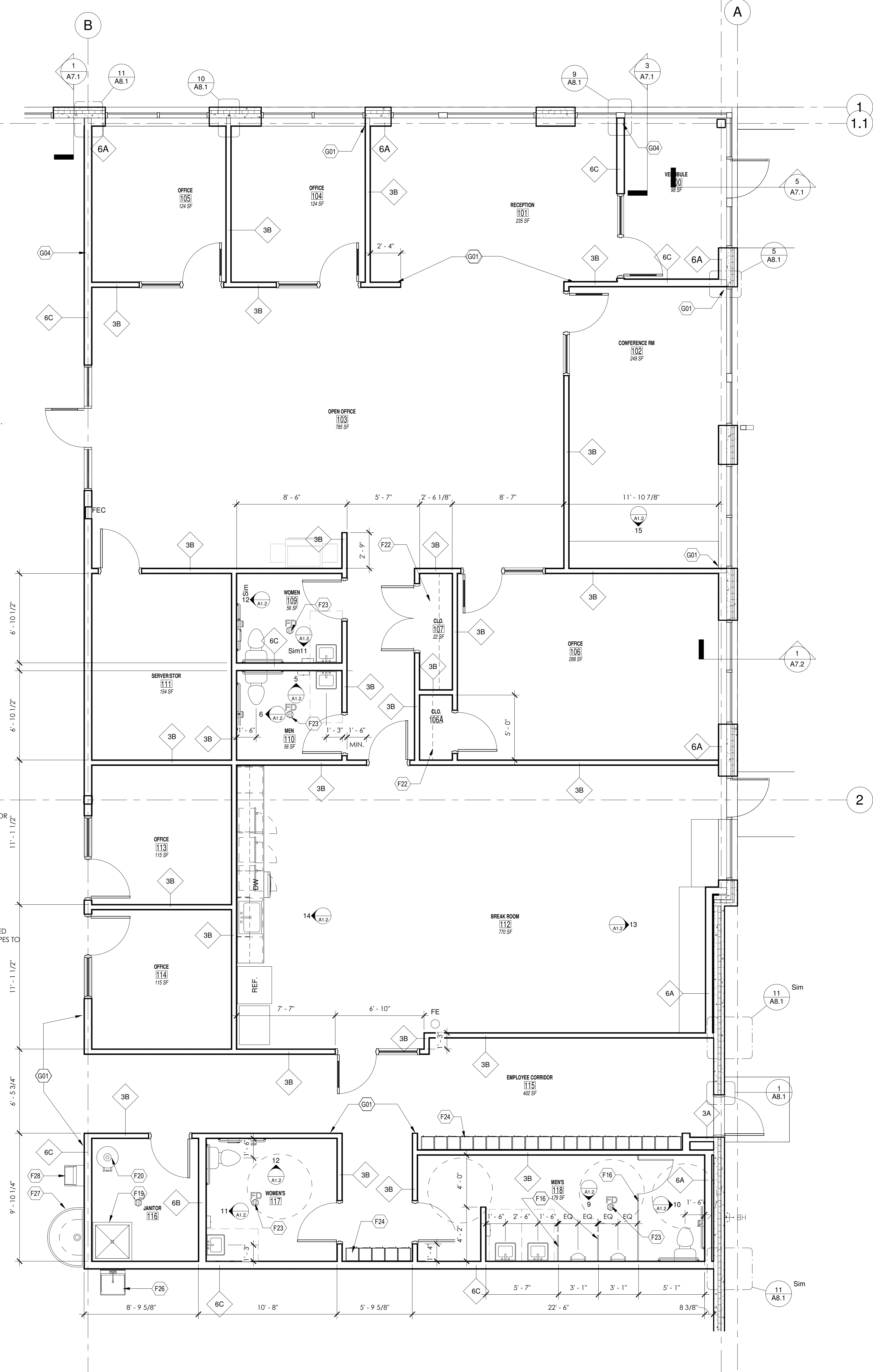
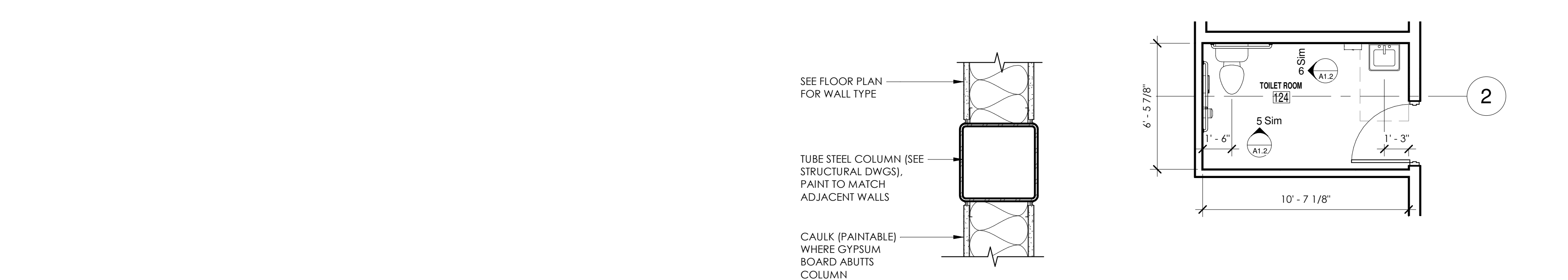
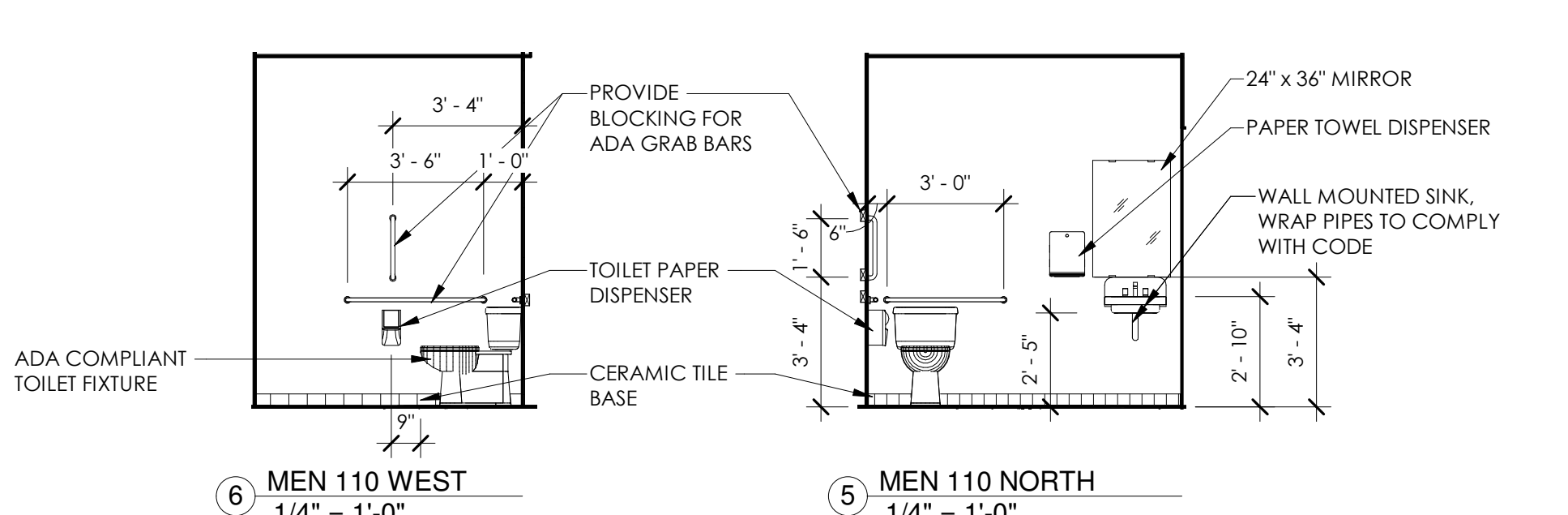
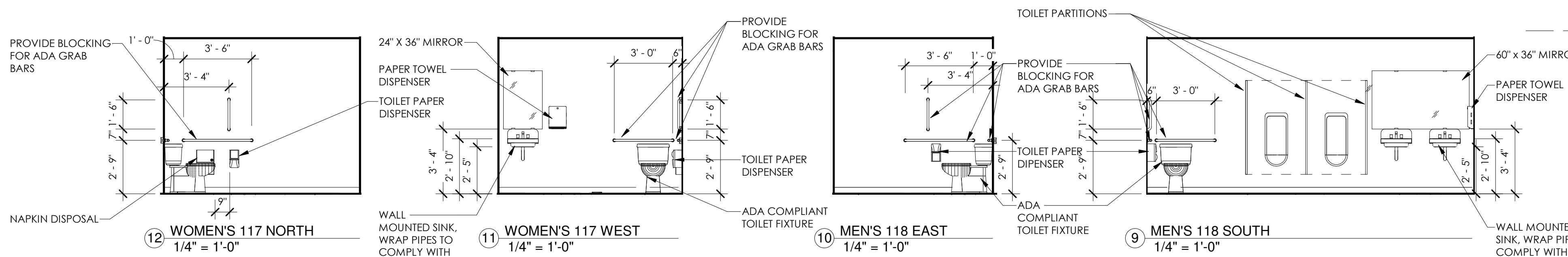
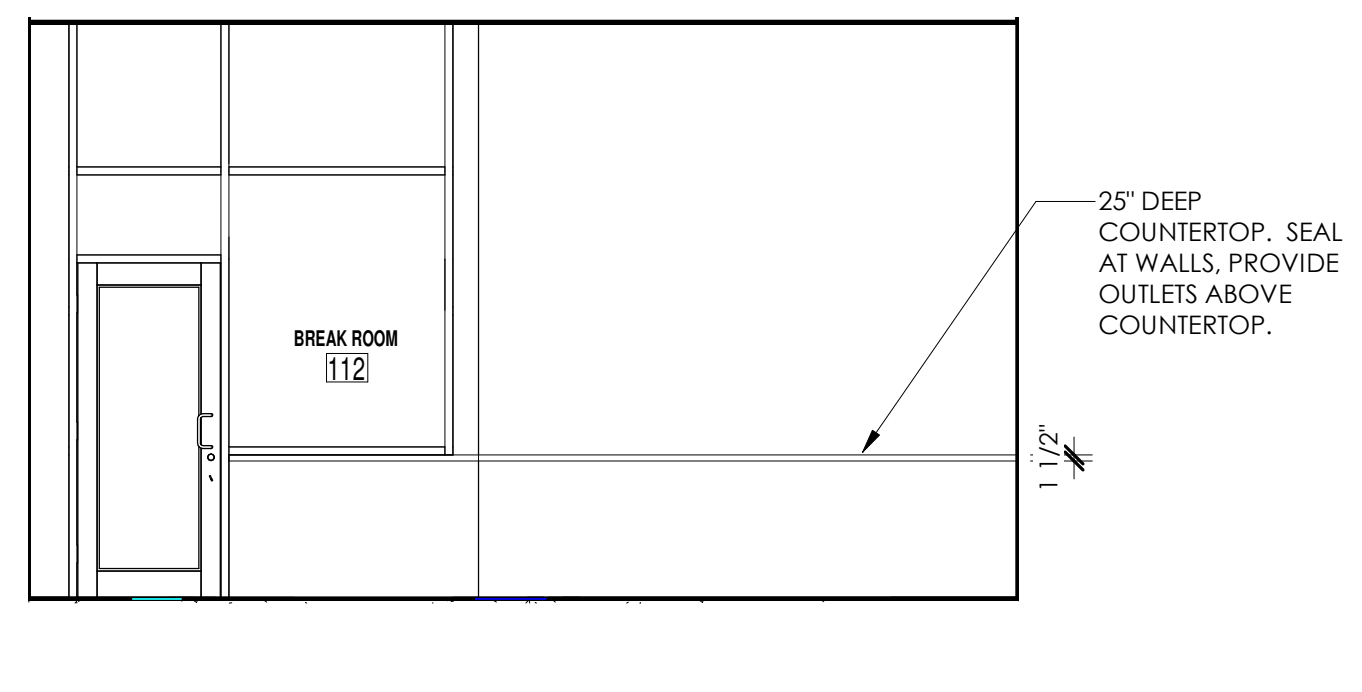
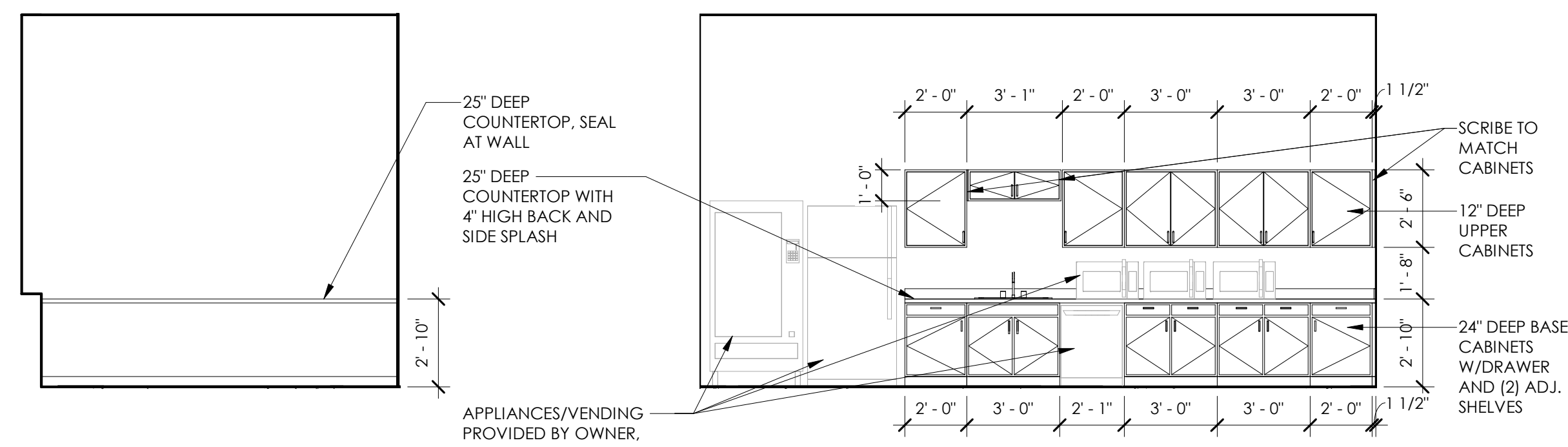
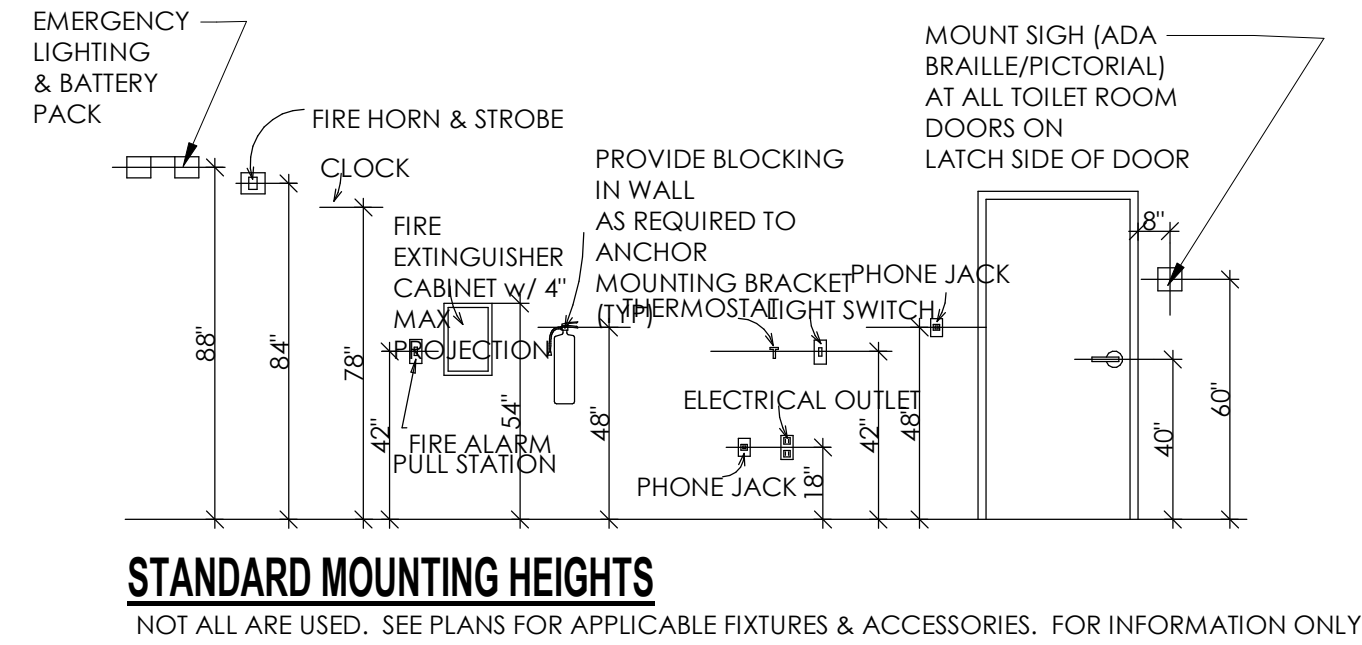
1 OVERALL FLOOR PLAN
1/8" = 1'-0"

