

City of Waukesha Application for Development Review

Last Revision
Date:
Dec. 2019

City of Waukesha Community Development Department - 201 Delafield Street, Waukesha, WI 53188 262-524-3750
City of Waukesha Department of Public Works Engineering Division—130 Delafield Street, Waukesha, WI 53188 262-524-3600
www.waukesha-wi.gov

APPLICANT INFORMATION

Applicant Name: BILL DECOULOS
Applicant Company Name: BURRIS LOGISTICS
Address: 900 GALE STREET
City, State: WAUKESHA WI Zip: 53186
Phone: 651-248-3538
E-Mail: BDECOULOS@BURRISLOGISTICS
-COM

PROPERTY OWNER INFORMATION

Applicant Name: BILL DECOULOS
Applicant Company Name: BURRIS LOGISTICS
Address: 900 GALE STREET
City, State: WAUKESHA WI Zip: 53186
Phone: 651-248-3538
E-Mail: BDECOULOS@BURRISLOGISTICS.COM

ARCHITECT/ENGINEER/SURVEYOR INFORMATION

Name: _____
Company Name: _____
Address: _____
City, State: _____ Zip: _____
Phone: _____
E-Mail: _____

PROJECT & PROPERTY INFORMATION

Project Name: STORAGE TANKS
Property Address: 900 GALE STREET WAUKESHA
Tax Key Number(s): 1003 214
Zoning: M2
Total Acreage: 13.26 Existing Building Square Footage 177,927
Proposed Building/Addition Square Footage: _____
Current Use of Property: WAREHOUSING

PROJECT SUMMARY (Please provide a brief project description.)

INSTALLATION OF 1,500 SQ FT CONCRETE PAD FOR TWO 50 TON LIQUID STORAGE TANKS.

All submittals require a complete scaled set of digital plans (Adobe PDF) and shall include a project location map showing a 1/2 mile radius, a COLOR landscape plan, COLOR building elevation plans, and exterior lighting photometric maps and cut sheets. A pre-application meeting is required prior to submittal of any applications for Subdivisions, Planned Unit Developments, and Site and Architectural Plan Review. **The deadline for all applications requiring Plan Commission Reviews is Monday at 4:00 P.M, 30 days prior to the meeting date. The Plan Commission meets the Fourth Wednesday of each month.**

APPLICATION ACKNOWLEDGEMENT AND SIGNATURES

I hereby certify that I have reviewed the City of Waukesha Development Handbook, City Ordinances, Submittal Requirements and Checklists and have provided one PDF of all required information. Any missing or incomplete information may result in a delay of the review of your application. By signing this I also authorize The City of Waukesha or its agents to enter upon the property for the purpose of reviewing this application.

Applicant Signature William Decoulos
Applicant Name (Please Print) WILLIAM DECOULOS
Date: 10/5/21

For Internal Use Only:

Amount Due (total from page 2): _____ Amount Paid: _____ Check #: _____
Trakit ID(s) _____ Date Paid: _____

City of Waukesha Application for Development Review

TYPE OF APPLICATION & FEES (CHECK ALL THAT APPLY) Please note that each application type has different submittal requirements. Detailed submittal checklists can be found in Appendix A of the Development Handbook.

FEES
200.00

- Plan Commission Consultation **\$200**
- Traffic Impact Analysis
 - Commercial, Industrial, Institutional, and Other Non-Residential **\$480**
 - Residential Subdivision or Multi-Family **\$480**
 - Resubmittal (3rd and all subsequent submittals) **\$480**

ONE OF THE THREE FOLLOWING ITEMS IS REQUIRED FOR SITE PLAN & ARCHITECTURAL REVIEWS (*):

* **Preliminary Site Plan & Architectural Review**

- Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$2,200**
- Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$2,320**
- Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$2,440**
- Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$2,560**
- Resubmittal Fees (after 2 permitted reviews) **\$750**

* **Final Site Plan & Architectural Review**

- Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$1,320**
- Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$1,440**
- Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$1,560**
- Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$1,680**
- Resubmittal Fees (3rd and all subsequent submittals) **\$750**

* **Minor Site Plan & Architectural Review (total site disturbance UNDER 3,000 total square feet)**

- Projects that do not require site development plans **\$330**
- Resubmittal Fees (3rd and all subsequent submittals) **\$330**

330.00

Certified Survey Map (CSM)

- 1-3 Lots **\$500**
- 4 lots or more **\$560**
- Resubmittal (3rd and all subsequent submittals) **\$180**
- Extra-territorial CSM **\$260**

Preliminary Subdivision Plat (Preliminary Site Plan Review is also required.)

- Up to 12 lots **\$1,270**
- 13 to 32 lots **\$1,390**
- 36 lots or more **\$1,510**
- Resubmittal (3rd and all subsequent submittals) **\$630**

Final Subdivision Plat (Final Site Plan Review is also required.)

- Up to 12 lots **\$660**
- 13 to 32 lots **\$780**
- 36 lots or more **\$900**
- Resubmittal (3rd and all subsequent submittals) **\$480**
- Extra-territorial Plat **\$540**

Rezoning and/or Land Use Plan Amendment

- Rezoning **\$630**
- Land Use Plan Amendment: **\$630**

Conditional Use Permit

- Conditional Use Permit with no site plan changes **\$480**
- Conditional Use Permit with site plan changes **\$480** plus applicable preliminary and final site plan fees above

Planned Unit Development or Developer's Agreement (Site Plan Review is also required)

- New Planned Unit Development or Developer's Agreement **\$1,760**
- Planned Unit Development or Developer's Agreement Amendment **\$610**

Annexation **NO CHARGE**

- House/Building Move **\$150**
- Street or Alley Vacations **\$150**

TOTAL APPLICATION FEES:

530.00

City of Waukesha

Development Review Submittal Requirements

PLAN COMMISSION CONSULTATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Plan Commission Consultation may be submitted for review and comment for the owner/developer to ascertain the feasibility of a proposed project. A consultation is not required but may be submitted in advance of an actual submittal for a preliminary plat, CSM, Planned Unit Development, rezoning, conditional use or site plan. The Plan Commission will only provide feedback, no approvals will be given. Prior to applying for a Plan Commission Consultation you must discuss your project with the Planning Division to determine if a Plan Commission Consultation is recommended.

Review Time: Approximately 30 days

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission (optional)

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) copy of the plans you want conceptual review of
- Attachment A: Development Review Checklist. You should also review all other corresponding checklists that relate to the project that you are seeking conceptual review of and include as much information as possible.
- Cover letter outlining project details.

TRAFFIC IMPACT ANALYSIS SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Traffic Impact Analysis is required for projects that meet certain criteria. Please refer to the Developer's Handbook Section 4.4 to determine if your project requires a Traffic Impact Analysis

Review Time: Approximately 30 days

Reviewing Departments: Public Works Engineering Division

Reviewing Boards: None, however the Plan Commission may require a copy as part of site plan review process.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) copy of the Traffic Impact Analysis

PRELIMINARY SITE PLAN & ARCHITECTURAL REVIEW SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Preliminary site and architectural plans are required for any new residential development with 4 or more units and all non-residential developments. Preliminary site plan approval is also required for additions or modifications to existing developments and projects where a stormwater management plan is needed. Preliminary approval is required unless it is determined by City staff in the Pre-Application meeting that the project only needs Final Site and Architectural Review.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details.
 - Color architectural elevations of all sides of the building and color perspective renderings
 - Conceptual Landscape Plan
 - Attachment A: Development Review Checklist
 - Site Plan (see Attachment B: Engineering Plan Checklist)
 - Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)
 - Utility Plans (see Attachment H: Sewer Plan Review Checklist)
 - Any other attachments as applicable.

