

GENERAL NOTES

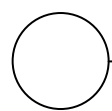
1. SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL GENERAL AND SPECIFIC REQUIREMENTS.
2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. IF CLARIFICATION OR ADDITIONAL DIMENSIONS ARE REQUIRED, NOTIFY THE ARCHITECT IMMEDIATELY, FOR WRITTEN CLARIFICATION.
3. EACH CONTRACTOR SHALL CAREFULLY EXAMINE DRAWINGS AND SITE PRIOR TO BIDDING TO ASCERTAIN EXTENT OF DEMOLITION AND NEW CONSTRUCTION REQUIRED. EXISTING CONDITIONS ARE SHOWN BASED ON ORIGINAL DRAWINGS AND FIELD OBSERVATIONS AND MAY VARY. ANY DISCREPANCIES FOUND IN THE DRAWINGS OR EXISTING CONDITIONS ARE TO BE REPORTED TO ARCHITECTURAL DESIGNS, INC. IMMEDIATELY. ALL DISCREPANCIES WILL BE CLARIFIED BY WRITTEN ADDENDUM.
4. IT SHOULD BE UNDERSTOOD BY ALL CONTRACTORS THAT THE OLD CONSTRUCTION MAY NOT BE COMPLETELY SQUARE, PLUMB OR TRUE, AND THAT ALL DIMENSIONS SHALL BE FIELD-VERIFIED AND ADJUSTED AS REQUIRED. FAILURE TO DO SO WILL IN NO WAY RELIEVE CONTRACTOR OF COMPLETING HIS WORK ACCORDING TO THE TRUE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS AT NO ADDITIONAL COST. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL REQUESTS FOR INFORMATION, INTERPRETATION, INTENT, ETC. MUST BE MADE AT LEAST (10) DAYS PRIOR TO BID DUE DATE. RESPONSES WILL BE CONFIRMED IN WRITING. ARCHITECTURAL DESIGNS, INC. WILL NOT BE RESPONSIBLE FOR ANY VERBAL INFORMATION.
6. VERIFY ALL DIMENSIONS AND UTILITY REQUIREMENTS OF ALL EQUIPMENT SUPPLIED BY OWNER PRIOR TO CONSTRUCTION RELATED TO THE PLACEMENT OF THE OWNERS EQUIPMENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME KNOWLEDGEABLE OF THE CONSTRUCTION REQUIREMENTS OF THE OWNER AND/OR OPERATOR. ALL CONDITIONS RELATIVE TO THE CONTRACTOR COMPLETING WORK WITHIN THE BUILDING AND TIME FRAME MUST BE ADHERED TO.
8. ALL WORK IS TO BE COMPLETED USING GOOD AND ACCEPTABLE CONSTRUCTION PRACTICES AND QUALITY MATERIALS. IF MATERIALS ARE NOT SPECIFIED AND SPECIFICS ARE REQUIRED, THE CONTRACTOR MAY SUGGEST MATERIALS TO THE OWNER AND THE ARCHITECT FOR THEIR REVIEW AND APPROVAL. THE ARCHITECT HAS THE RIGHT AND THE RESPONSIBILITY TO REJECT WORK OR MATERIALS THAT DO NOT CONFORM TO THE INTENT OF THE PROJECT OR ARE NOT ACCEPTABLE QUALITY.
9. CONTRACTOR'S WORK SHALL CONFORM TO ALL APPLICABLE CODES AND GOVERNING AUTHORITIES.