APPLICABLE TO ALL PLAN VIEWS

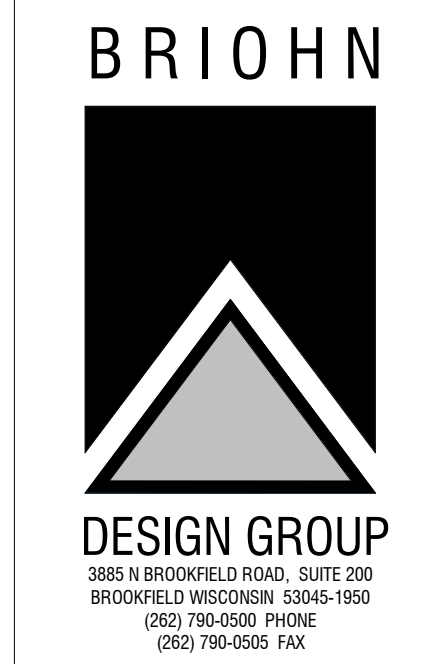
PARTITION TYPES									
TAG	STUD TYPE	STUD HEIGHT	INSULATION	VAPOR BARRIER	NOTED SIDE SURFACE MATERIAL	NOTED SIDE SURFACE HEIGHT	OPPOSITE SIDE SURFACE MATERIAL	OPPOSITE SIDE SURFACE HEIGHT	REMARKS
3A	3 5/8" STEEL FURRING	14'-0" A.F.F.	3" SOUND BATT	---	5/8" GYPSUM WALLBOARD	14'-0" A.F.F.	---	---	SEE NOTE 8 BELOW
3B	3 5/8" STEEL	14'-0" A.F.F.	SOUND BATT	---	5/8" GYPSUM WALLBOARD	14'-0" A.F.F.	5/8" GYPSUM WALLBOARD	14'-0" A.F.F.	---
3C	3 5/8" STEEL	14'-0" A.F.F.	3" SOUND BATT	---	5/8" GYPSUM WALLBOARD	14'-0" A.F.F.	5/8" GYPSUM WALLBOARD	14'-0" A.F.F.	---
6A	6" STEEL STUDS FURRING	TO UNDERSIDE OF DECK (20'-0" +/-)	6" INSUL BATT	4 MIL	5/8" GYPSUM WALLBOARD	14'-0" A.F.F.	---	---	SEE NOTE 4 BELOW
6B	6" STEEL STUDS	14'-0" A.F.F.	6" SOUND BATT	---	5/8" GYPSUM WALLBOARD	14'-0" A.F.F.	5/8" GYPSUM WALLBOARD	14'-0" A.F.F.	---
6C	6" STEEL STUDS	TO UNDERSIDE OF DECK (20'-0" +/-)	6" SOUND BATT	---	5/8" GYPSUM WALLBOARD	TO UNDERSIDE OF DECK	5/8" GYPSUM WALLBOARD	TO UNDERSIDE OF DECK	SEE NOTE 9 BELOW

- ALL STEEL STUDS SHALL BE 25 GAUGE STUDS @ 24" O.C. (UNLESS NOTED OTHERWISE)
- ALL EXPOSED GYPSUM WALL BOARD SHALL BE TAPED & COATED SMOOTH, READY FOR PAINT.
- USE 6" METAL STUDS AND INSTALL MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL "WET WALL" LOCATIONS.
- AT EXTERIOR WALLS PRECAST WALLS, PROVIDE PARTITION SIMILAR TO TYPE '6A' WHERE LOCATED WITHIN OFFICE SPACE. HOLD STUD FRAMING 1" FROM INTERIOR FACE OF PRECAST. RETURN GYPSUM WALL BOARD INTO WINDOW JAMBS AND HEAD. PROVIDE THERMAL INSULATION AS NOTED IN WALL SECTIONS AND DETAILS.
- STUDS EXTENDED TO DECK SHALL HAVE A SLIP CONNECTION TO ALLOW FOR DEFLECTION
- ALL PARTITIONS TO BE TYPE 3B UNLESS MARKED OTHERWISE.
- ALL GYPSUM BOARD TO BE TYPE 'X' UNLESS OTHERWISE NOTED.
- SEE CLERESTORY PLAN FOR WALL TYPE LOCATED ABOVE CEILING IN VESTIBULE. WALL TO BE TYPE 3A SIMILAR WITH THE EXCEPTION THAT THE WALL BEGINS ABOVE THE SUSPENDED CEILING SYSTEM AND EXTENDS TO UNDER SIDE OF DECK. REFER TO WALL SECTION FOR FURTHER DETAILS.
- ONE SIDE OF STUD, GYPSUM BOARD CAN EXTEND TO 6" ABOVE CEILING WHERE A SUSPENDED CEILING EXISTS. OTHERSIDE MUST EXTEND TO UNDERSIDE OF DECK AS NOTED.

