



Waukesha Water Utility

SERVING WAUKESHA SINCE 1886

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WAUKESHA, WI 53188-3615

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MEMORANDUM

Date: May 3, 2024

To: Commissioners

From: Dan Duchniak, P.E.

Re: Request for Approval of a Lease Agreement with New Cingular Wireless PCC, LLC for Cellular Antennas on the Meadowbrook Water Tower

We are requesting approval of a lease agreement with New Cingular Wireless PCC, LLC for the Cellular Antennas on the Meadowbrook water tower located at 2520 Meadowbrook Road. The lease documents are our standard agreement and are consistent with existing cellular leases. Any modifications are minor and have been reviewed by the City Attorney's office.

The proposed amendment is for 5 years with two, 5-year options. There is a \$47,500 inception fee that will be paid to the Utility. The initial pricing is \$47,500 per year for the first 5 years, \$57,000 for the first renewal term, and \$68,400 for the second renewal term.

Attached you will find a copy of the agreement. I look forward to your approval at the water commission meeting.

Please contact me if you have any questions or concerns.

Recommended Motion: Move to approve the Antenna Site License Agreement on the Meadowbrook Water Tower with New Cingular Wireless PCC, LLC.

**LEASE AGREEMENT BETWEEN
NEW CINGULAR WIRELESS PCS, LLC
AND
THE CITY OF WAUKESHA WATER UTILITY**

This Lease Agreement ("Agreement") dated _____, 2024, by and between City of Waukesha Water Utility ("Utility") and New Cingular Wireless PCS, LLC ("Lessee").

RECITALS

A. The Utility owns certain real property consisting of, among other things, a water tower (the "Structure") and surrounding property, located at 2520 Meadowbrook Road in the City of Waukesha, Waukesha County, Wisconsin, and more particularly described in the attached Exhibit A (the "Premises").

B. The Lessee desires to install, maintain and operate on the Premises certain communications facilities described in the attached Exhibit B (the "Communications Facilities"). Except as expressly provided otherwise herein, the Communication Facilities may not be increased or expanded without Utility's express, prior, written approval.

C. The Lessee wishes to install certain hardware on the exterior of the Structure during the aforesaid period.

NOW, THEREFORE, FOR VALUABLE CONSIDERATION AND INTENDING TO BE BOUND, UTILITY AND LESSEE AGREE AS FOLLOWS:

1. Recitals. The Recitals are incorporated and form part of this Agreement.
2. Lease. Utility hereby grants Lessee a non-exclusive lease to install, maintain, and operate the Communications Facilities on part of the Premises, in the specific locations designated on construction plans and drawings approved by the Utility, including the right of ingress and egress for access to the Premises. Facilities shall include three (3) antenna arrays. Said antenna arrays to be located at a centerline height of 161 feet. This Agreement applies only to the Premises described in Exhibit A and to no other Premises. Lessee shall make no other use of the Premises.
3. Term.
 - a. The initial term of this Agreement shall be for a period of 5 years, commencing on the Effective Date which shall be the latter of the dates this document is signed by the Utility, and ending on the fifth anniversary thereof.
 - b. Upon expiration of the initial or first renewal term, provided that the Lessee is not in default, this Agreement shall automatically renew for up to two 2 additional 5-year renewal terms. Should Lessee choose not to renew this Agreement, Lessee shall provide Utility with written notice at least 90 days prior to the expiration of the term.
 - c. The initial annual Lease payment shall commence on the day that Lessee completes installation of its equipment at the Premises ("Commencement Date"), with such payment to be sent to Utility within 30 days of the Commencement Date. Should the Lessee fail to install its equipment upon the site described in this Agreement within 12 months of the Effective Date, the Utility may choose to terminate this Agreement. If termination is chosen the Utility will inform the Lessee in writing.