10. CONTRACTORS SHALL FURNISH AND INSTALL ALL MATERIALS INCLUDED WITHIN THE LIMITS OF THEIR CONTRACT. INCLUDE ALL LABOR TAXES, PERMIT FEES, MATERIALS, BLOCKING, EQUIPMENT, AND/OR ITEMS REQUIRED FOR THEIR COMPLETION.
11. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK WITH THE OWNER/ CONSTRUCTION MANAGER AND OTHER CONTRACTORS. WORK BY ANOTHER CONTRACTOR WHICH WOULD CHANGE OR ALTER WORK OF THE CONTRACTOR IN ANY WAY OR WHICH WOULD PREVENT THE CONTRACTOR FROM COMPLETING HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT.
12. CONTRACTORS SHALL PROVIDE SHOP DRAWINGS, MATERIAL SAMPLES, RELEVANT TECHNICAL DATA, FINISH SAMPLES, CATALOG CUTS, ETC. FOR ARCHITECT'S REVIEW AND ACTION PRIOR TO COMMENCEMENT OF WORK. SUBMITTALS TO INCLUDE BUT ARE NOT LIMITED TO CABINETRY, SIGNAGE, DOORS, HARDWARE, STEEL, ETC., ETC.
13. CONTRACTORS SHALL COORDINATE THEIR SCHEDULES WITH THE OWNER.
14. CONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AFTER THEMSELVES DAILY.
15. CONTRACTORS SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR PORTIONS DAMAGED DURING CONSTRUCTION.
16. THE GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE, NECESSARY AND REQUIRED BARRICADES, FENCES AND SAFETY PRECAUTIONS FOR THE GENERAL PUBLIC'S SAFETY NEAR THE SITE. GENERAL CONTRACTOR TO PROVIDE TEMPORARY BARRICADES (AND DUST BARRIERS) AS REQUIRED BY THE OWNER OR THE JOB CONDITIONS.
17. FIRE EXTINGUISHER(S) ARE TO BE PROVIDED AND LOCATED BY GENERAL CONTRACTOR AS REQUIRED BY CODE.
18. ALL CONTRACTORS SHALL GUARANTEE ALL THEIR WORK UNDER CONTRACT AGAINST DEFECTIVE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF SUBSTANTIAL COMPLETION OF CONTRACT.
19. ALL CONTRACTORS SHALL PROVIDE ALL NECESSARY INSURANCE, PROGRESS SCHEDULES, PERMITS, AND OTHER PROVISIONS REQUIRED IN ACCORDANCE WITH AIA GENERAL CONDITION OF THE CONTRACT FOR CONSTRUCTION A201 AND AS REQUIRED BY OWNER.
20. ARCHITECTURAL DESIGNS, INC. AND/OR OWNER SHALL HAVE THE RIGHT TO MAKE CHANGES DURING THE PROGRESS OF WORK WITHOUT VOIDING CONTRACTS. ALL CHANGES MUST BE MADE BY WRITTEN CHANGE ORDER.
21. EACH CONTRACTOR MUST COMPLY FULLY WITH OSHA REGULATIONS FOR CONSTRUCTION.
22. OWNER SHALL FURNISH TEMPORARY SANITARY FACILITIES, WATER, AND ELECTRICAL. GENERAL CONTRACTOR SHALL MAINTAIN THE SAME TO BE IN GOOD WORKING ORDER.
23. ALL PLUMBING, HVAC, AND ELECTRICAL WORK SHALL BE COMPLETED AS A "DESIGN/BUILD" PROCESS. THESE CONTRACTORS SHALL PROVIDE ALL DESIGN DRAWINGS, CALCULATIONS, FEES, ETC. TO SECURE ALL REQUIRED PERMITS. THEY SHALL BE RESPONSIBLE FOR ALL EQUIPMENT, MATERIALS, LABOR, ETC. TO COMPLETE THEIR WORK AS SHOWN ON THEIR DRAWINGS AND AS NOTED ON ARCHITECTURAL DRAWINGS. ALLOW FOR THE COST OF COORDINATION WITH OTHER TRADES. ALL WORK SHALL MEET ALL STATE AND LOCAL CODES, ETC.