KEYNOTE LEGEND	
VALUE	FLOOR PLAN CODED NOTES
F16	TOILET PARTITION
F19	36" x 36" MOP SINK, PROVIDE FRP UP TO 4'-0" AFF BEHIND SINK AND 12" TO EACH SIDE
F20	FLOOR MOUNTED WATER HEATER
F22	PROVIDE CLOSET SHELF AND POLE
F23	FLOOR DRAIN - SEE PLUMBING DRAWINGS
F24	12" x 12" x 72" LOCKABLE PREFINISHED METAL LOCKER ON 4" BASE W/SLOPED CAP. SHELF. HOOKS, TWO PERCENT TO BE ADA COMPLIANT.
F26	UTILITY SINK
F27	BRADLEY 54" SEMI-CIRCULAR WASH SINK
F28	ADA COMPLIANT DRINKING FOUNTAIN WITH BOTTLE FILLING STATION
G01	ALIGN SURFACES
G04	CENTER PARTITION ON MULLION



1 ENLARGED PLAN - OFFICE AREA
1/4" = 1'-0"



ENLARGED PLANS

SHEET TITLE

BREILIE GEAR
CORPORATE ROAD
WAUKESHA WI

JOB: 3123
DRAWN: CJR
CHECKED: DF
DATE: 01-21-2019

A1.2
APPLICABLE TO ALL PLAN VIEWS

ROOF PLAN

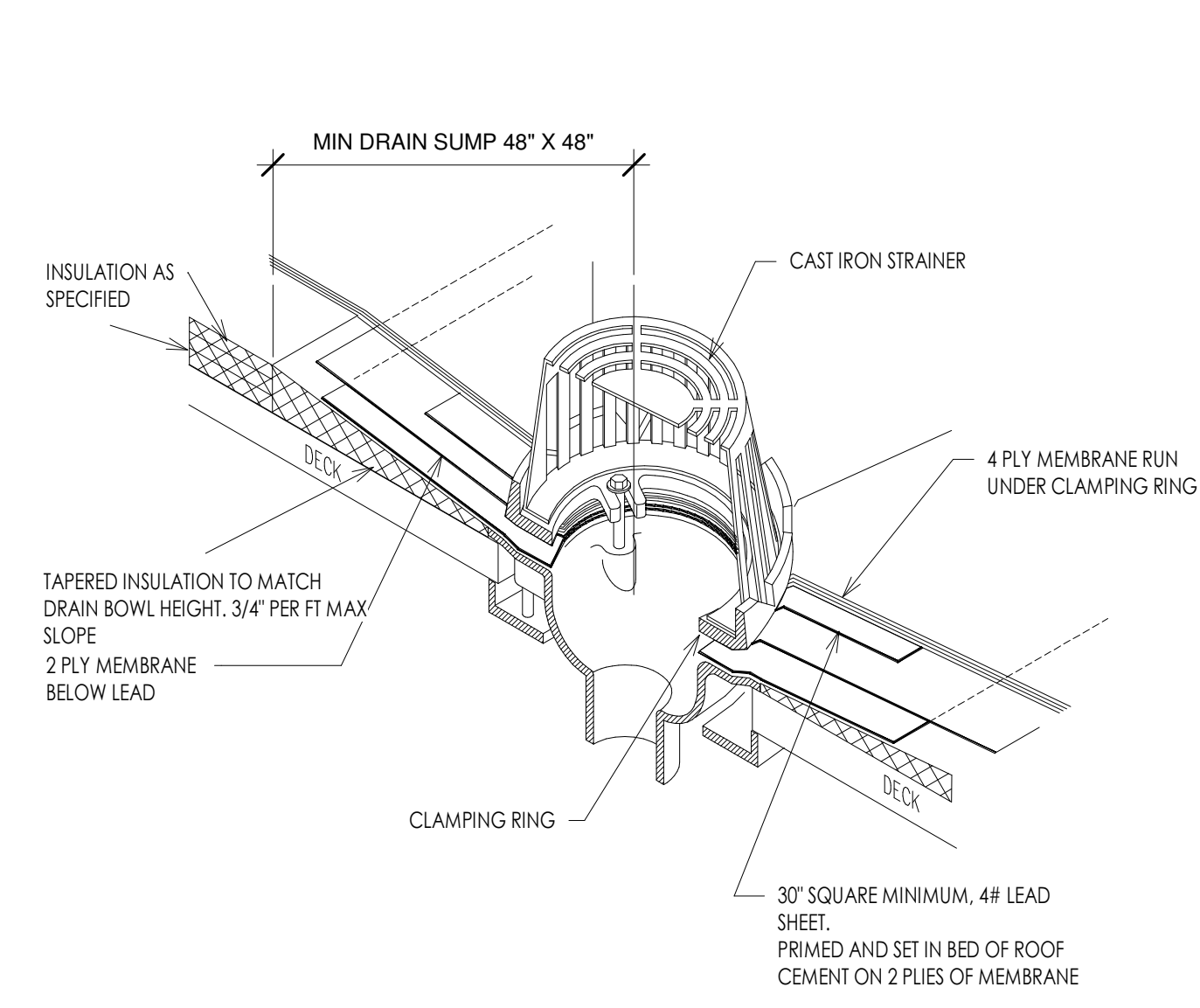
SHEET TITLE

BRELIE GEAR
 CORPORATE ROAD
 WAUKESHA WI

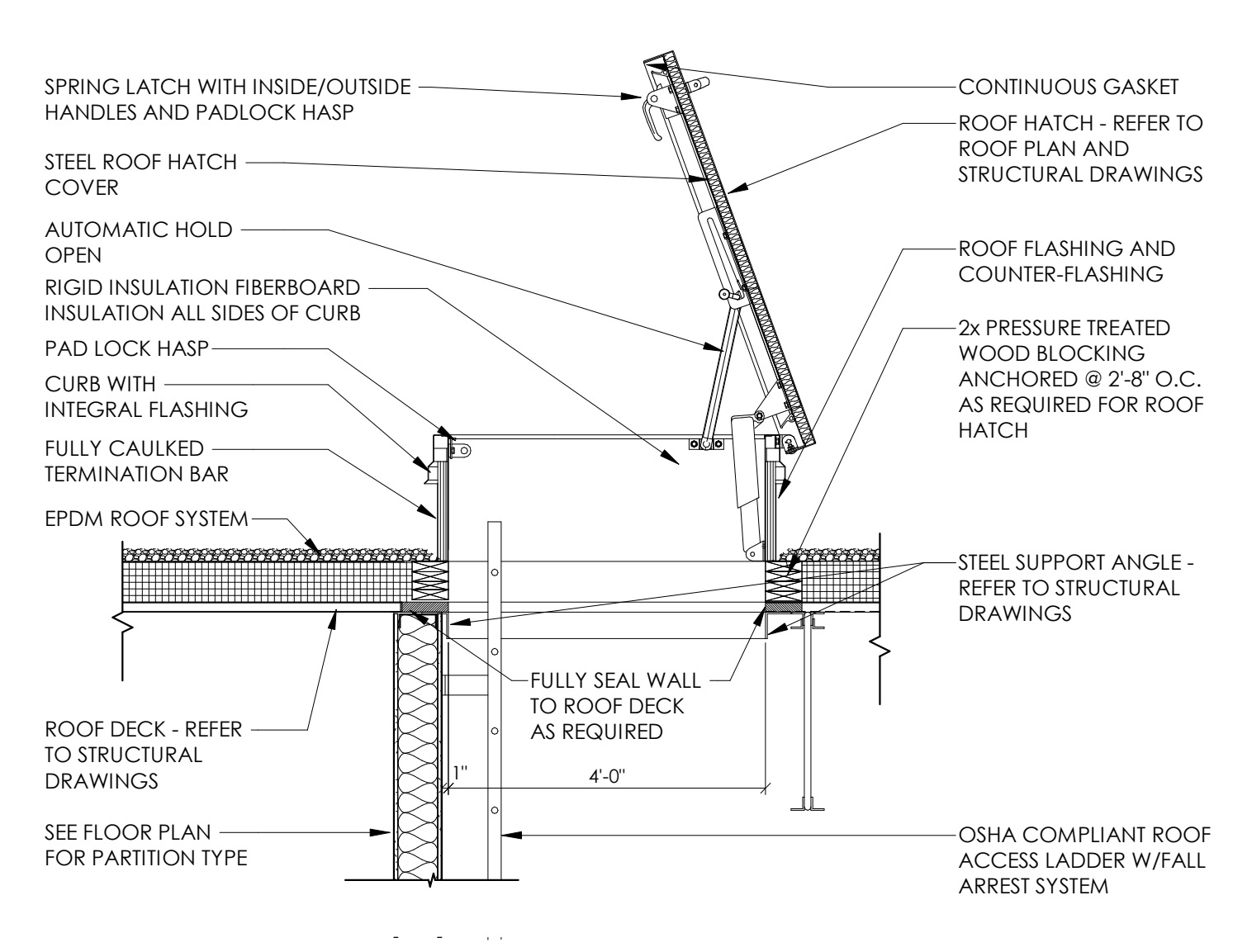
JOB: 3123
 DRAWN: CJR
 CHECKED: DF
 DATE: 01-21-2019