4. Lease Payments.

- a. One-time Lease Inception Fee due in addition to and with initial Lease payment:
\$47,500.00

During the initial 5-year term of this Agreement, Lessee shall pay the Utility annual Lease Payments payable on the Commencement Date and each anniversary thereof during the initial term of this Agreement: \$47,500.00

- b. The annual Lease Payment for each renewal term shall be as follows:

Annual Lease Payment for the first renewal term: \$57,000.00
Annual Lease Payment for the second renewal term: \$68,400.00

All Lease Payments shall be due within 30 days of each anniversary of the Commencement Date.

5. Compliance with Laws. Throughout the term of this Agreement, Lessee shall continuously use the Premises for the purpose of constructing, maintaining and operating facilities for the transmission and reception of radio communication signals in such frequencies as may be assigned to Lessee by the Federal Communications Commission ("FCC"). Lessee shall diligently, faithfully and promptly wholly obey and conform with all federal, state and local orders, rules, regulations and law, including all FCC and Federal Aviation Administration rules, in relation to any of its business, activities or other operations conducted upon, above or adjacent to the Premises.

6. Installation of Communications Facilities.

a. Lessee shall, at its sole cost and expense, install, operate, and maintain the Communications Facilities on the Premises, including the landscaping, repair or repainting of any damage to the Premises or the Structure caused during or by construction of the Communication Facilities. Lessee's installation of the Communications Facilities shall be completed in a neat and workmanlike manner in accordance with sound engineering practices, applicable rules, regulations and laws, and in strict compliance with construction plans and drawings approved by Utility and the City of Waukesha. As a part of the installation process, **Lessee is explicitly forbidden from cutting or welding on the Structure without prior approval by the Utility.** All work shall be performed either by Lessee or by a fully qualified independent contractor who carries all insurance required under paragraph 11, and who has been approved in writing by Utility before such contractor has done any work on the Premises, such approval from Utility not to be unreasonably withheld. Regarding any independent contractor employed by Lessee to work on the Premises, certificates of all insurance coverages shall be provided to Utility by Lessee prior to the commencement of any work upon the Premises by such contractor. Whenever work is performed on a Utility structure, there shall be a full time inspector present. The Utility shall select the inspector for such work at the Structure, with the reasonable inspection fees to be paid by the Lessee. The Communications Facilities shall remain the exclusive property of Lessee.

b. Any damage done to the Premises by Lessee or Lessee's contractors during installation or during operations shall be immediately repaired at Lessee's expense and to Utility's satisfaction. Lessee shall pay all costs and expenses in relation to maintaining the

structural integrity of the Structure made necessary in order to accommodate Lessee's installation and operation of the Communications Facilities. Lessee shall not permit any claim or lien to be placed against any part of the Premises that arises out of work, labor, material or supplies provided or supplied to Lessee, its contractors or subcontractors, for the installation, construction, operation, maintenance or use of the Premises or Communications Facilities.

c. Lessee shall separately meter charges for the consumption of electricity and any other utilities associated with its use of the Premises and shall pay all costs associated therewith. All initial utility services shall be installed underground if possible, and landscaped within ninety (90) days of installation of the Communications Facilities, weather permitting. Utility shall not unreasonably withhold approval of any additional utility services or upgrades to any existing utilities required by Lessee for operation of the Communication Facilities.

d. Lessee, at its expense, and within thirty (30) days after the installation of the Communications Facilities, shall provide to Utility "as built" drawings of the Communications Facilities installed on the Premises which show the actual location of all Communications Facilities. Such drawings shall be accompanied by a complete and detailed inventory of all Communications Facilities actually placed on the Premises, all of which shall be forwarded to the Utility. **Prior to the installation of the Communications Facilities, Lessee shall provide Utility with a \$10,000 performance bond to assure completion and delivery to the Utility of the Communications Facilities as-built drawings and inventory.**

e. Lessee, at its expense, shall have sole responsibility for the maintenance, repair, and security of its Communications Facilities and shall keep the same in good repair and condition during the term of this Agreement.

f. Lessee will comply with all local, county and state zoning and planning approvals and subsequent inspections required by the City of Waukesha including landscaping. A landscaping plan for the Premises shall be proposed by the Lessee and approved by Utility prior to the Commencement Date. Lessee, at its own expense, shall install and maintain its landscaping according to the approved landscape plan.