EXISTING SITE PLAN

NOT TO SCALE



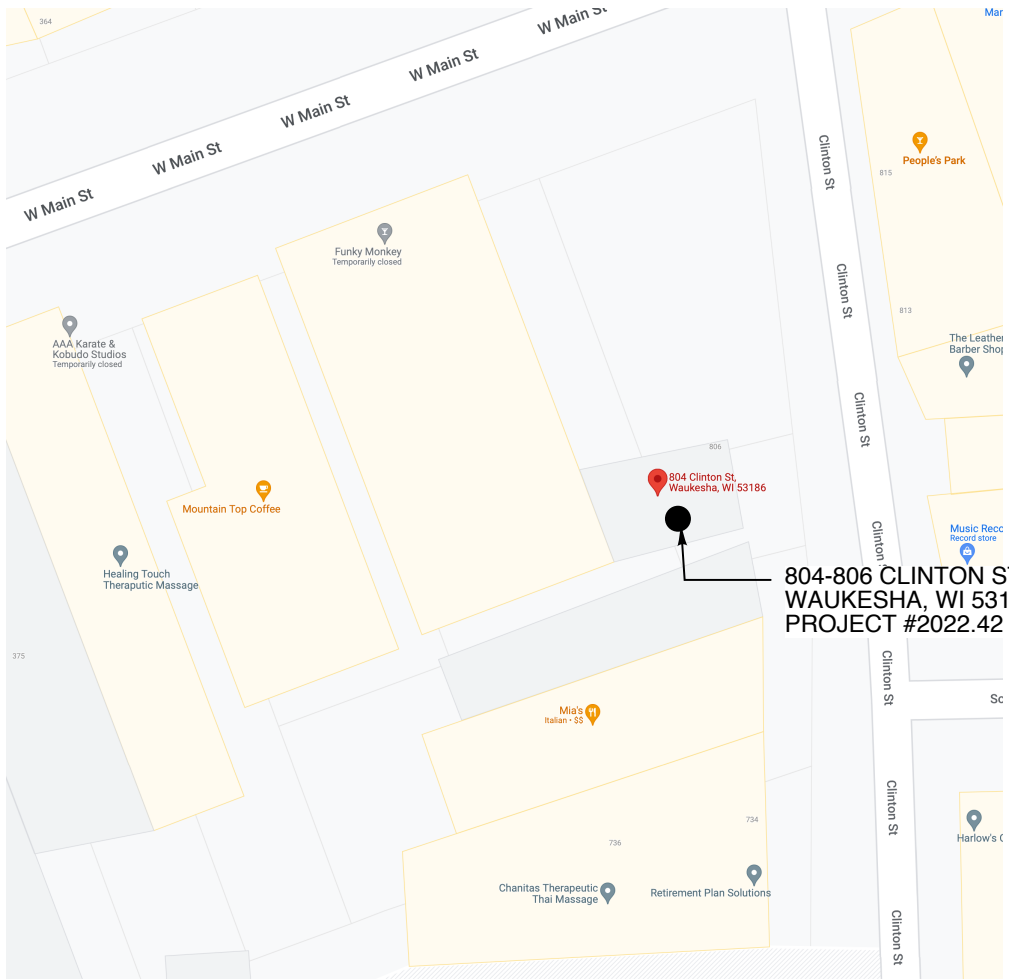
EXISTING EXTERIOR ELEVATIONS

NOT TO SCALE



LOCATION MAP

NO SCALE



PROJECT

LEVEL 2 BUILDING RENOVATION FOR:

AREPANITA'S CAFE

804-806 CLINTON ST
WAUKESHA, WI 53186
PROJECT #: 2022.32

INDEX

ARCHITECTURAL

T1	TITLE SHEET, GENERAL SPECIFICATION, SITE PAN & LOCATION MAP
DB	EXIST'G BLDG SECTION, EXT. ELEVATIONS, BASEMENT, 1ST & 2ND FLOOR PLANS- DEMO
A1	EXISTING/ PROPOSED 1ST FLOOR PLAN
A2	EXISTING/ PROPOSED EXTERIOR ELEVATIONS
A3	EXISTING/ PROPOSED NORTH EXTERIOR ELEVATION/ SECTION