SHEET:
A4.1

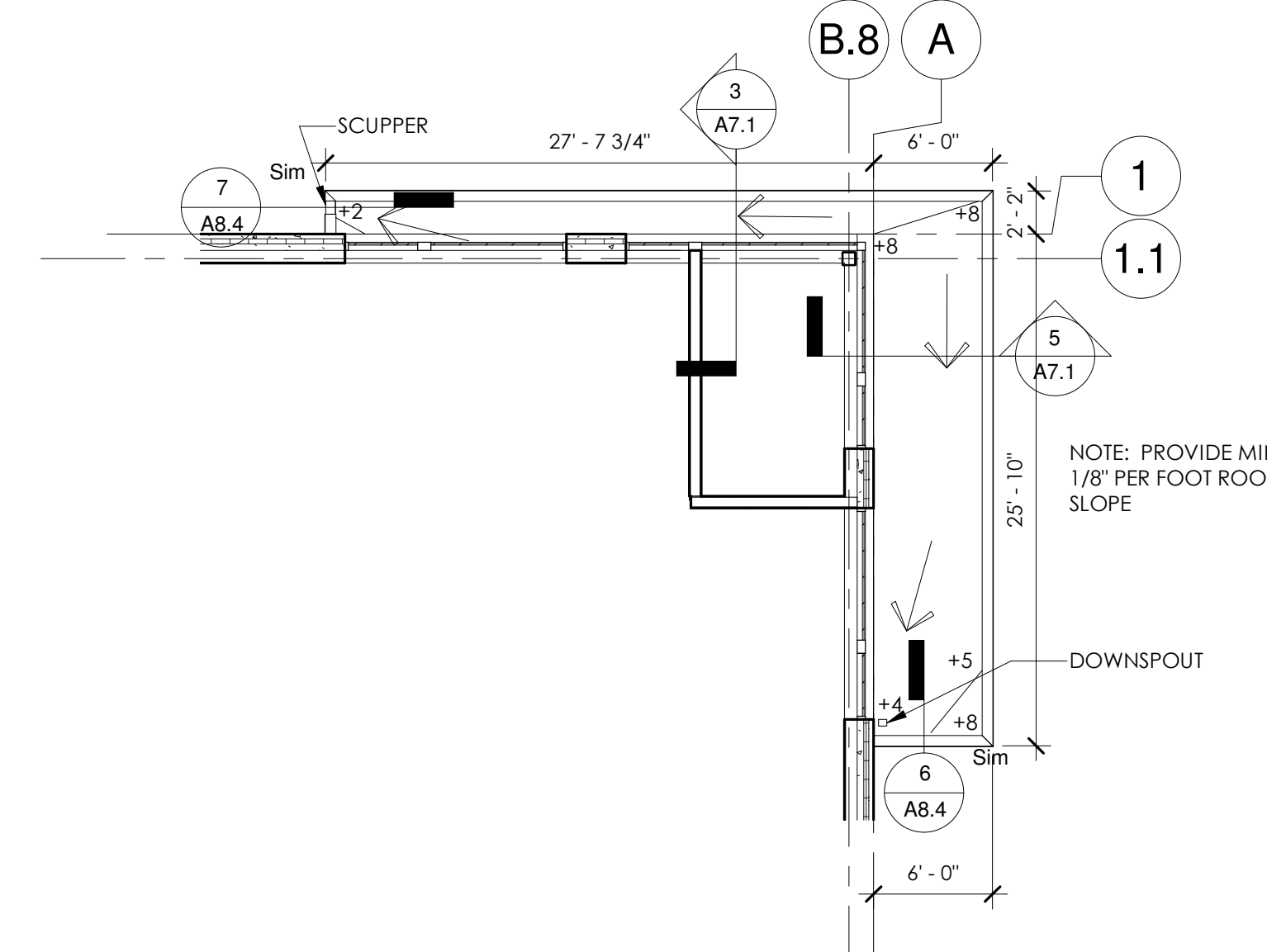
APPLICABLE
 TO ALL
 PLAN VIEWS



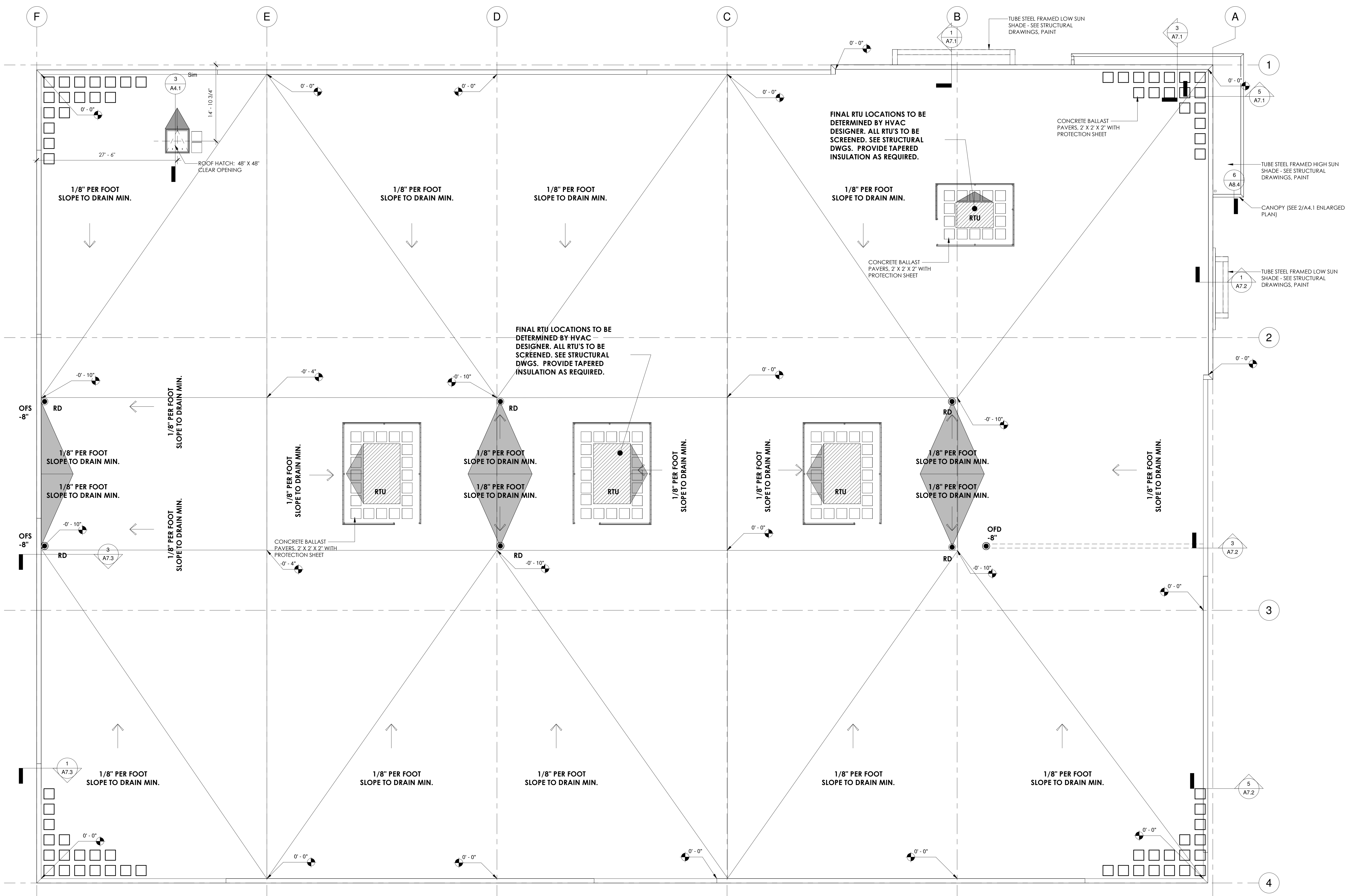
4 ROOF DRAIN DETAIL
 1/2" = 1'-0"



3 ROOF HATCH DETAIL
 1/2" = 1'-0"

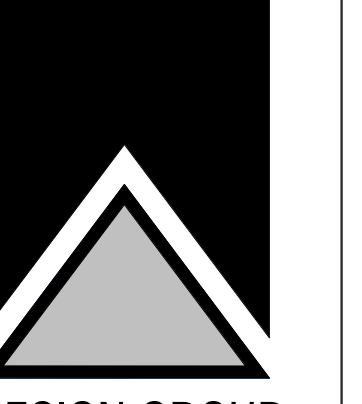


2 PARTIAL ROOF PLAN - CANOPY
 1/8" = 1'-0"

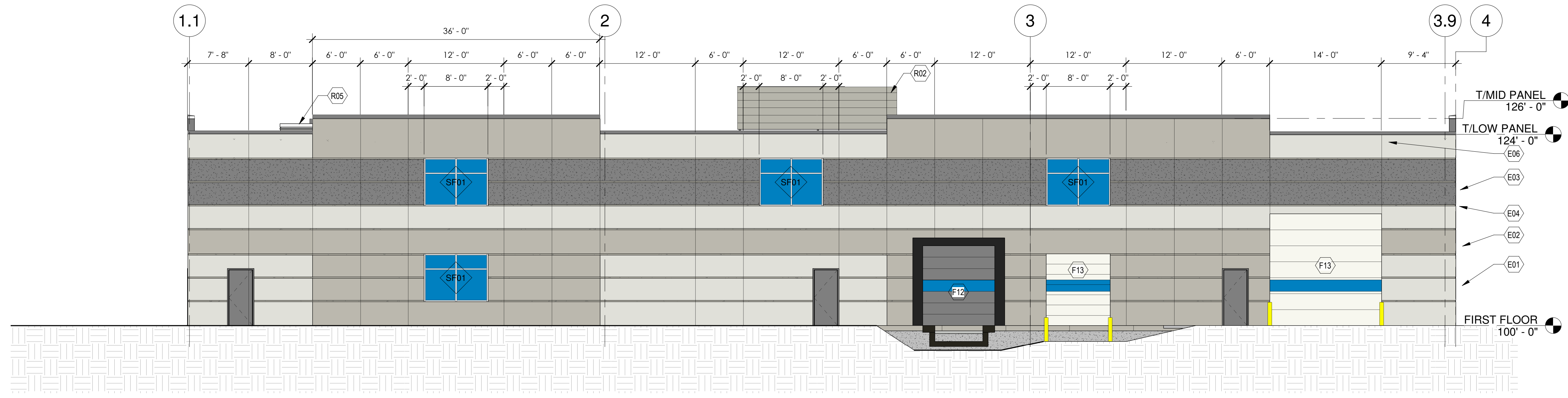


PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS.
 REFER TO HVAC PLANS FOR EXACT LOCATION.