g. Utility will notify Lessee at least ninety (90) days in advance of the date when the structure is scheduled to be painted. Shortly before the painting date, Lessee, at its sole expense, may place a temporary antenna array on a crane parked near the Structure, on the Premises. Lessee shall then remove the antennas, cables and associated equipment from the Structure and the painting will proceed as it normally does. Once the painting is finished, Lessee, at its sole expense, shall then reattach the antennas, cables and equipment where they were and will have them painted to match the newly painted Structure.

h. Any additional costs for providing warranty service or subsequent servicing or maintaining the Structure or Premises that are due to the presence of the Communications Facilities, including additional driveway asphalt and snow plowing/ice control, shall be the responsibility of Lessee and shall be paid by lessee within 30 days after receipt of an itemized written invoice, Lessee shall abate or remove graffiti located on the Communications Facilities within 30 days of Utility's written notice.

i. Lessee shall design, place and improve all of its Communications Facilities in a manner that will minimize negative environmental and/or aesthetic impact. Upon the

initial installation or replacement of or upgrades to the Communications Facilities by Lessee, Utility reserves the right to require Lessee to paint the Communications Facilities or shield the Communications Facilities from view and take such other reasonable and appropriate action that Utility reasonably determines necessary to minimize environmental and aesthetic impact. Any replacements or upgrades to the Communications Facilities shall fit within the envelope of the originally-installed Communications Facilities. If replacements or upgrades extend beyond the original envelope, the Annual Lease Payment shall be increased proportionally to the volume expansion beyond the original envelope.

j. Intentionally deleted.

7. Modifications. Lessee may make material additions, alterations, or improvements to Lessee's facilities and equipment housed within any enclosure built or installed by Lessee on the Premises at any time without the prior consent of the Utility. Lessee may also update, add to, alter, improve, or replace the Communications Facilities located on the Structure or elsewhere on the Premises from time to time without the prior written approval of Utility, provided that the replacement facilities would not create any adverse environmental impacts, are not greater in number, weight, or size, or lesser in reasonable aesthetic quality than the existing facilities, and provided that their location is substantially the same as the replaced facilities. Modifications that result in additional equipment, changes that increase the space requirements as described or changes that materially increase the existing wind load configuration or number of antennas or feedlines shall require the prior, express, written approval of the Utility, and shall result in an addition to the annual Lease Fee. Lessee shall submit to Utility for its approval, which shall not be unreasonably withheld, conditioned or delayed, a proposal for any modifications which do not meet the above criteria and for any supplemental materials as may be requested for Utility's evaluation and approval. If approved, such modifications shall be made at Lessee's sole expense and only upon first obtaining all necessary governmental approvals and permits for such modifications. Lessee shall provide Utility updated "as built" drawings in the manner specified in paragraph 6(d).

8. Studies. Prior to approving any installation under Paragraph 6 or modification under Paragraph 7 requiring Utility approval, Utility may obtain, at Lessee's reasonable expense, a professional review of Lessee's interference study which demonstrates that Lessee's proposed installation or modification will not interfere with the electronic equipment of Utility, other preexisting licensees or lessees of the Utility, or nearby property owners. Lessee shall also provide Utility with a copy of an engineering study prepared and stamped by a Wisconsin licensed engineer, which demonstrates that the proposed installation or modification will not adversely affect the structural integrity of any part of the Structure.