NOTE

THESE DRAWINGS AND DESIGN THEREIN ARE THE EXCLUSIVE PROPERTY OF ARCHITECTURAL DESIGNS, INC. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT OF ARCHITECTURAL DESIGNS, INC. WILL RESULT IN LEGAL ACTION. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR MEETING STATE AND LOCAL CODES. IF ANY VARIATIONS OCCUR FROM THE DRAWINGS THE CONTRACTOR SHALL NOTIFY ARCHITECTURAL DESIGNS, INC.

ARCHITECT

GENE EGGERT ARCHITECT

DATE

26 DECEMBER 2022

REVISIONS:

CONSTRUCTION CLASSIFICATION

CONSTRUCTION TYPE: III-B NON-COMBUSTIBLE EXTERIOR WALLS
NON-SPRINKLED BUILDING

ALTERATIONS-LEVEL 2: SPACE RECONFIGURATION OF LESS THAN
50% OF BUILDING AREA

OCCUPANCY TYPE: GROUP B: BUSINESS (ASSEMBLY WITH LESS
THAN 50 PERSONS)
RESIDENTIAL GROUP R-2: LIVE/WORK UNIT
(OWNER OCCUPIED)

ZONING:



ARCHITECTURAL DESIGNS INC.
7429 ROOSEVELT RD.
TOWN OF ERIN, WI 53027

TELE: 1-414-315-4156
EMAIL: gene@architecturaldesignsinc.com
WEBSITE: architecturaldesignsinc.com

LEVEL 2 BUILDING RENOVATION FOR:

AREPANITA'S CAFE
BUILDING RENOVATION
804-806 CLINTON ST
WAUKESHA, WI 53186
PROJECT #2022.42

PRELIMINARY
NOT FOR CONSTRUCTION

T1

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SITE OUTLINE PER GOOGLE AND WAUKESHA COUNTY GIS WEBSITES



SCALE: 1/4" = 1'-0"



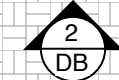
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EXISTING/ PROPOSED FIRST FLOOR PLAN
829SF BUILDING FOOTPRINT

SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"