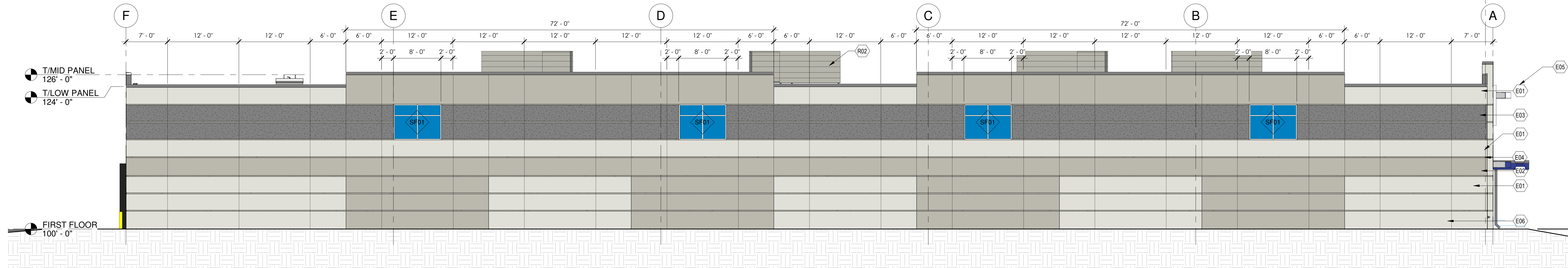
1 ROOF PLAN
 1/8" = 1'-0"



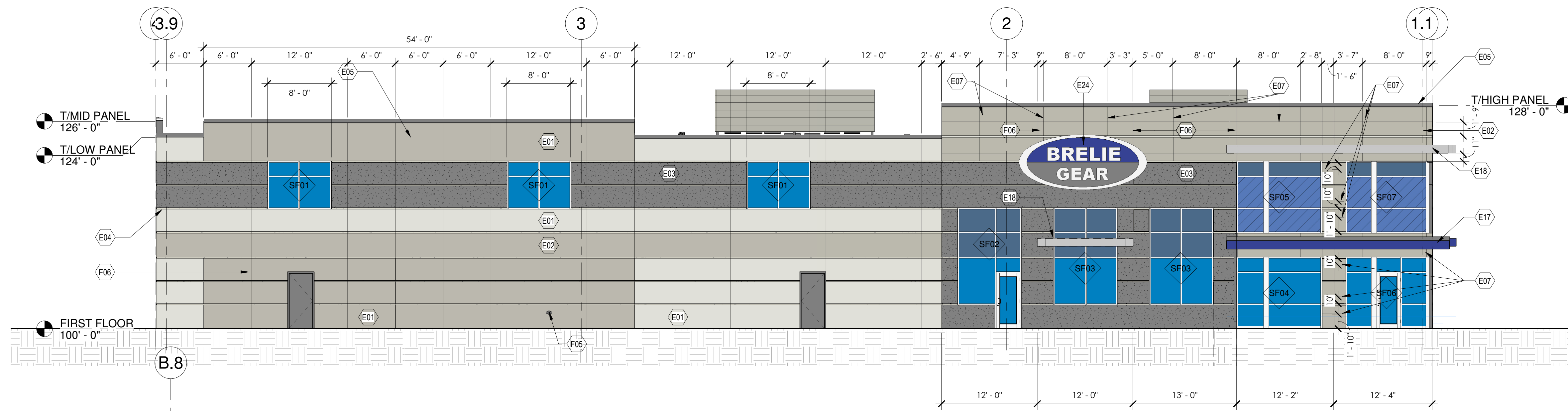
KEYNOTE LEGEND	
VALUE	FLOOR PLAN CODED NOTES
E01	EXTERIOR PRE-CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - COLOR 1
E02	EXTERIOR PRE-CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - COLOR 2
E03	EXTERIOR PRE-CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - COLOR 3
E04	REVEAL - COLOR 4
E05	PRE-FINISHED METAL 24 GA. COPING COLOR SHALL BE "XXXXXX"
E06	PANEL VERTICAL JOINT SEAL
E07	PANEL HORIZONTAL AND VERTICAL "V" REVEAL
E17	STEEL FRAMED, PRE-FINISHED BREAK METAL CLAD CANOPY, COLOR 5
E18	PAINTED TUBE STEEL SUN SHADES, SEE STRUCTURAL DRAWINGS, COLOR 5
E24	SIGNAGE BY OWNER
F05	FIRE DEPARTMENT CONNECTION
F12	7' X 8' AIR POWERED DOCK LEVELERS- COORDINATE WITH ELECTRICAL
F13	DOCK LEVELER CONTROL PANEL
R02	RTU SCREEN, VERIFY FINAL SIZE, LOCATION & TYPE WITH HVAC DESIGNER & BRIOHN BUILDING CORPORATION PRIOR TO INSTALLATION
R05	48" X 48" ROOF HATCH, PROVIDE TAPERED INSULATION FOR DRAINAGE AROUND HATCH AS REQUIRED.



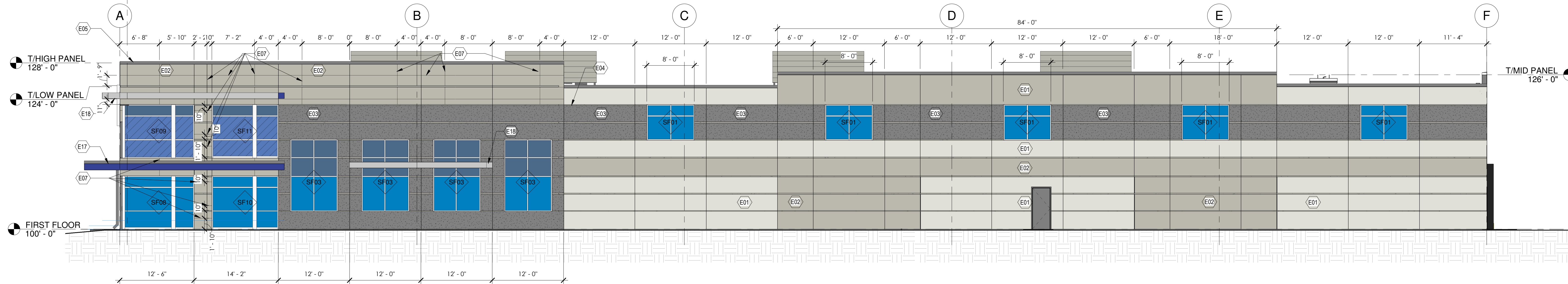
4 WEST EXTERIOR ELEVATION
1/8" = 1'-0"



3 SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



2 EAST EXTERIOR ELEVATION
1/8" = 1'-0"



1 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"

THE PROPOSED COMMERCIAL, NON-RESIDENTIAL BUILDING TO BE LOCATED IN CLIMATE ZONE 6 (PER IECC SECTION 502) PER TABLE 502.2 (1) BUILDING ENVELOPE REQUIREMENTS - OPAQUE ASSEMBLIES.

ROOFS - PROPOSED ROOF INSULATION ENTIRELY ABOVE DECK R-20ci REQUIRED AND R-25ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

WALLS ABOVE GRADE PROPOSED EXTERIOR WALL - MASS (PRECAST INSULATED CONCRETE) R-13.3ci REQUIRED AND R-16ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

SLAB-ON-GRADE FLOORS - PROPOSED UNHEATED SLABS R-10 FOR 24 INCHES BELOW REQUIRED AND R-10 FOR 24 INCHES OR MORE PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

PER TABLE 502.3 BUILDING ENVELOPE REQUIREMENTS - FENESTRATION:
VERTICAL FENESTRATION (40% MAXIMUM ALLOWED ABOVE GRADE) 5% ACTUAL PROVIDED REQUIRED U-FACTOR .40 ACTUAL PROVIDED .29 AND SHGC .41

PER 2015 IECC:

C402.5 AIR LEAKAGE THERMAL ENVELOPE. PROPOSED BUILDING COMPLIES.

C402.5.1 AIR BARRIER PER C402.5.1.2.1 MATERIALS SEE EXCEPTION 13 CAST-IN-PLACE AND PRECAST CONCRETE. PROPOSED BUILDING COMPLIES.

C402.5.2 AIR LEAKAGE FENESTRATION SEE EXCEPTION 1. FIELD FABRICATED FENESTRATION ASSEMBLIES THAT ARE SEALED IN ACCORDANCE WITH SECTION C402.5.1. PROPOSED BUILDING COMPLIES.

C402.5.3 ROOMS CONTAINING FUEL-BURNING APPLIANCES EXCEPTION 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO OUTSIDE. PROPOSED BUILDING COMPLIES.

C402.5.4 DOORS AND ACCESS OPENINGS TO SHAFTS, CHUTES, STAIRWAYS AND ELEVATOR LOBBIES. NOT APPLICABLE TO PROPOSED BUILDING.

C402.5.5 AIR INTAKES, EXHAUST OPENINGS, STAIRWAYS AND SHAFTS. IF REQUIRED TO BE DAMPERED. PROPOSED BUILDING COMPLIES.

C402.5.6 LOADING DOCK WEATHER SEALS TO BE PROVIDED FOR LOADING DOCK DOORS. PROPOSED BUILDING COMPLIES.

C402.5.7 VESTIBULES EXCEPTION 2. DOORS NOT INTENDED TO BE USED BY THE PUBLIC, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, ON INTENDED SOLELY FOR EMPLOYEE USE. EXCEPTION 4 DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET IN AREA. EXCEPTION 6 DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HAND LINE AND ADJACENT PERSONAL DOORS. PROPOSED BUILDING COMPLIES.

C402.5.8 RECESSED LIGHTING. NOT APPLICABLE TO PROPOSED BUILDING.