9. Access.

a. Lessee shall not be entitled to exclusive use or occupation of the Premises, but understands and agrees that its use and occupation is to be joint, but not necessarily equal to, use and occupation by Utility and/or one or more of Utility's other licensees or lessees, if any. Lessee shall have unlimited and unrestricted access to any enclosure built or installed by Lessee and any of the Communications Facilities located on the ground. Lessee shall have access to the Structure by means designated by Utility, subject to the notice requirements to Utility in Paragraph 9(c).

b. Lessee shall supply to the Utility a list of categories of professionals that it requests to be given access to the Structure ("Designated Professionals"). Utility shall not give access to the Structure to any person who does not provide adequate credentials as a Designated Professional at the time access is required.

c. If Lessee or a Designated Professional requires access to the interior or for climbing on the exterior of the Structure, Lessee shall contact Utility at the following telephone number: 262/521-5272. For after hour access or access requiring supervision, Lessee shall, within thirty (30) days of a detailed invoice pay to Utility the rate of pay customarily paid to the person who provides Lessee with such access, including any reasonable overtime costs. Utility shall respond to Lessee's request for any access to the Structure within 24 hours. In an emergency situation, Lessee may access the Structure exterior without prior authorization from the Utility if an effort has been made to contact the Utility at the telephone number indicated above. At no time shall Lessee have unsupervised access to the interior of the Structure. Lessee shall have unlimited access to its Communications Facilities located on the ground.

d. Lessee shall upon reasonable notice from Utility admit Utility, its employees or its agents to any part of the Premises used or occupied by Lessee for inspection purposes.

10. Interference.

a. Lessee's installation, operation, and use of the Communications Facilities shall not damage or interfere in any way with Utility's water tower operations or related repair and maintenance activities. Utility, at all times during this Agreement, reserves the right to take any action it deems necessary, in its sole discretion, to repair, maintain, alter, or improve the Premises and to temporarily interfere with Lessee's Communications Facilities as may be necessary in order to carry out any such activities. When possible, Utility agrees to give 90 days advance notice of such activities to Lessee and to reasonably cooperate with Lessee to carry out such activities with a minimum amount of interference to Lessee's transmission operations. In the event it is determined that lessee's equipment or equipment installation interferes with the Structure or any of its components, Lessee shall provide immediate relief from the interference at its sole expense.

b. Lessee warrants and represents that the Communications Facilities and the installation, operation and maintenance of the Communications Facilities shall not interfere with the operation of the Utility's electronic equipment, wherever located, on the Premises or with the existing electronic equipment of any other Utility's existing licensees or lessees wherever located on the Premises. In the event of alleged interference with such Utility equipment or equipment of Utility licensees or lessees, Lessee upon written notice from Utility shall promptly effect an investigation of said alleged interference, to be performed by a qualified professional at the sole expense of Lessee. To the extent Lessee is responsible for the interference, the Lessee shall promptly take all steps necessary to correct and eliminate the interference at Lessee's cost; if the interference cannot be alleviated, Lessee shall cease operations of the Communication Facilities. Lessee shall not resume its operations until such time as Lessee has effectively eliminated the interference. If Lessee is unable to eliminate the interference within a reasonable period of time, Lessee shall have the option to terminate this Agreement and remove the Communications Facilities from the Premises. Upon such termination, Lessee's liability shall be determined in accordance with paragraph 22(c). If investigation reveals that another sublessees, lessees, or licensees equipment is causing interference the Utility shall notify the suspected party to promptly investigate and correct interference.

c. Utility makes no warranties or representations regarding Lessee's exclusive use of the Premises or noninterference with Lessee's transmission operations or that the Premises are fit for Lessee's intended purpose. Notwithstanding the above, Utility agrees that each of its subleases, leases or license agreements with any other party for use of the Premises shall contain a provision substantially the same as subparagraph 10.b. and that the Utility shall enforce such provisions in a nondiscriminatory manner with respect to all of its sublessees, lessees, and licensees.