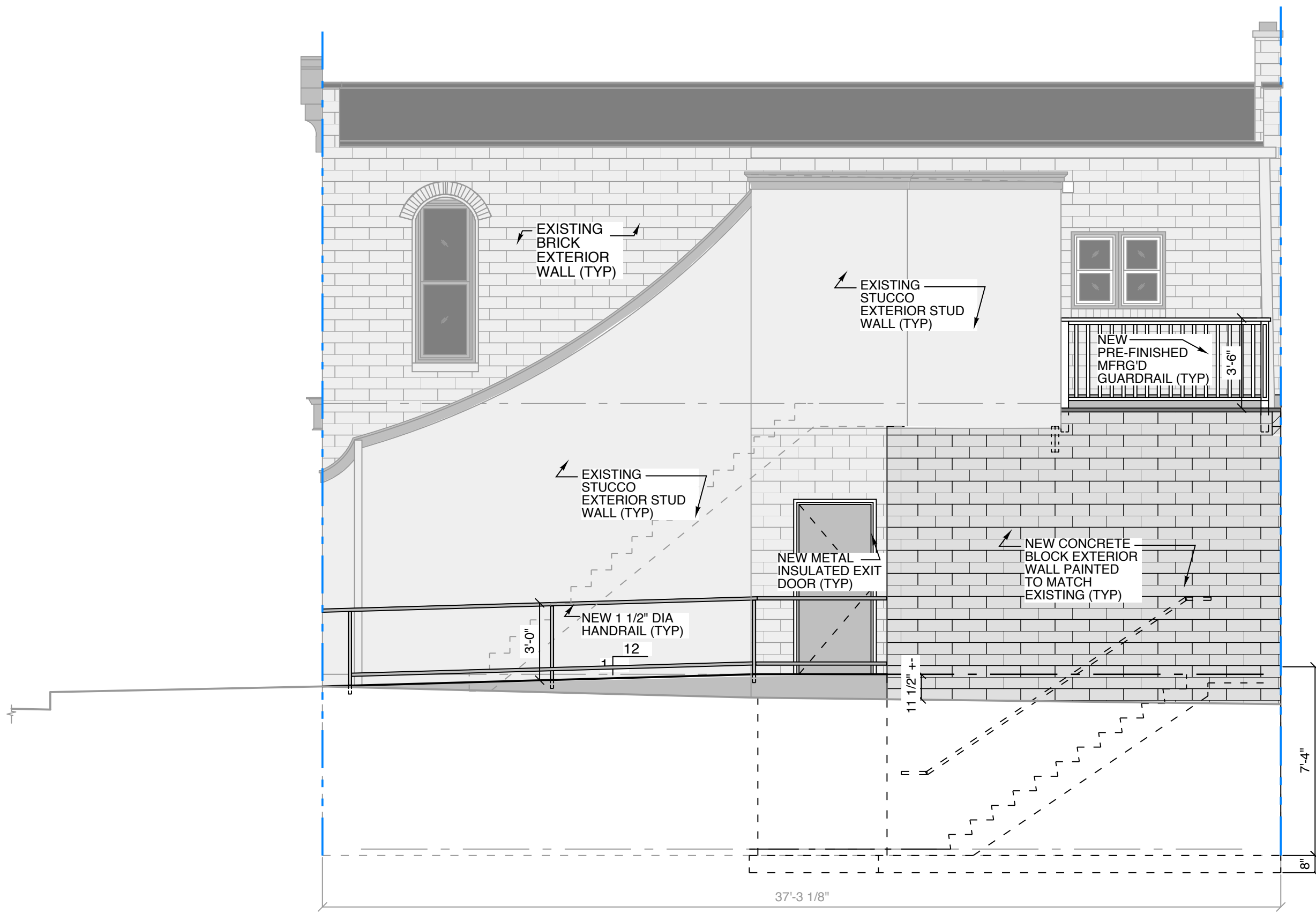
6 DECEMBER 2022
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6 DECEMBER 2022

AREPANITAS CAFE
BUILDING RENOVATION
804-806 CLINTON ST
WAUKESHA WI 53186
ARCHITECTURAL DESIGNS, INC.