FINAL SITE PLAN & ARCHITECTURAL REVIEW PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Final site and architectural plans are submitted only after the Plan Commission has approved Preliminary Site Plans for any new residential development with 4 or more units and all non-residential developments, including modifications to existing developments. Some projects may bypass Preliminary approval but only if it is determined by City staff in the Pre-Application meeting.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details.
 - Color architectural elevations of all sides of the building and color perspective renderings
 - Landscape Plan (see Attachment I: Landscape Plan Checklist)
 - Attachment A: Development Review Checklist
 - Site Plan (see Attachment B: Engineering Plan Checklist)
 - Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)
 - Utility Plans (see Attachment H: Sewer Plan Review Checklist)

MINOR SITE PLAN & ARCHITECTURAL REVIEW SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Minor Site and Architectural review is intended for projects that may not need the extensive submittal requirements for Preliminary and Final Site Plan approval. Projects that qualify for Minor Site Plan submittal may include landscape, façade and building changes or minor site modifications that don't result in the addition of impervious surface.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details.
 - Architectural elevations of all sides of the building being modified *NOT APPLICABLE*
- In addition, depending on the type of project, you may also need the following items:
 - Site Plan (see Attachment B: Engineering Plan Checklist)
 - Landscape Plan (see Attachment I: Landscape Plan Checklist)

CERTIFIED SURVEY MAP SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Certified Survey Map may be used to divide up to eight (8) lots in Commercial, Industrial, and Mixed Use zoning districts and up to four (4) lots in all other zoning districts.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment E: Certified Survey Map Checklist
 - Attachment A: Development Review Checklist and other attachments as applicable.

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

PRELIMINARY PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Preliminary Plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Preliminary Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment F: Preliminary Plat Checklist
 - Cover letter outlining project details.
 - Attachment A: Development Review Checklist and other attachments as applicable
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

FINAL PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Final plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Final Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment G: Final Plat Checklist
 - Cover letter outlining project details.
 - Attachment A: Development Review Checklist and other attachments as applicable.
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

REZONING & COMPREHENSIVE PLAN AMENDMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

This review is for any requests to rezone land or amend the City's Comprehensive Master Plan. For rezonings all property owners within 300 feet of the property will be notified of your request.

Review Time: 45-60 Days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

Additional Information: Rezonings must be done in accordance with the Comprehensive Plan. Please consult with Planning staff to determine if a Comprehensive Plan Amendment is also required prior to submitting a rezoning application.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details and rationale for rezoning
 - Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
 - Conceptual Plan (if applicable)

**Please note this application fee only covers the rezoning and/or Comprehensive Plan Amendment. If you are proposing site plan changes or are subdividing land you will also need to meet the applicable submittal requirements for those proposals.*

CONDITIONAL USE PERMIT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Any use listed as a Conditional Use in Chapter 22 (Zoning Code) requires a Public Hearing in front of the Plan Commission prior to building or occupancy permits being issued. All property owners within 300 feet of the property will be notified of your request.

Review Time: 30-45 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Conditional Use Permit Application

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

PLANNED UNIT DEVELOPMENT OR DEVELOPER'S AGREEMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

The PUD Overlay District is intended to permit development that will, over a period of time, be enhanced by coordinated area site planning, diversified location of structures, diversified building heights and types, and/or mixing of compatible uses. The PUD Overlay District under this Chapter will allow for flexibility of overall development design with benefits from such design flexibility intended to be derived by both the developer and the community, while at the same time maintaining insofar as possible the standards or use requirements set forth in the underlying basic zoning district.

Developer's Agreements are used for any project that require public infrastructure improvements (sewer, storm sewer, sidewalks, etc) and other off-site improvements such as median openings, traffic signals, street widening, etc..

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council. Some projects will also require Board of Public Works review.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter/statement that outlining project details and all of the required information set forth in the Zoning Ordinance Section 22.52 (4)(a)
 - Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
 - General Development Plan
 - Proposed Supplemental Design Elements (required for all PUDs under the minimum required acreage)

**Please note in addition to the PUD submittal requirements your project will also need additional application fees and submittal materials based on the project type. This may include Preliminary and Final Plats, Preliminary and Final Site and Architectural Plans, Certified Survey Maps, Traffic Impact Analysis. Staff will inform you of any additional submittal requirements at the Pre-Application meeting, which is required prior to submitting your application.*

ANNEXATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Requests for annexation as permitted under Section 66.0217 Wisconsin Statutes.

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Copy of your State of Wisconsin Request for Annexation Review Application
 - Signed City of Waukesha Direct Annexation Petition
 - Map of property of property to be annexed.
 - A boundary description (legal description of property to be annexed)
 - Any additional information on the annexation.

HOUSE/BUILDING MOVE SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Any application to move a home or building from one location to another in the City requires review by staff and the Plan Commission.

Review Time: 30-45 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility, Police Department, Any affected Public Utilities

Reviewing Boards: Plan Commission

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Address of existing structure and address of final destination for structure
 - Site Plan showing location of house/building at the new location
 - Proposed route for moving structure. Should also include any overhead wires, mailboxes, or other obstructions that will need to be temporarily relocated to allow for the house/building to get to the new site.

STREET VACATIONS

Street Vacations must be reviewed and approved by the Plan Commission.

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes a map and legal description of the areas to be vacated.

October 5, 2021

Liquid Storage Tank Project for 900 Gale Street

Waukesha Plan Review Commission,

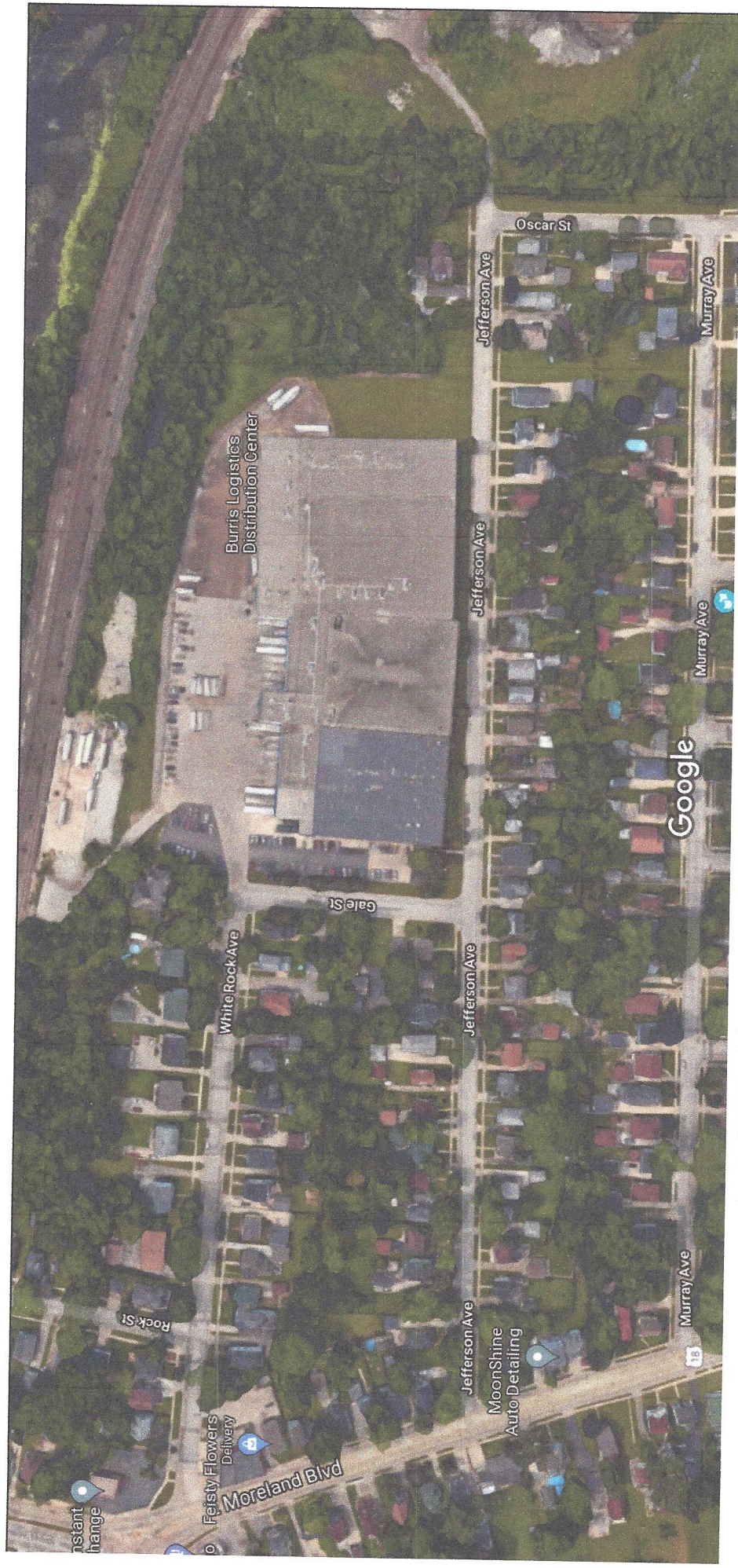
The property owner of 900 Gale Street, Waukesha, WI, Burriss Logistics, is requesting the approval for removing 1,500 sq. ft. of pavement from their south car parking area, which will be replaced with a concrete pad that will be utilized for supporting two 50 ton liquid storage tanks. The liquid storage tanks will have a 10' diameter and an overall height of 34'.