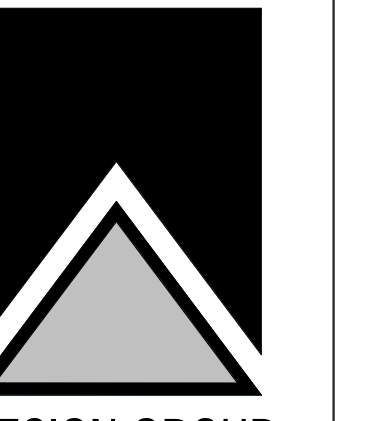


EXTERIOR PERSPECTIVE LOOKING
 ① SOUTHWEST



EXTERIOR PERSPECTIVE LOOKING
 ② NORTHEAST

BRIORN



DESIGN GROUP
 3805 N BRIDGEMOOR ROAD, SUITE 200
 BROOKFIELD, WISCONSIN 53005-1900
 (262) 780-6200 PHONE
 (262) 780-6205 FAX

EXTERIOR PERSPECTIVES

SHEET TITLE

BRELLIE GEAR
 CORPORATE ROAD
 WAUKESHA, WI

JOB: 3123
 DRAWN: CJR
 CHECKED: DF
 DATE: 01-21-2019

SHEET:

A5.2





SHEET TITLE
**AERIAL PERSPECTIVE
LOOKING SOUTHWEST**

BRELE GEAR
CORPORATE ROAD
WAUKESHA, WI

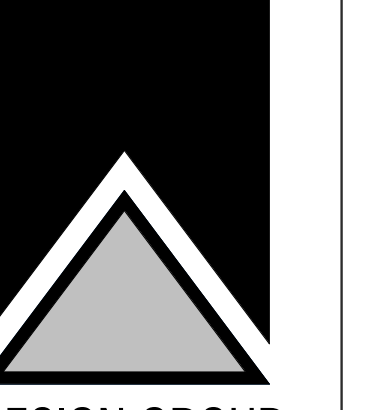
Google Earth

1
AERIAL PERSPECTIVE LOOKING
SOUTHWEST
1/8" = 1'-0"

APPLICABLE
TO ALL
PLAN VIEWS

JOB: 3123
DRAWN: CJR
CHECKED: DF
DATE: 01-21-2019
SHEET:

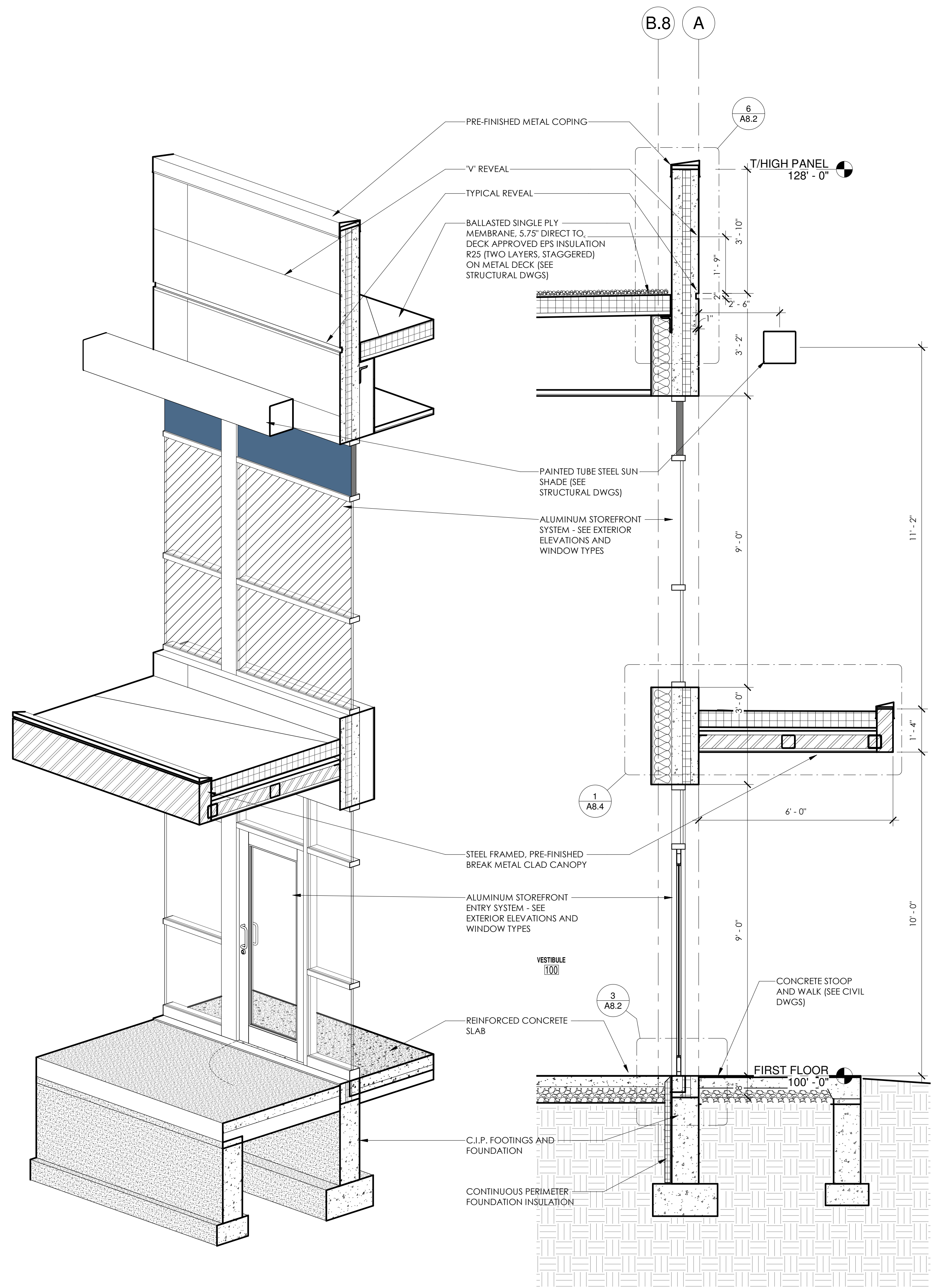
A5.3



WALL SECTIONS

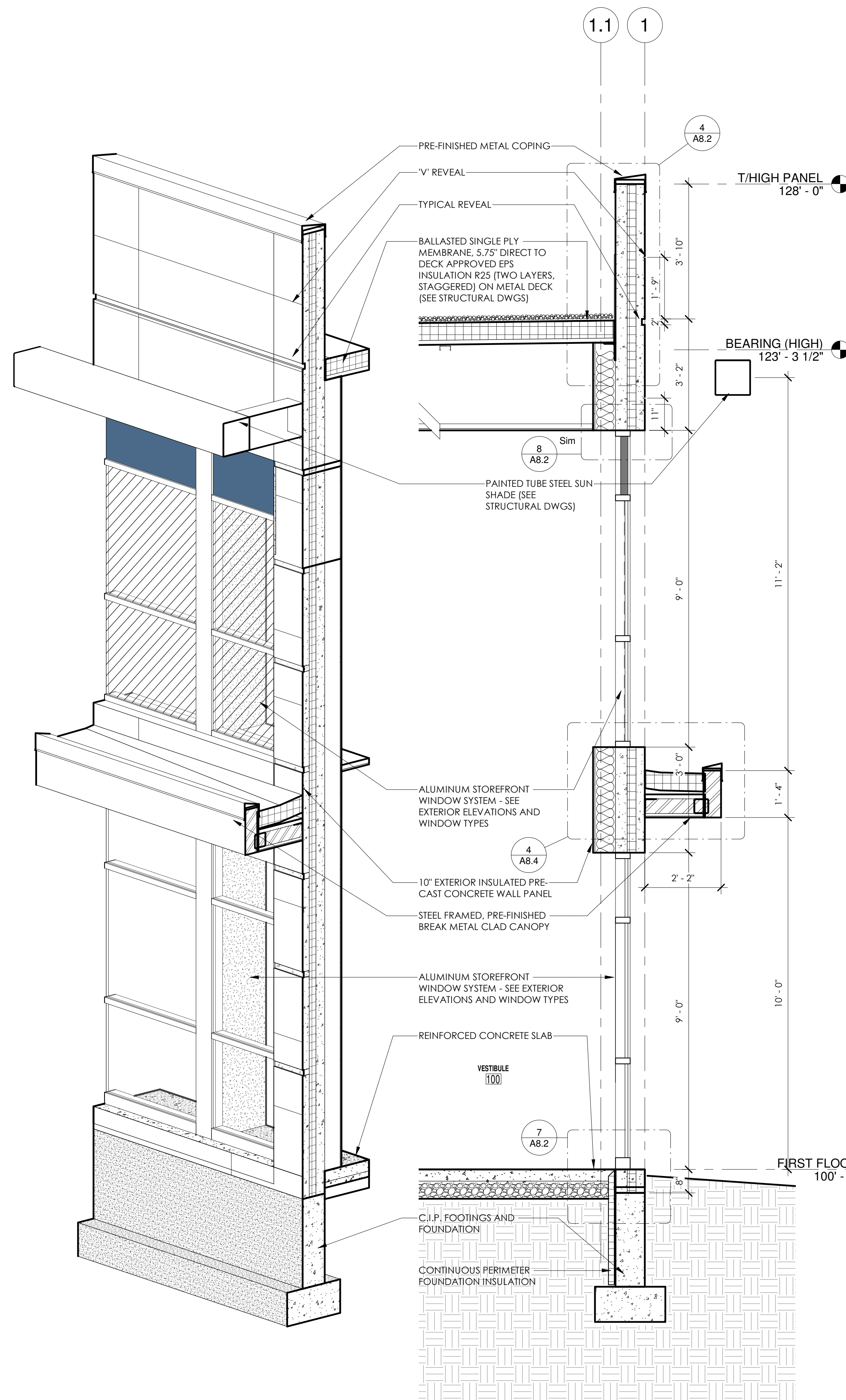
SHEET TITLE

BRELIE GEAR
CORPORATE ROAD
WAUKESHA WI



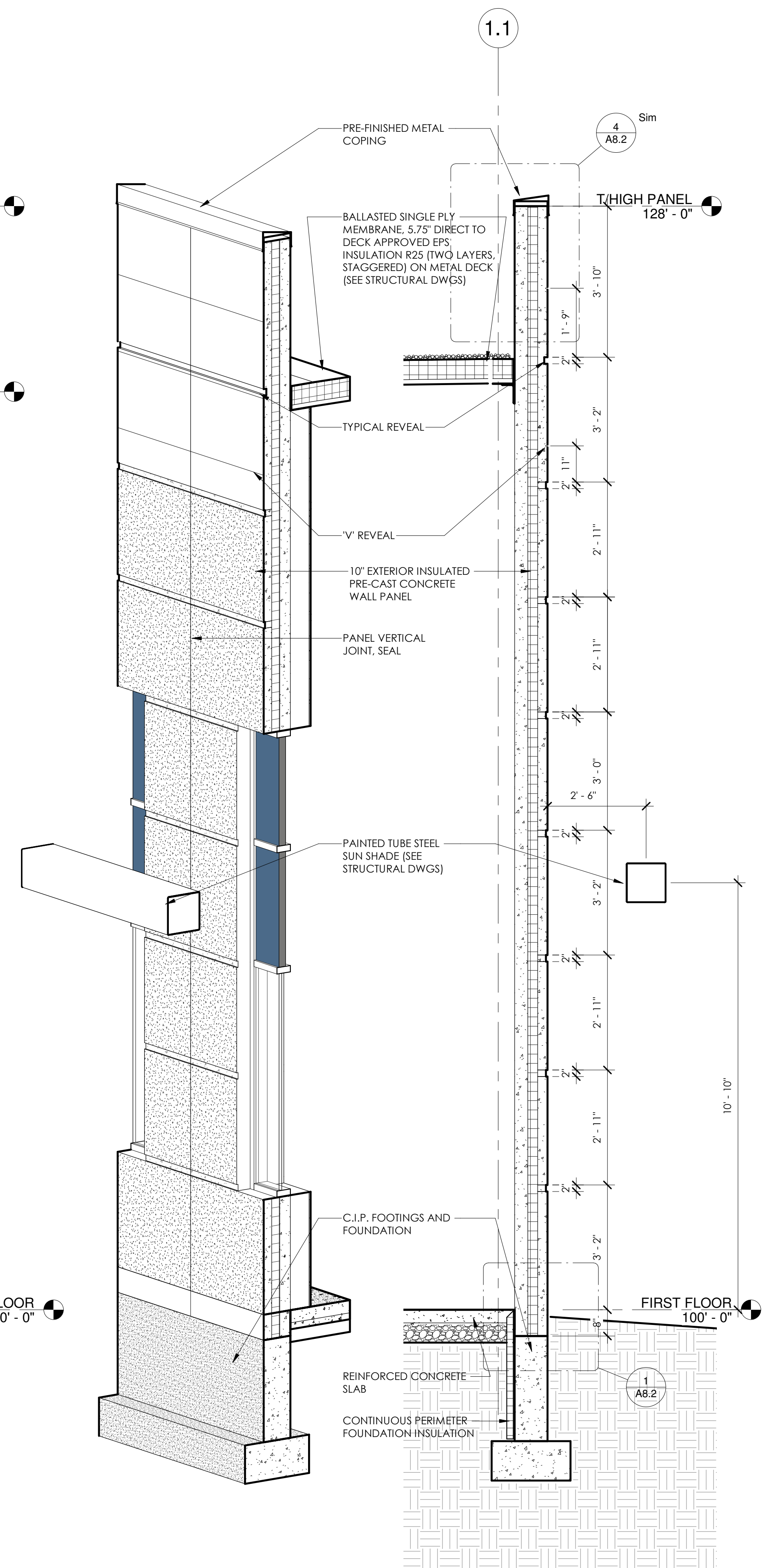
6 WALL SECTION @ EAST CANOPY (3D)

5 WALL SECTION @ EAST CANOPY
1/2" = 1'-0"



4 WALL SECTION @ NORTH CANOPY (3D)

3 WALL SECTION @ NORTH CANOPY
1/2" = 1'-0"

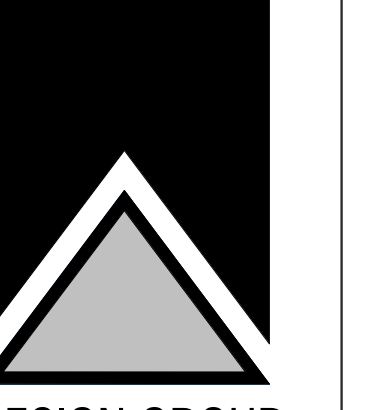


2 HIGH WALL TYP. (3D)

1 WALL SECTION @ HIGH WALL TYP.
1/2" = 1'-0"

JOB: 3123
DRAWN: CJR
CHECKED: DF
DATE: 01-21-2019
SHEET:

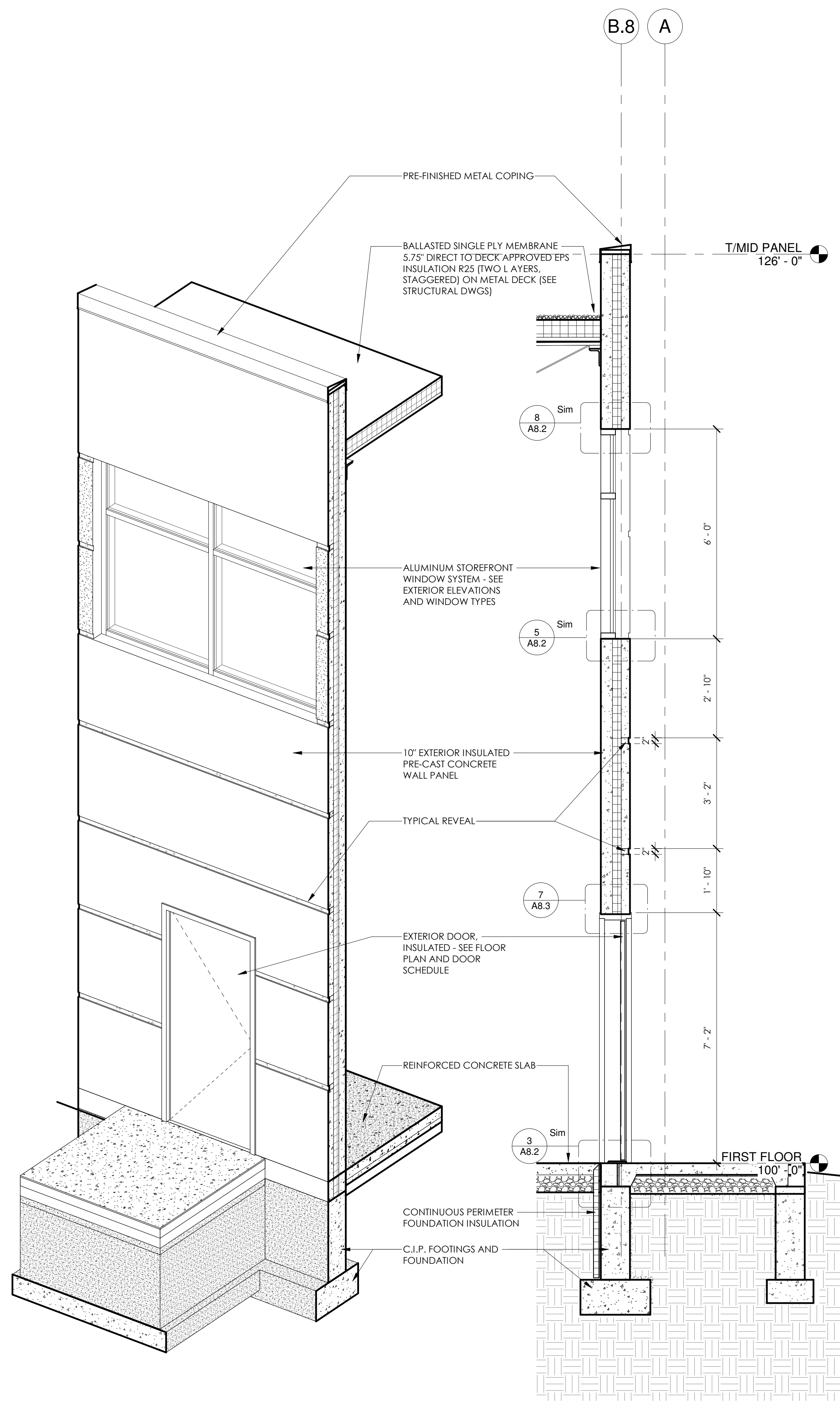
A7.1



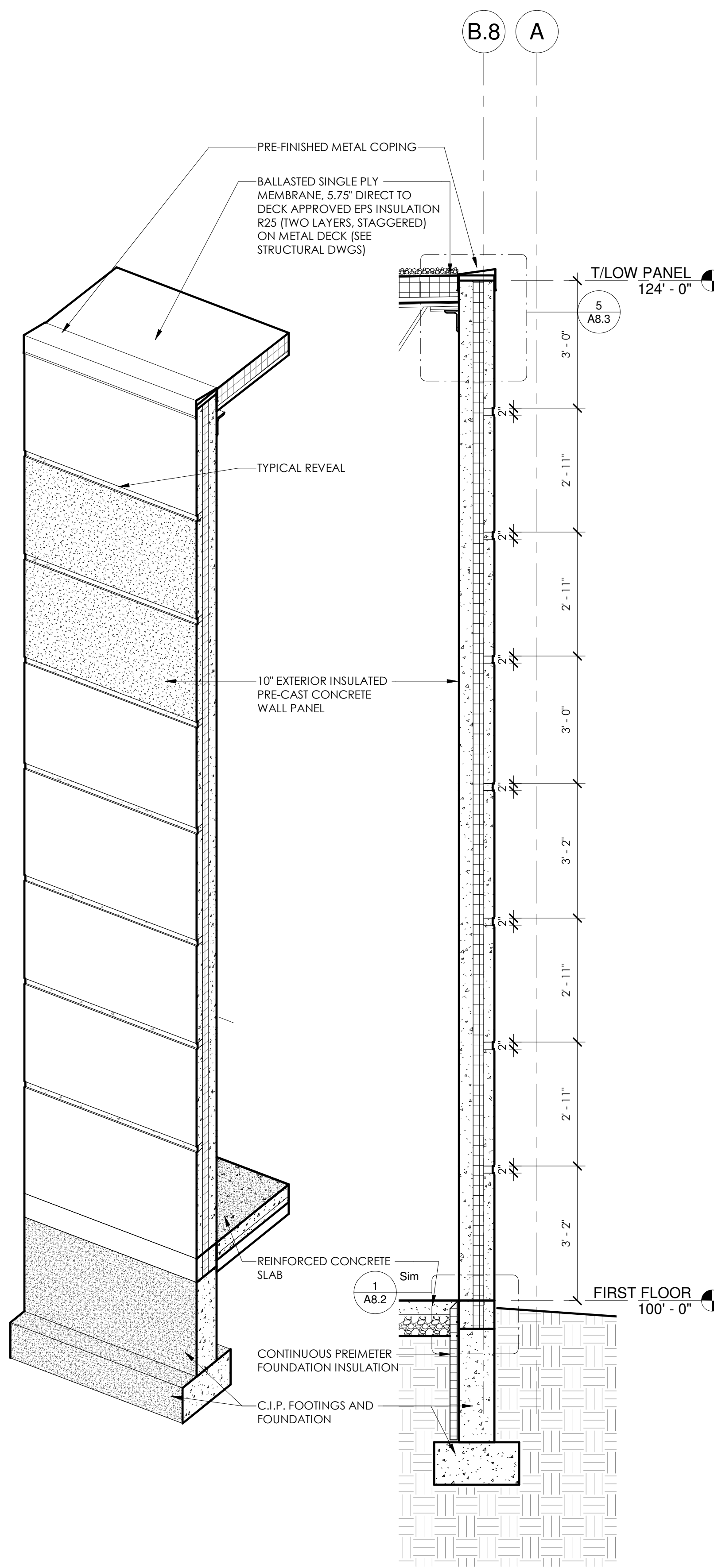
WALL SECTIONS

SHEET TITLE

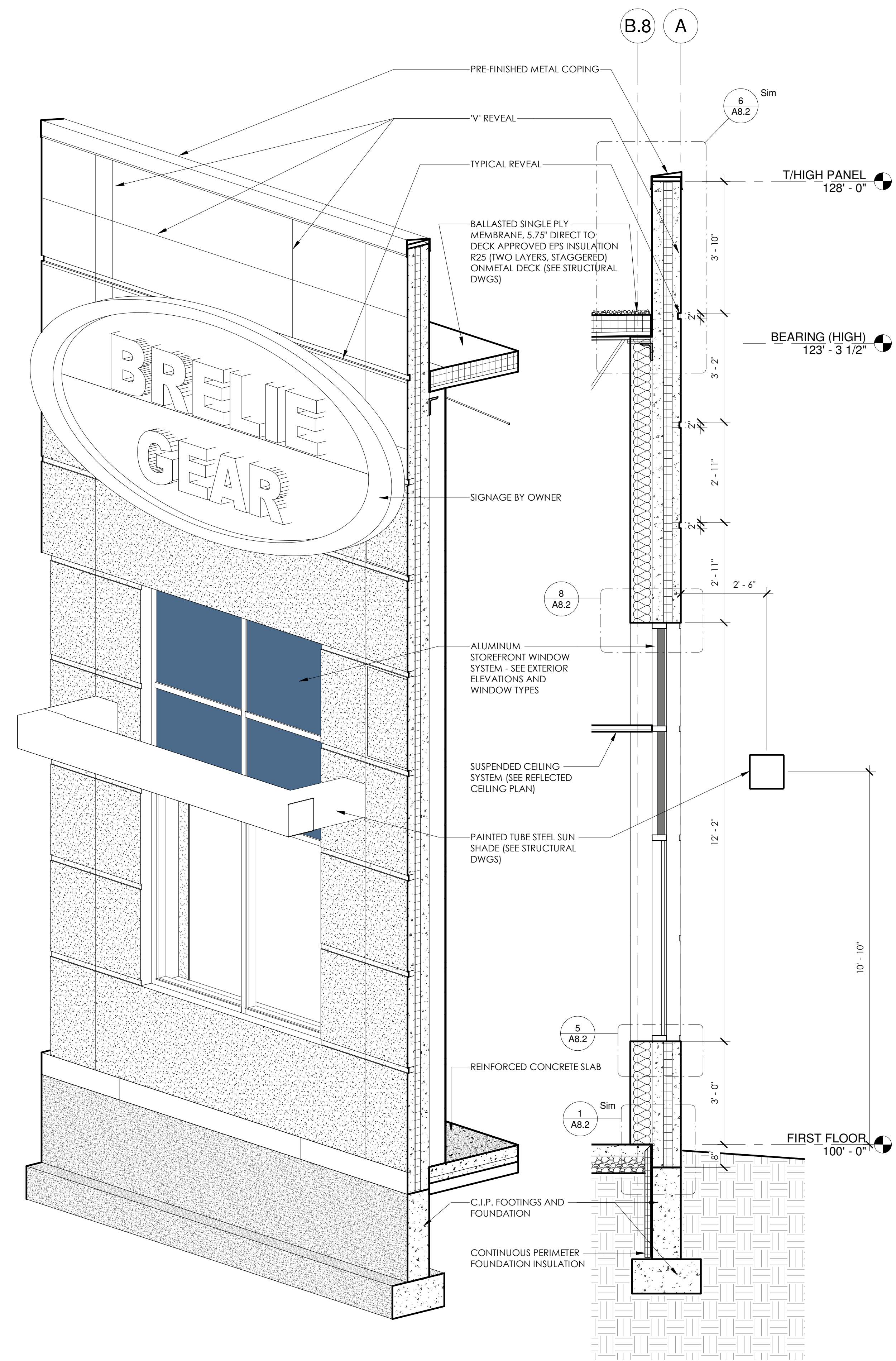
BRELIE GEAR
CORPORATE ROAD
WAUKESHA WI



6 WALL SECTION @ LOW WALL



4 WALL SECTION @ LOW WALL TYP. 1/2\"/>



2 WALL SECTION @ EAST LOW WDW (3D)

1 WALL SECTION @ EAST LOW WDW 1/2\"/>

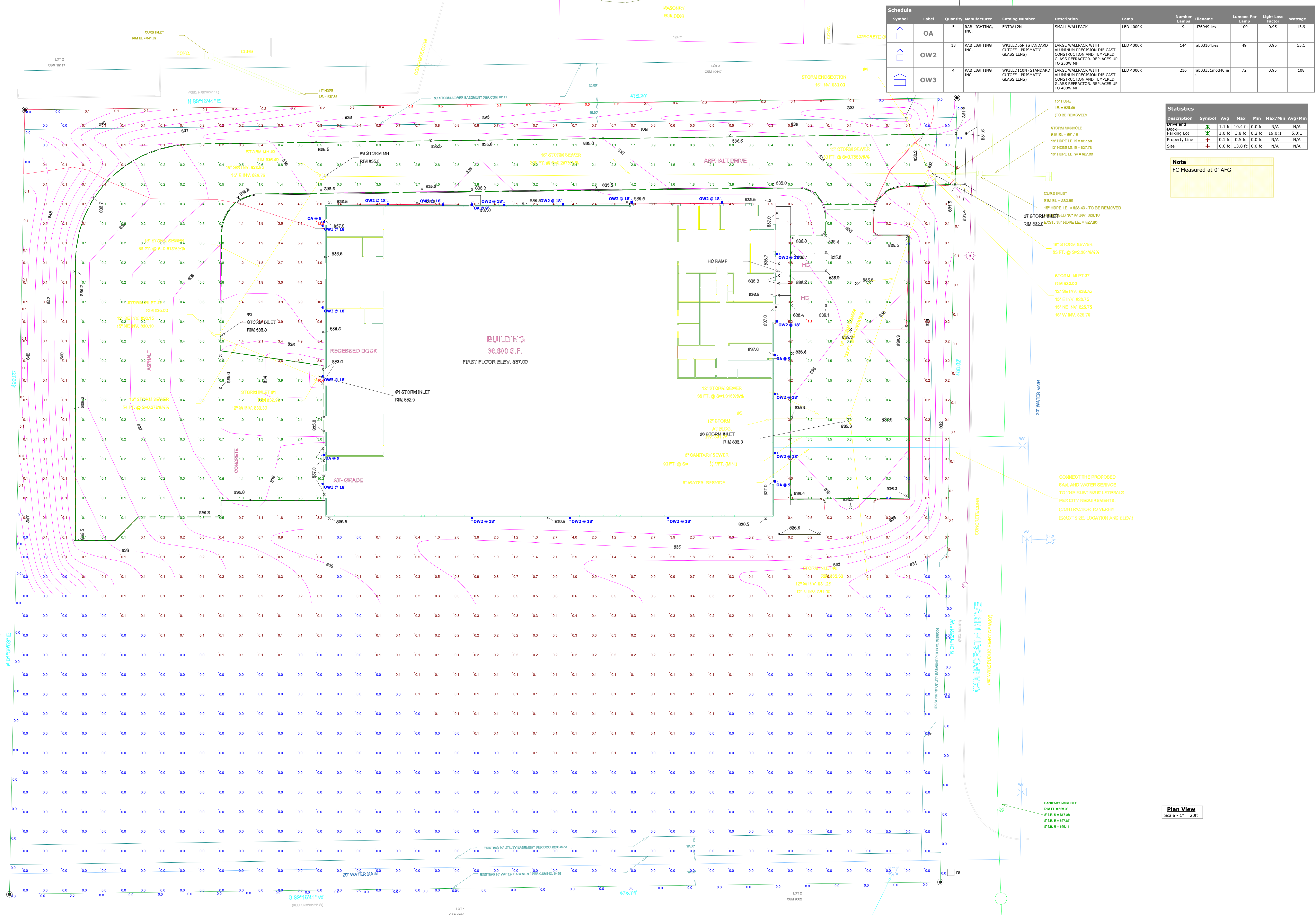
JOB: 3123
DRAWN: CJR
CHECKED: DF
DATE: 01-21-2019
SHEET:

A7.2

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
OA	OA	5	RAB LIGHTING INC.	ENTRA12N	SMALL WALLPACK	LED 4000K	9	rab0104.ies	109	0.95	13.9
OW2	OW2	13	RAB LIGHTING INC.	WP3LED55N (STANDARD CUTOFF - PRISMATIC GLASS LENS)	LARGE WALLPACK WITH ALUMINUM PRECISION DIE CAST CONSTRUCTION AND TEMPERED GLASS REFRACTOR. REPLACES UP TO 250W MH	LED 4000K	144	rab03104.ies	49	0.95	55.1
OW3	OW3	4	RAB LIGHTING INC.	WP3LED110N (STANDARD CUTOFF - PRISMATIC GLASS LENS)	LARGE WALLPACK WITH ALUMINUM PRECISION DIE CAST CONSTRUCTION AND TEMPERED GLASS REFRACTOR. REPLACES UP TO 400W MH	LED 4000K	216	rab03331mod40.ies	72	0.95	108

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive and Deck	X	1.1 fc	10.4 fc	0.0 fc	N/A	N/A
Parking Lot	X	1.0 fc	3.8 fc	0.2 fc	19.0:1	5.0:1
Property Line	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A
Site	+	0.6 fc	13.8 fc	0.0 fc	N/A	N/A

Note
FC Measured at 0' AFG



Plan View
Scale - 1" = 20ft

BRELIE GEAR SITE REV1

Designer
TDL
Date
1/4/2019
Scale
1" = 20ft
Drawing No.
Summary