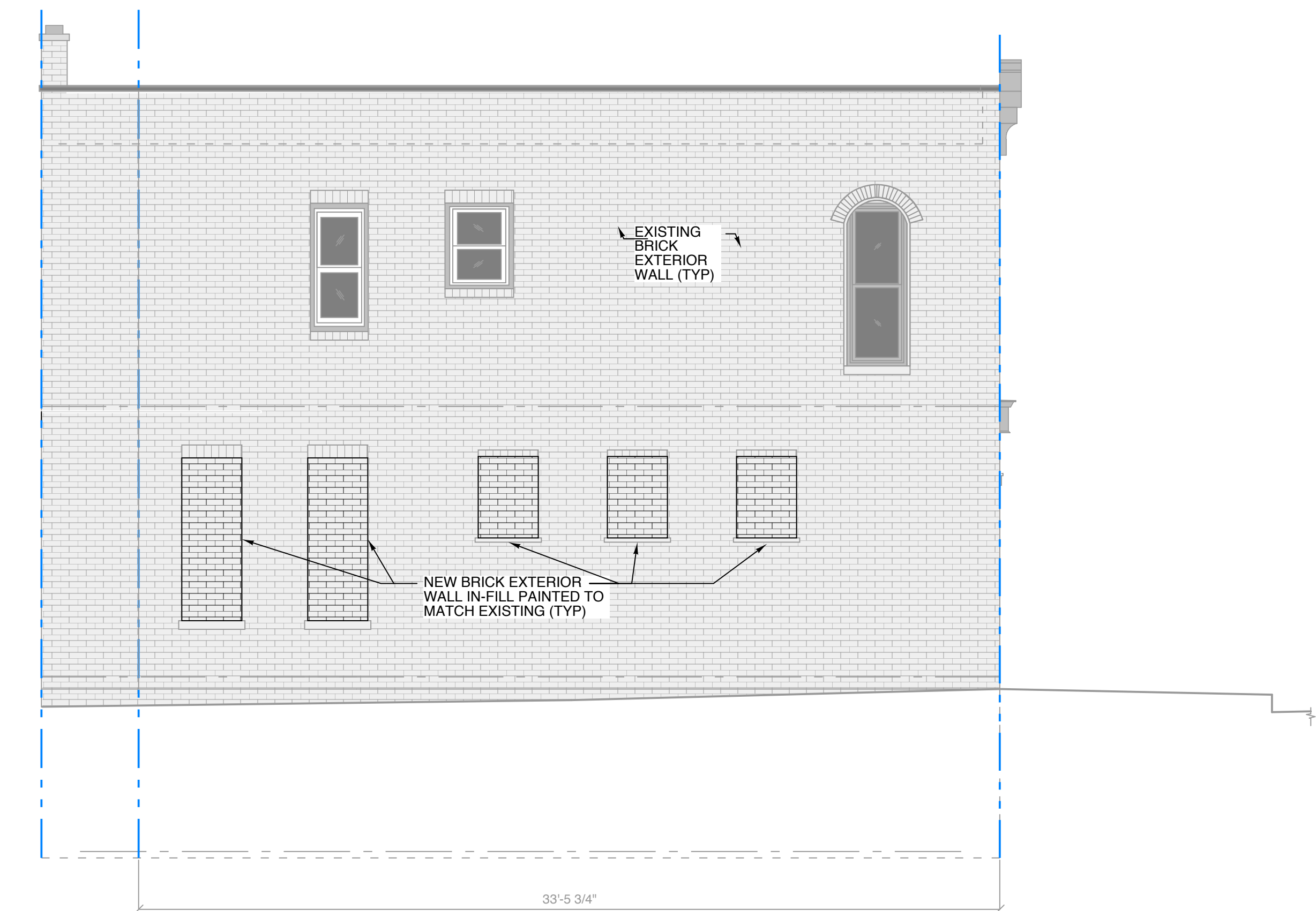
Sheet Title
EXISTING/
PROPOSED 1ST
FLOOR PLAN

Drawn
GE
Checked
GE
Date
7 DECEMBER 2022
Job Number
2022.42
Sheet

OF



1
A2
EXISTING/ PROPOSED NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2
A2
EXISTING/ PROPOSED WEST & SOUTH EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"