If there are additional questions, please contact me.

Thank you

Bill Decoulos
Burriss Logistics
Vice President of National Warehousing
651-248-3538
bedcoulos@burrisslogistics.com

Google Maps Burris Logistics Distribution Center



Imagery ©2021 Google, Imagery ©2021 Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2021 200 ft



White Rock Ave

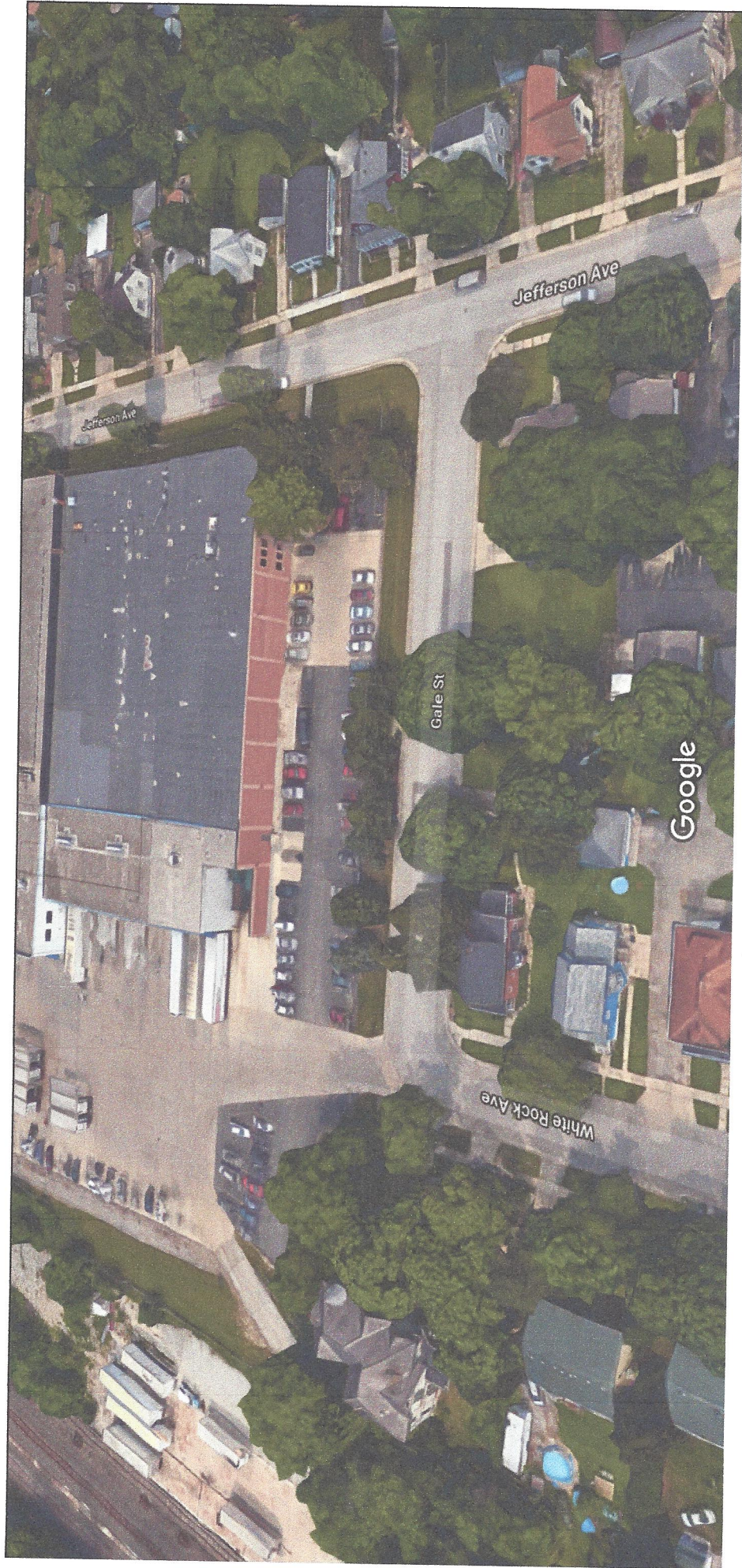
Gale St

Jefferson Ave

Jefferson Ave

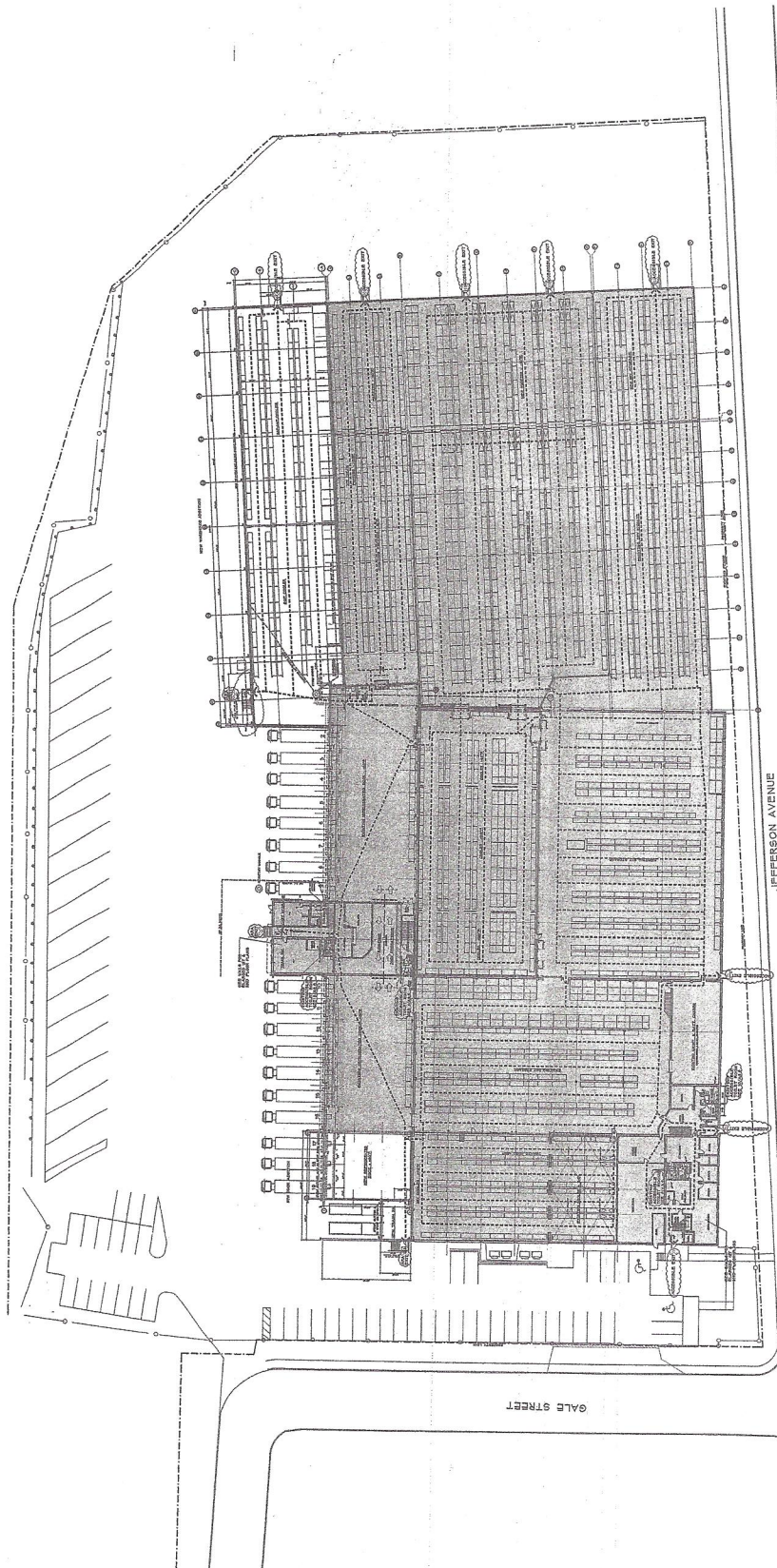
Google

Google Maps Burris Logistics Distribution Center



Imagery ©2021 Google, Imagery ©2021 Maxar Technologies, U.S. Geological Survey, Map data ©2021 50 ft





NOTE: THIS DRAWING FOR
 REFERENCE ONLY, PLEASE
 REVIEW CIVIL DRAWING FOR
 ALL SITE WORK INFORMATION

CERTIFICATION AND SEAL

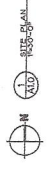
I HEREBY CERTIFY THAT
 THE INFORMATION CONTAINED
 HEREIN IS TRUE AND CORRECT
 TO THE BEST OF MY KNOWLEDGE
 AND BELIEF AND THAT I AM
 A LICENSED PROFESSIONAL
 ENGINEER IN THE STATE OF
 MISSISSIPPI AND THAT I AM
 THE DESIGNER OF THIS
 AND ALL THE WORK THEREON.