11. Insurance.

a. General. At all times during the term of this Agreement, Lessee shall keep in force and effect all insurance policies as outlined below, issued by a company or companies authorized to do business in the state of Wisconsin and satisfactory to Utility. The City of Waukesha and the Utility, its council, boards, commissions, agencies, officers, employees and representatives (collectively, "Additional Insureds") shall be included as additional insureds by endorsement as respects to this Agreement under all of the policies, except property insurance coverage, employers liability and worker's compensation policies, which shall be so stated on the Certificate of Insurance. All contractors and all of their subcontractors who perform work on the Premises shall carry, in full force and effect, worker's compensation, commercial general liability and automobile liability insurance coverages of the type that Lessee is required to carry under this paragraph with the same limits. Prior to the execution of this Agreement and prior to each insurance policy expiration date during the term of this Agreement, Lessee will furnish Utility with a Certificate of Insurance. The Certificate shall reference this Agreement and worker's compensation and property insurance waivers of subrogation required by this Agreement, except that Lessee self-insures its property coverage and in satisfaction of the waiver of subrogation requirement Lessee will include Utility as joint loss payee to the extent of Utility's insurable interest which would have been covered had Lessee purchased property insurance. Utility shall be given 30 days advance notice from the Lessee of cancellation or nonrenewal of required insurance coverage during the term of this Agreement that is not replaced. All policies, other than worker's compensation, shall be written on an occurrence and not on a claims made basis. Lessee shall defend, indemnify and hold harmless Utility and Additional Insureds from and against payment of any deductible and payment of any premium on any policy required under this paragraph.

b. Worker's Compensation and Employers' Liability Insurance. Statutory worker's compensation benefits and employers' liability insurance with a limit of liability of \$1,000,000 each accident, per disease per employee and policy limit. Lessee shall require subcontractors and others not protected under its insurance to carry and maintain such insurance.

c. Commercial General Liability Insurance. Policy will be written to provide coverage for the following: premises and operations, products and completed operations, personal and advertising injury, contractual coverage, broad form property damage, independent contractor's coverage per ISO form CG 00 01 or equivalent. Limits of liability of \$2,000,000 general aggregate, \$2,000,000 products/completed operations aggregate, \$1,000,000 personal injury, \$1,000,000 each occurrence. Coverage may exclude claims or suits that arise from the effects of electromagnetic fields or radiation.

d. Automobile Liability Insurance. Business automobile policy covering all owned, hired and non-owned private passenger autos and commercial vehicles. Limits of liability of \$1,000,000 each occurrence, \$1,000,000 aggregate.

e. Builder's Risk Insurance. At the start of and during the period of any construction, builder's allrisk insurance, together with an installation floater or equivalent property coverage covering cables, materials, machinery and supplies of any nature whatsoever which are to be used in or incidental to the installation of the Communications Facilities. Upon completion of the installation of the Communications Facilities, Lessee shall substitute for the foregoing insurance the policy specified under Paragraph 11(h). Lessee self-insures this risk.

f. Umbrella/Excess Liability Insurance. Coverage to be in excess of employers' liability, commercial general liability, and automobile liability insurance required above. Limits of liability of \$1,000,000 each occurrence, \$1,000,000 aggregate. Lessee may use any combination of primary and excess insurance to meet the total limits required.

The aforesaid limits of liability may be increased or decreased by mutual consent of the parties, which consent will not be unreasonably withheld by either party, in the event of any factors or occurrences, including substantial increases in the level of jury verdicts or judgments or the passage of state, federal or other governmental compensation plans, or laws which would materially increase or decrease Utility's or Lessee's exposure to risk, but not more than once every 5 years upon at least 60 days prior written notice to the other party.

g. Worker's Compensation Waiver of Subrogation. Utility will not be liable to Lessee or its employees for any injuries to Lessee's employees arising out of or in connection with this Agreement including any and all work of any type which Lessee performs upon the Premises subject to this Agreement such as during equipment installation, alteration, modification, improvement, maintenance, repair, replacement, or use, or ingress or egress to or from the Premises unless caused by the intentional acts or omissions or negligence of Utility, its employees or agents.

Except as set forth above, Lessee will waive any and all rights of recovery from Utility for worker's compensation claims made by its employees and will obtain such waiver from its worker's compensation insurer. Lessee agrees that the indemnification and hold harmless provisions within this Agreement extends to any such claims brought by or on behalf of any employee, contractor or subcontractor of the Lessee.

h. Property Insurance. Each party will be responsible for maintaining property insurance on its own buildings and other improvements, including all equipment, fixtures, utility structures, fencing, or support systems that may be built or placed upon the Premises to fully protect against hazards of fire, vandalism and malicious mischief, and such other perils as are covered by policies of insurance commonly referred to and known as "extended coverage" insurance or self-insure such exposures. Lessee self-insures this risk.