3
A2
EXISTING/ PROPOSED EAST EXTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

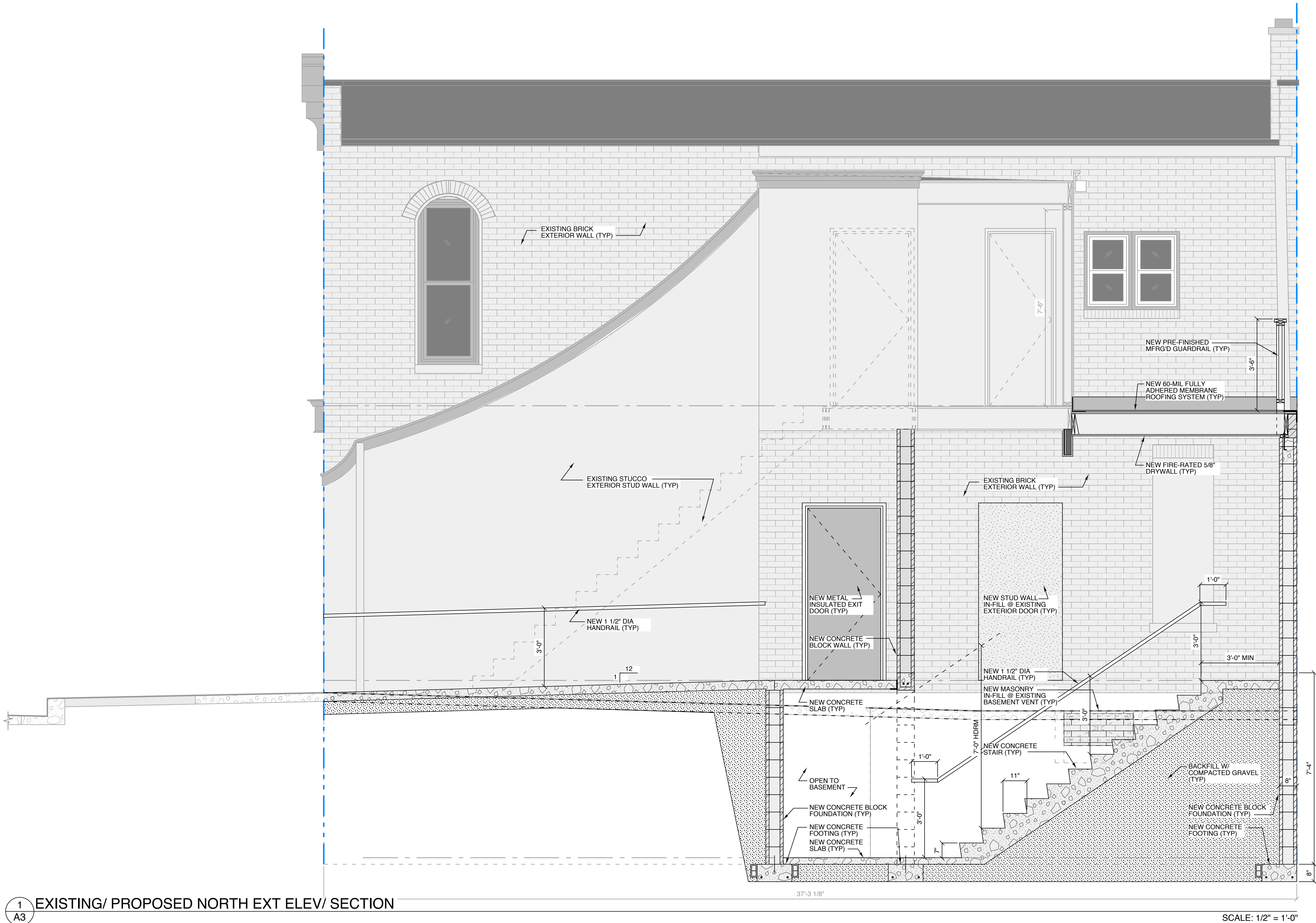
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1
A3

EXISTING/ PROPOSED NORTH EXT ELEV/ SECTION

SCALE: 1/2" = 1'-0"

Revisions	
26 DECEMBER 2022	

ARCHITECTURAL DESIGNS, INC.

AREPANITAS CAFE
BUILDING RENOVATION
804-806 CLINTON ST
WAUKESHA WI 53186
ARCHITECTURAL DESIGNS, INC. 7429 Roosevelt Rd. Town of Erin, WI 53027 p. 414-315-4156 email:gene@architecturaldesignsinc.com website: architecturaldesignsinc.com

Sheet Title
EXISTING/ PROPOSED NORTH EXTERIOR ELEVATION/ SECTION
Drawn
GE
Checked
GE
Date
16 DECEMBER 2022
Job Number
2022.42
Sheet
A3
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