UISC

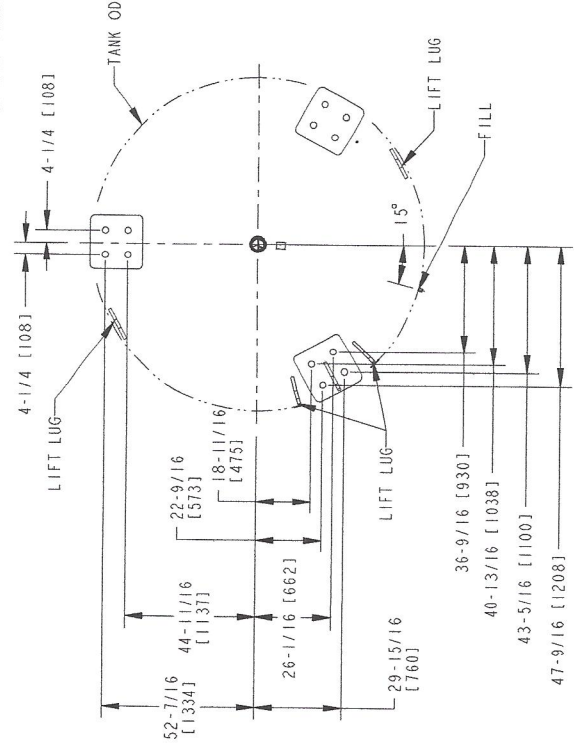
UNITED INSULATED STRUCTURES CORP.
 8400 ST. CHARLES BOULEVARD, BIRMINGHAM, ALABAMA 35206 (404) 444-8000
 PROJECT: **UNITED INSULATED STRUCTURES WHOLESALE FOODS**
 DRAWING TITLE: **SITE PLAN**

DATE: 7-20-04
 DRAWN BY: CTV
 CHECKED BY: [Signature]
 COPYRIGHT © 2004 UNITED INSULATED STRUCTURES CORP.
 ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF UNITED INSULATED STRUCTURES CORP. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

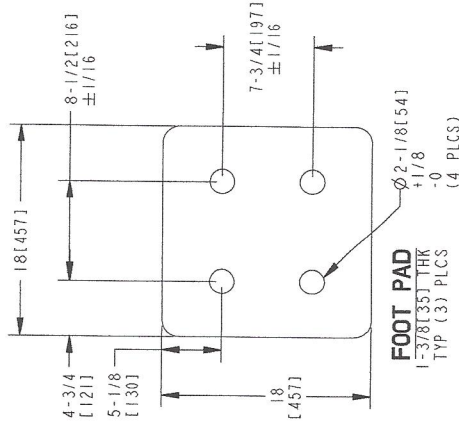
A1.0



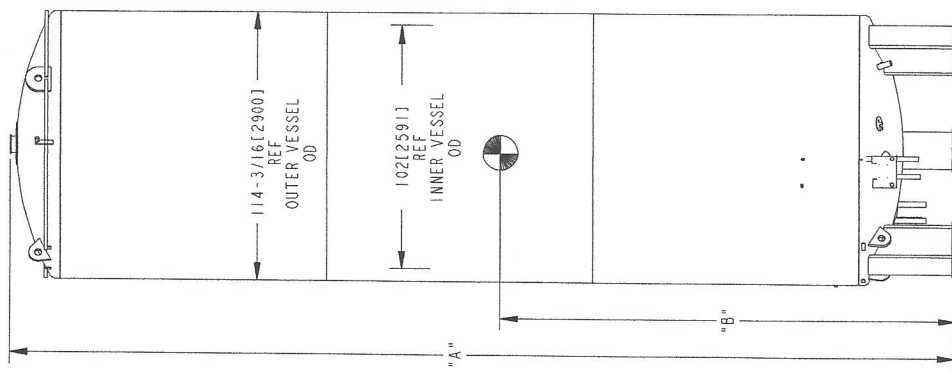
INNER VESSEL DESIGN DATA	
Model:	VS-30/50TON CO2/N2O
MAWP:	PSIG 350 bar g 24.13
DESIGN PRESSURE:	PSIG 373.2 bar g 25.73
CODE COMPLIANCE:	ASME CODE CASE 2596
DESIGN TEMPERATURE:	°F -32° TO 120° °C -196° TO 49°
MATERIAL OF CONSTRUCTION:	SA240 304 STAINLESS STEEL
OUTER VESSEL DATA	
CODE COMPLIANCE:	FULL VACUUM PER CGA-341
DESIGN TEMPERATURE:	°F -20° TO 300° °C -29° TO 149°
MATERIAL OF CONSTRUCTION:	A36 CARBON STEEL
INSULATION TYPE:	VACUUM AND MULTILAYER INSULATION
EVACUATION CONNECTION:	3-1/2" PUMPOUT PORT
VACUUM GAUGE CONNECTION:	HASTINGS DV6R
BUILDING CODE: DESIGNED FOR CURRENT BUILDING CODE SEE CHART UBC POLICY #NP-180	



BOLT HOLE LAYOUT
TOP VIEW
SCALE: N/A



TANK HEIGHT		
MODEL	DIM "A" REF	DIM "B" REF
VS-30TON	291 [7391]	163 [4142]
VS-50TON	406 [10312]	221 [5613]



MODEL:	WEIGHTS AND SHIPPING DATA	
	VS-30TON	VS-50TON
WEIGHT EMPTY	POUNDS 31,100 KILOGRAMS 14,107	POUNDS 46,200 KILOGRAMS 20,956
WEIGHT FULL	POUNDS 91,500 KILOGRAMS 41,504	POUNDS 137,600 KILOGRAMS 62,414
WEIGHT FULL	POUNDS 90,200 KILOGRAMS 40,914	POUNDS 135,500 KILOGRAMS 61,462
SHIPPING DIMENSIONS	INCHES 291 X 115 X 115 MM'S 7391 X 2921 X 2921	INCHES 406 X 115 X 115 MM'S 10312 X 2921 X 2921

MODEL:	CAPACITIES			
	VS-30TON-CO2	VS-30TON-N2O	VS-50TON-CO2	VS-50TON-N2O
CAPACITY	GALLONS	7,120	11,180	11,180
	LITERS (COLD)	26,952	42,321	42,321
	TON	30.2	29.5	47.4
	TONNE	27.4	26.8	43.1
CAPACITY	GALLONS	6,760	10,290	10,290
	LITERS (COLD)	25,589	38,952	38,952
	TON	28.6	28.0	43.6
	TONNE	25.9	25.4	39.6
GASES EQUIVALENT AT 14.7 PSIA AND 70 F°	SCF	778,100	629,500	1,184,400
	NM3	22,033	17,825	33,538

** BASED ON NET (COLD) VOLUMES

THIRD ANGLE PROJECTION	APPROVED	DATE
Material Required N/A	DA	1/14/13
	GJS	1/13/14
VISIT US AT CHARTINDUSTRIES.COM	JL	1/14/13
	KLT	1/14/13
OEM PARTS AT CHARTPARTS.COM	RC	1/14/13
	KR	1/14/13

THE MATERIALS AND INFORMATION, INCLUDING THE PRINCIPLES OF DESIGN CONTAINED IN THIS PRINT, IS THE EXCLUSIVE PROPERTY OF CHART INC. AND IS CONFIDENTIAL AND PROPRIETARY INFORMATION. THIS INFORMATION MAY NOT BE REPRODUCED, COPIED, OR LOANED, IN PART OR IN WHOLE, WITHOUT CHART'S PRIOR WRITTEN CONSENT.

ADD DIM "B"	BY	DATE
15874	NY	6/27/14
DESCRIPTION	BY	DATE
CHART Distribution & Storage, New Prague Operations Innovation. Experience. Performance.®		
TITLE 0 & D VS-30/50TON CO2/N2O COLD STRETCH 350PSI ASME		
DRAWING NUMBER	REV	Rev A
SCALE	SHEET	1 OF 1
C-20643762		



No.	Description	Dwg By	App'd By	Date
1	ADDED LOCATION OF TANKS CENTER POINT	JPG	JMM	4/27/21
2	NOTATED PAD & MOVE LOCATION WEST ALONG BUILDING	JPG	AK	5/11/21

NOT FOR CONSTRUCTION	
Form No. JPG	Date 4/5/21
Revision AK	Rev Desc 5/11/21
Checker AK	Notes NONE

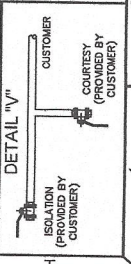
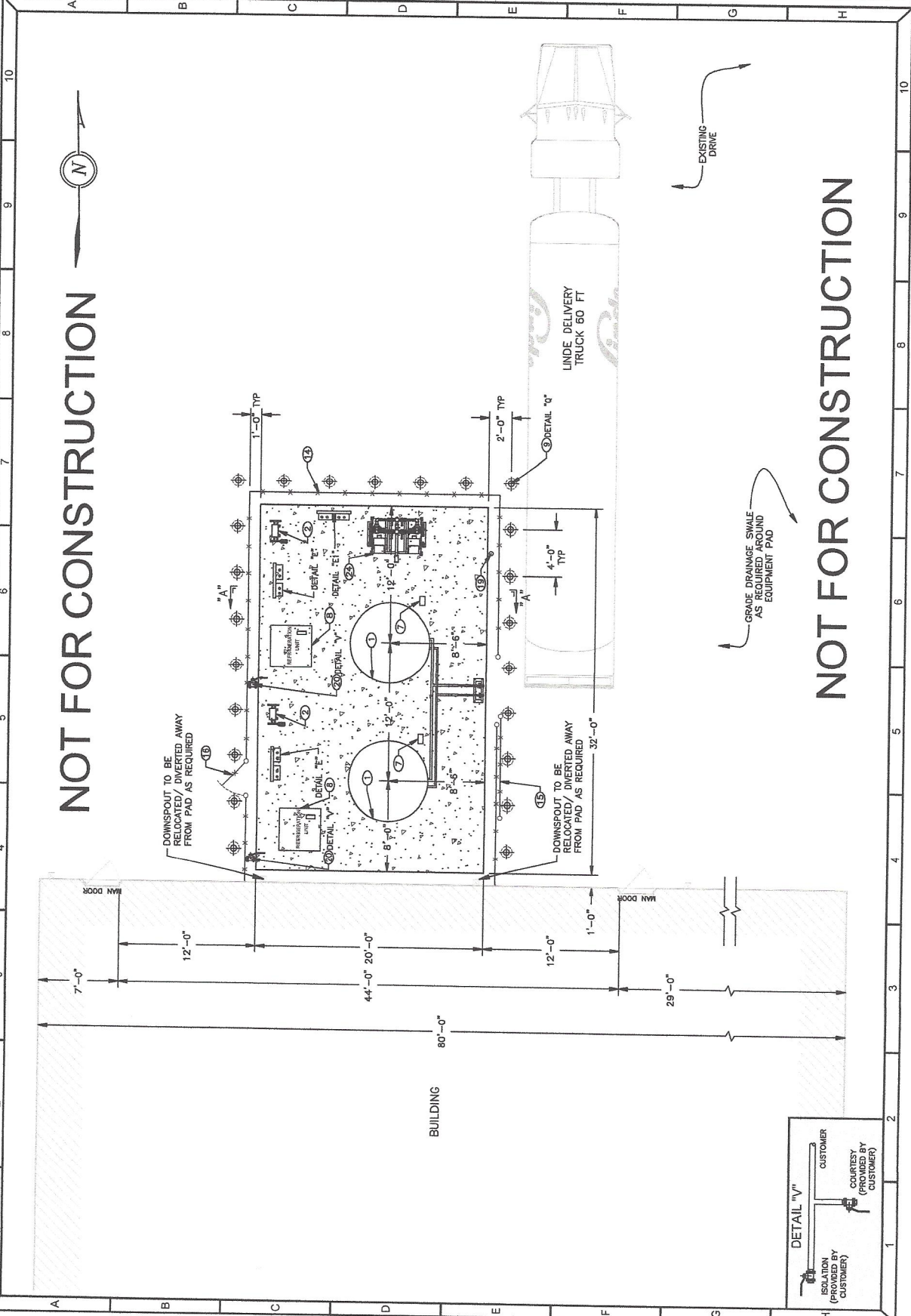
Client:

Drawing Type: CARBON DIOXIDE SYSTEM

Title: B.O.M. SYSTEM LAYOUT, & FOUNDATION

Project No. 2400814

Sheet Number: 2	Total Sheets: 6
-----------------	-----------------





BUSINESS CONFIDENTIAL
MIDWEST
SERVICE CENTER
EAST CHICAGO, IN

No.	Description	Dwg B./ App'd B.	Date
1	ROOFED PAD & MOVE LOCATION WEST ALONG BUILDING	JPG AK	5/11/21
2	ADDED LOCATION OF TANKS CENTER POINT	JPG JM	4/27/21

**NOT FOR
CONSTRUCTION**

Drawn By:	JPG	Date:	4/5/21
Reviewed:	AK	Rev. Date:	5/11/21
Checked:	AK	Revised:	NONE

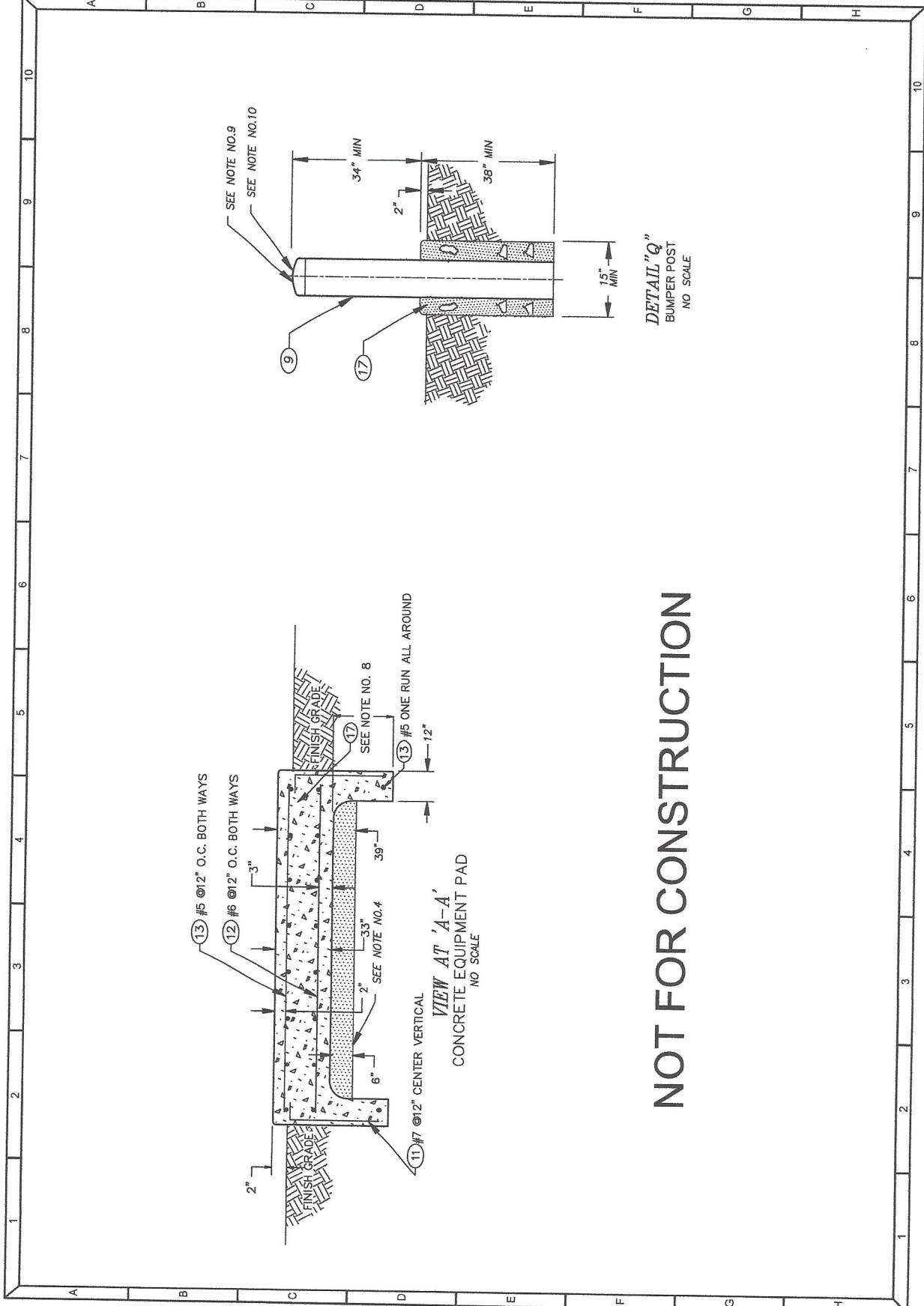
Client:
XXXXXXXXXXXX
XXXXXXXXXXXX
XXXXXXXXXXXX

Drawing Type:
CARBON DIOXIDE
SYSTEM

Title:
B.O.M. SYSTEM LAYOUT,
& FOUNDATION

Project No.
2400814

Sheet Number:	3	Total Sheets:	6
---------------	---	---------------	---



NOT FOR CONSTRUCTION

VIEW AT 'A-A'
CONCRETE EQUIPMENT PAD
NO SCALE

DETAIL 'Q'
BUMPER POST
NO SCALE

ELECTRICAL UNDERGROUND SPECIFICATIONS



BUSINESS CONFIDENTIAL
MIDWEST
SERVICE CENTER
EAST CHICAGO, IN

No.	Description	By	Date
1	NOTED LOCATION OF TANKS CENTER POINT	JFC	JMM
2	NOTED LOCATION WEST ALONG BUILDING	JFC	AK
3		JFC	4/27/11

NOT FOR CONSTRUCTION

Form No.	JPG	Date	4/5/21
Revision	AK	Rev. Date	5/11/21
Checked	AK	Issue	NONE

Client: XXXXXXXXXXXXXXXXXX

Drawing Type:
CARBON DIOXIDE SYSTEM

Title:
B.O.M. SYSTEM LAYOUT, & FOUNDATION

Project No.
2400814

Sheet Number:
4 of **6**

SECTION USE-1 GENERAL REQUIREMENTS

1.0 Scope
 This section of the specification is for general requirements and definitions of the supply responsibility and general procedures that shall be followed by the Contractor. The Contractor shall provide and install a complete and acceptable underground electrical system in accordance with the specifications and/or on the Owner's Electrical Underground Drawings.

1.1 Applicable Codes
 All Contractor provided items and Contractor installation techniques shall conform to the applicable codes and standards. In addition, the Contractor shall also follow the latest editions and amendments to the following codes and standards: (N.E.C.), the "National Electrical Manufacturers Association" (NEMA), the "National Electrical Contractors Association" (NECA), the "Institute of Electrical and Electronic Engineers" (IEEE), the "Federal Communications Commission" (FCC), the "National Fire Protection Association" (NFPA), the "National Electrical Safety Code" (NESC), the "Occupational Safety and Health Administration" (OSHA) rules and regulations and the "American Society of Mechanical Engineers" (ASME) standards. The above local laws, and standards shall constitute the minimum requirements for the Contractor. The Contractor shall be responsible for the construction drawings and specifications made a part of this contract. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system.

1.2 Material and Material Responsibility
 All the materials required for a complete electrical underground installation, as defined in this specification, and/or on the electrical underground drawings, shall be furnished by the Contractor unless specifically noted otherwise. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system.

1.3 General Procedures
 All work shall be performed as indicated on the drawings and one made in accordance with the specifications and one in accordance with the specifications and one in accordance with the specifications. In case of a conflict between the drawings and specifications, the specifications shall prevail. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system.

1.4 Temporary Underground Installations
 All temporary underground installations installed by the Contractor shall be in accordance with the specifications and one made in accordance with the specifications and one in accordance with the specifications. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system.

1.5 As-Built Drawings
 Upon completion of the contracted work, the Contractor shall submit to the Owner a set of complete and acceptable As-Built Underground Drawings. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system.

SECTION USE-2 ELECTRICAL GROUNDING

2.0 Scope
 This section of the specification is for electrical grounding and material, installation requirements and general procedures. The Contractor shall provide and install a complete and acceptable underground electrical system in accordance with the specifications and/or on the Owner's Electrical Underground Drawings.

2.1 Material
 The Contractor shall furnish all materials for a complete grounding system. Exceptions to the materials furnished by the Contractor shall be noted as "By Owner" or "By Owner."
 The following materials are the major items required. Additional material requirements are shown, noted or listed on the drawings.
 2.1.1 Grounding conductors shall be #4/0 AWG [120mm], medium hard drawn, bare, annealed copper unless noted otherwise.
 2.1.2 All ground rods (electrodes) shall be 0.75 inch [19mm] diameter by 10 feet [3 meters] long copper clad.

2.2 Installation Requirements
 The Contractor shall install a complete grounding system as required by this specification and/or on the Owner's Electrical Underground Drawings. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system.

2.3 Grounding Connections
 2.3.1 All ground conductors shall be installed a minimum of 18 inches [457mm] below grade, with sufficient slack to allow for movement of the conductors. The conductors shall be installed in a trench, raceway, conduit, or other approved method. The trench shall be a minimum of 24 inches [610mm] below grade.
 2.3.2 Where ground conductors emerge through a wall, the Contractor shall provide a minimum of 18 inches [457mm] of protection for the conductors. The protection shall be installed in a trench, raceway, conduit, or other approved method. The trench shall be a minimum of 24 inches [610mm] below grade.
 2.3.3 All bare grade connections shall be made with approved compression type fittings, using a flat-head tool by hand or by an automatic type crimping process or such as "coldset". Soldered connections are prohibited.

2.4 Grounding Connections
 2.4.1 Where ground connections are extended above ground, the Contractor shall provide a minimum of 18 inches [457mm] of protection for the conductors. The protection shall be installed in a trench, raceway, conduit, or other approved method. The trench shall be a minimum of 24 inches [610mm] below grade.
 2.4.2 Where ground connections are extended above ground, the Contractor shall provide a minimum of 18 inches [457mm] of protection for the conductors. The protection shall be installed in a trench, raceway, conduit, or other approved method. The trench shall be a minimum of 24 inches [610mm] below grade.
 2.4.3 Where ground connections are extended above ground, the Contractor shall provide a minimum of 18 inches [457mm] of protection for the conductors. The protection shall be installed in a trench, raceway, conduit, or other approved method. The trench shall be a minimum of 24 inches [610mm] below grade.

2.5 General Procedures
 2.5.1 Testing
 The Contractor shall measure the ground resistance of the grounding system. The Contractor shall provide a minimum of 18 inches [457mm] of protection for the conductors. The protection shall be installed in a trench, raceway, conduit, or other approved method. The trench shall be a minimum of 24 inches [610mm] below grade.

SECTION USE-3 CONDUIT AND CONDUIT WORK

3.0 Scope
 This section of the specification is for underground conduit and conduit installation requirements and general procedures. The Contractor shall provide and install a complete and acceptable underground electrical system in accordance with the specifications and/or on the Owner's Electrical Underground Drawings.

3.1 Material
 The Contractor shall furnish all materials for a complete conduit system. Exceptions to the materials furnished by the Contractor shall be noted as "By Owner" or "By Owner."
 The following materials are the major items required. Additional material requirements are shown, noted or listed on the drawings.
 3.1.1 Underground conduit material shall be schedule 40 PVC, and/or rigid, galvanized steel, or aluminum. The Contractor shall provide and install a complete and acceptable underground electrical system in accordance with the specifications and/or on the Owner's Electrical Underground Drawings.

3.2 Rigid and Intermediate metal conduit shall be of high strength, epoxy, hot dipped galvanized steel and/or, including threaded, and locknut finished, with one coupling on one end and a threaded protector on the other end.
 3.2.1 PVC conduit shall be schedule 40, and delivered in 10 foot [3 meter] lengths, with couplings on one end and a threaded protector on the other end.
 3.2.2 Concrete encasement shall be 3,000 PSI at 28 days with a maximum aggregate size of 0.5 inch [12mm]. The surface of all concrete duct boxes shall be covered by either mixing or troweling a red dye into the concrete surface.
 3.2.3 Steel and aluminum conduit shall be schedule 40, and delivered in 10 foot [3 meter] lengths, with couplings on one end and a threaded protector on the other end.

3.3 Installation Requirements
 The Contractor shall install a complete underground conduit system as required by this specification and/or on the Owner's Electrical Underground Drawings. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system. The Contractor shall be responsible for obtaining all necessary permits and materials underground electrical system.

3.4 Conduit Identification
 All conduits identified by numbers on the Owner's Electrical Underground Drawings shall be installed as identified at both ends and in any manholes using one of the following methods:
 a) A non-corrosive mark of fiber tape, securely fastened to the conduit with a minimum of 2 inch [51mm] overlap, shall have clearly readable letters and numbers no smaller than 0.375 inch [9.5mm] in height.
 b) Where practical conduit identification numbers may be stenciled on or adjacent to concrete with a permanent, waterproof paint.

3.5 General Procedures
 3.5.1 Conduit Identification
 All conduits identified by numbers on the Owner's Electrical Underground Drawings shall be installed as identified at both ends and in any manholes using one of the following methods:
 a) A non-corrosive mark of fiber tape, securely fastened to the conduit with a minimum of 2 inch [51mm] overlap, shall have clearly readable letters and numbers no smaller than 0.375 inch [9.5mm] in height.
 b) Where practical conduit identification numbers may be stenciled on or adjacent to concrete with a permanent, waterproof paint.

3.2.0 The number of 80' bands placed between pulling points shall not exceed the following:

Challenges	Number of 80' Bands
Up to 100 FT [30.5 M]	4
100 [30.5] - 300 FT [91.5 M]	3
Above 300 FT [91.5 M]	2

3.2.1 Two 40' bands are equivalent to one 80' band.
 3.2.1.1 The minimum allowable underground banding radius, unless specifically noted otherwise on the Owner's drawings, is as follows:

Conduit Size	Steel	PVC
7" [25mm]	12' [3.05mm]	12' [3.05mm]
7" [50mm]	24' [6.10mm]	24' [6.10mm]
7" [75mm]	36' [9.15mm]	36' [9.15mm]
8" [100mm]	36' [9.15mm]	36' [9.15mm]
8" [125mm]	36' [9.15mm]	36' [9.15mm]
8" [150mm]	48' [12.19mm]	48' [12.19mm]

3.2.1.2 Refer to the "Electrical Underground Conduit Schedule" for conduit rating, termination details and identification numbers.
 3.2.1.3 When manholes are used, at conduit runs shall enter towards the manhole.
 3.2.1.4 Manholes shall have a pulling hook provided in the opposite wall from each conduit entrance.
 3.2.1.5 Manholes shall be provided with a low point pump-out area and an access opening in the cover so that water may be easily removed before entry.

3.3 General Procedures
 3.3.1 Conduit Identification
 All conduits identified by numbers on the Owner's Electrical Underground Drawings shall be installed as identified at both ends and in any manholes using one of the following methods:
 a) A non-corrosive mark of fiber tape, securely fastened to the conduit with a minimum of 2 inch [51mm] overlap, shall have clearly readable letters and numbers no smaller than 0.375 inch [9.5mm] in height.
 b) Where practical conduit identification numbers may be stenciled on or adjacent to concrete with a permanent, waterproof paint.



BUSINESS CONFIDENTIAL
MIDWEST
SERVICE CENTER
EAST CHICAGO, IN

No.	Description	Dwg By	App'd By	Date
1	ADDED LOCATION OF TRANS CENTER POINT	JPG	JMM	4/27/21
2	ROTATED PAD & MOVE LOCATION WEST ALONG BUILDING	JPG	AK	3/11/21

NOT FOR CONSTRUCTION

Drawn By:	JPG	Date:	4/5/21
Checked By:	AK	Proj. No.:	5/11/21
Client:	AK	State:	NONE

Client:

Drawing Type:
CARBON DIOXIDE SYSTEM

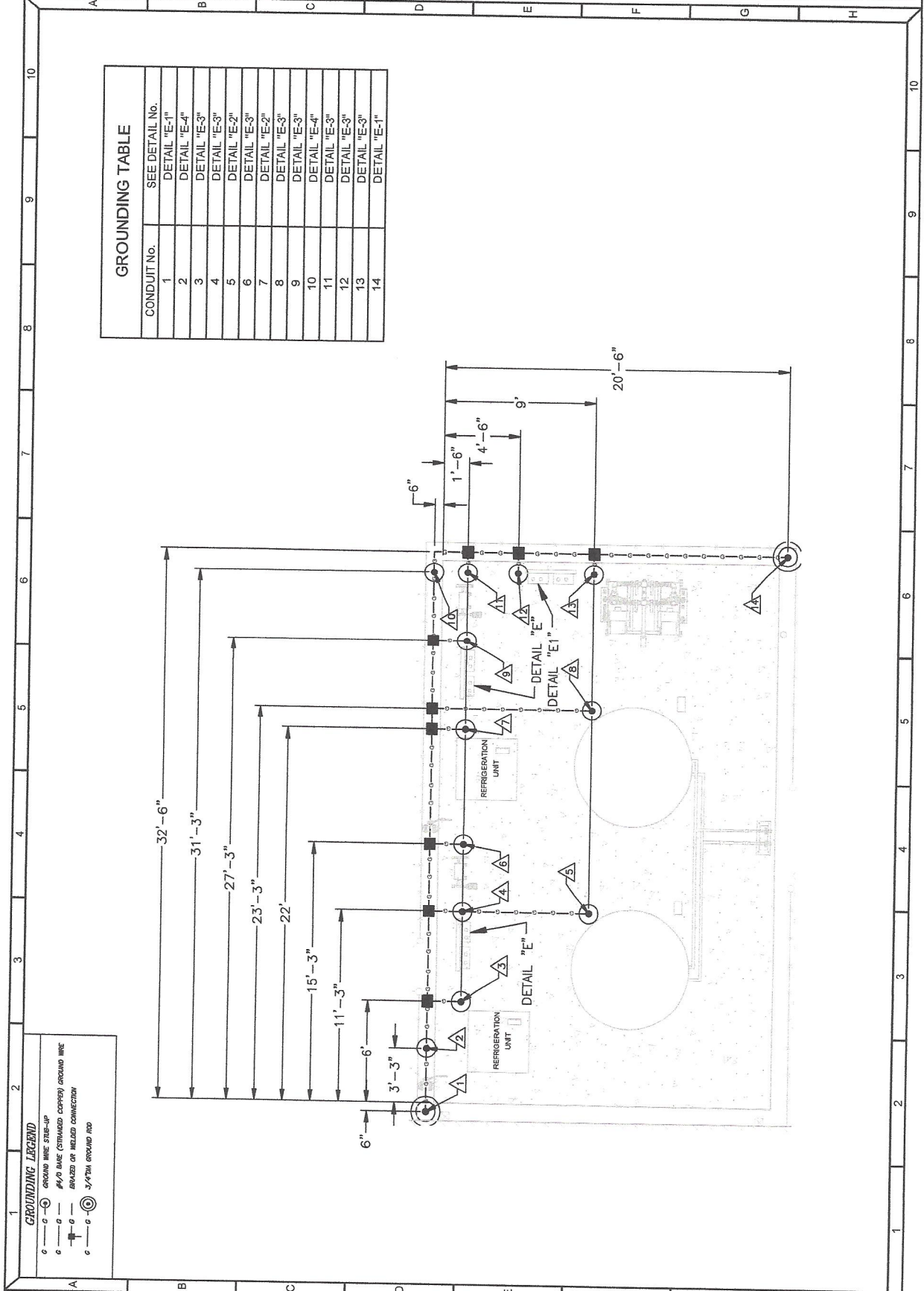
Title:
B.O.M., SYSTEM LAYOUT, & FOUNDATION

Project No.
2400814

Sheet Number:
5

Total Sheets:
6

CONDUIT No.	SEE DETAIL No.
1	DETAIL "E-1"
2	DETAIL "E-4"
3	DETAIL "E-3"
4	DETAIL "E-3"
5	DETAIL "E-2"
6	DETAIL "E-3"
7	DETAIL "E-2"
8	DETAIL "E-3"
9	DETAIL "E-3"
10	DETAIL "E-4"
11	DETAIL "E-3"
12	DETAIL "E-3"
13	DETAIL "E-3"
14	DETAIL "E-1"



	GROUND WIRE STRIP-UP
	#4/0 BARE (STRIPWED COPPER) GROUND ROD
	BRASS OR MELTED CONNECTION
	3/4" DIA GROUND ROD



BUSINESS CONFIDENTIAL
 MIDWEST
 SERVICE CENTER
 EAST CHICAGO, IN

No.	Description	Rev	By	Date
1	ADDED LOCATION OF TANKS CENTER POINT	AK	JMM	4/27/21
2	ROTATED PAD & MOVE LOCATION WEST ALONG BUILDING	AK	SWZ	5/12/21

NOT FOR CONSTRUCTION

Drawn By	JPG	Date	4/5/21
Reviewed	AK	Per	5/11/21
Checked	AK	Issue	NONE

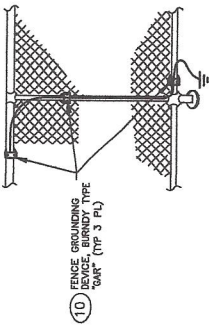
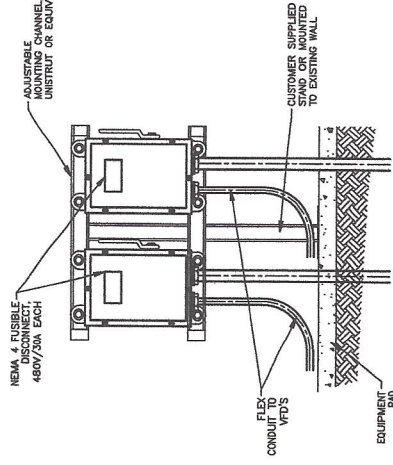
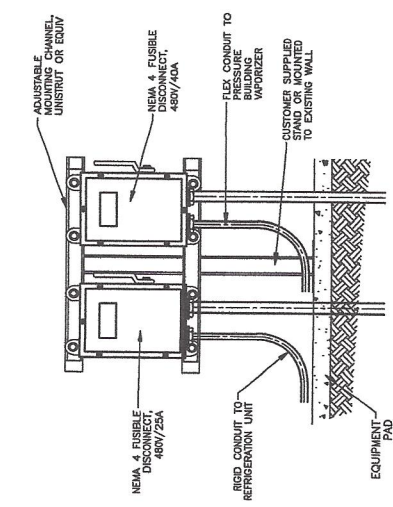
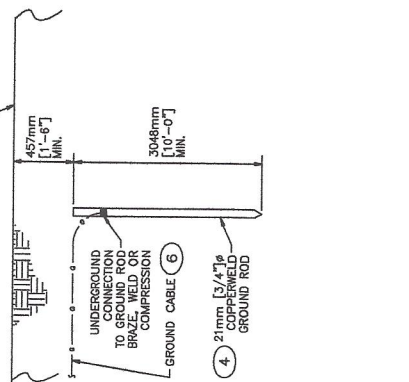
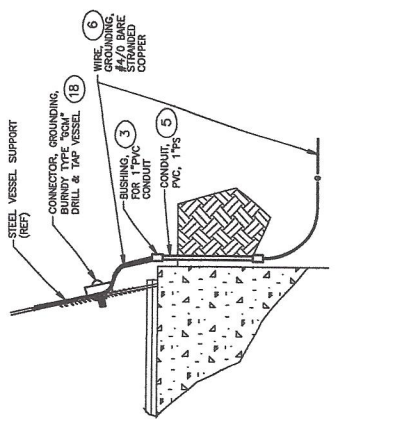
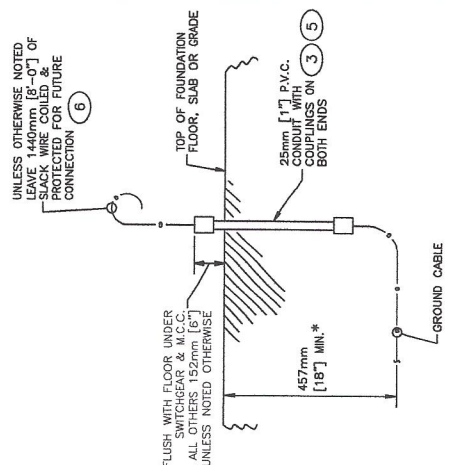
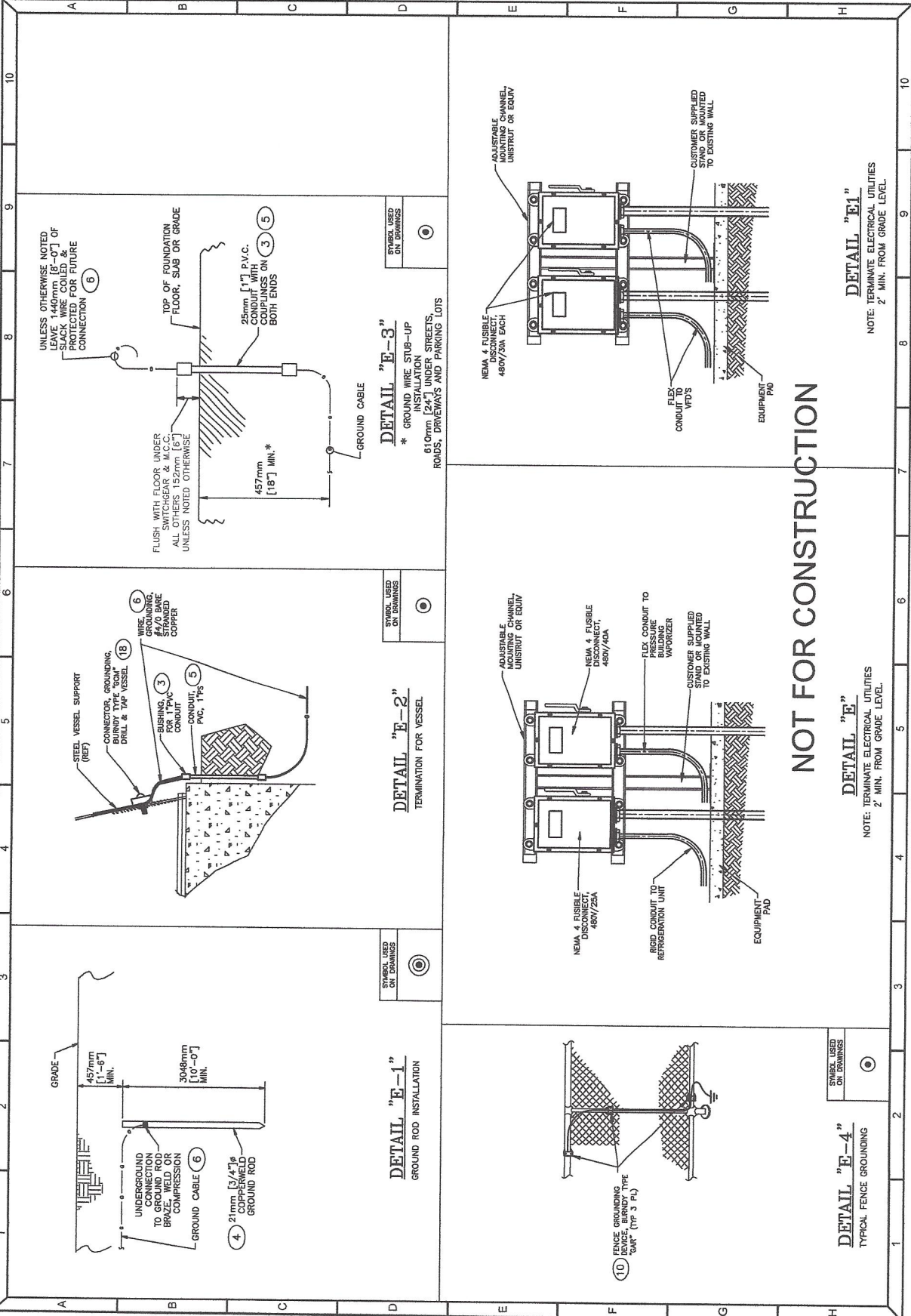


Drawing Type:
 CARBON DIOXIDE SYSTEM

Title:
 B.O.M., SYSTEM LAYOUT, & FOUNDATION

Project No.
 2400814

Sheet Number	6	Total Sheets	6
--------------	---	--------------	---



NOT FOR CONSTRUCTION