12. Damage or Destruction of Property. If the Premises are destroyed or damaged, in no way due to the act or inaction of Lessee, or the Utility, to an extent that in the judgment of Lessee, materially and substantially limits Lessee's effective use of the Communications Facilities, either party may terminate this Agreement by giving written notice to the other party. Lessee's payments shall be prorated for that year and returned at that time. In the event Utility provides written notice to Lessee of its intention to restore the Premises, Lessee

may place a temporary antenna array on the Premises and continue under this Agreement, or wait for the Utility to restore the Premises and have this Agreement continue in effect with rent abated until restoration of the Premises by Utility is completed and Lessee is able to resume its use of the Premises for its Communications Facilities. Regardless of any other provisions contained in this Agreement, Utility shall have no obligation to rebuild or restore any part of the Premises in the event of any such damage or destruction.

13. Indemnification. Lessee shall defend, indemnify and hold harmless Utility and City of Waukesha and all associated, affiliated, allied and subsidiary entities of Utility, whether existing now or in the future, and their respective officials, officers, departments, agencies, counties, boards, representatives, employees, agents, contractors and attorneys (collectively "Indemnified Parties") against any and all liability, claims, costs, damages, expenses, demands, lawsuits or disputes (including reasonable attorney fees of counsel selected by Utility and all other costs and expenses of litigation) to the extent caused by (i) any condition, occurrence or accident upon the Premises which causes injury or illness to any person or persons whomsoever or to any property whatsoever, arising in any way from the installation, presence, operation, maintenance or removal of the Communications Facilities, unless caused by the intentional acts or omissions or negligence of Utility or other Indemnified Parties; (ii) work, labor, material, or supplies provided or supplied to Lessee, its contractors and subcontractors, for the installation, construction, operation, maintenance or use of the Communications Facilities, including any claim or lien arising therefrom; (iii) Lessee's breach of any warranty, representation, obligation or other provision of this Agreement; and, (iv) any financing or securities offering by Lessee or otherwise. This indemnification language specifically includes, among other things, any and all liability related to or associated with exposure to electromagnetic fields or radio frequencies but specifically excludes negligence or intentional misconduct of one or more indemnified parties.

14. Environmental. Lessee represents and warrants that its use of the Premises will not generate any hazardous substances, that it will not unlawfully store or dispose on the Premises or transport to or over the Premises any hazardous substances and that its Communications Facilities do not constitute or lawfully contain and will not generate any hazardous substance. "Hazardous Substance" shall be interpreted broadly to mean any substance or material designated or defined as hazardous or toxic waste, hazardous or toxic material, hazardous or toxic or radioactive substance, or other similar term by any federal, state, or local laws, regulations or rules now or hereafter in effect including any amendments. Lessee further represents and warrants that in the event of breakage, leakage, incineration or other disaster, its Communications Facilities would not release such Hazardous Substance. Lessee shall defend, indemnify and hold harmless Indemnified Parties from and against any and all liability, loss, cost, damage, and expense including reasonable attorneys' fees arising from or due to the release, threatened release, storage or discovery of any such Hazardous Substance caused by Lessee on or under the Premises, including third party claims for property damage. Utility represents and warrants that it has no knowledge of any past or present Hazardous Substance located in, under, or about the Premises in violation of any applicable federal, state, or local law.

15. Taxes; No Liens. Lessee shall pay and be responsible for any and all personal and real estate taxes and assessments, general and special, levied and assessed against, or with respect to, or measured by, the existence or operation of the Communications Facilities on the Premises. If any sales, use or other excise tax is ever assessed or levied against the rent or other charges payable by Lessee under this Agreement by any governmental authority having jurisdiction, Lessee shall pay that tax upon demand by Utility. Lessee shall not do

anything which might cause or result in and shall not permit the filing of a lien against any part of the Premises, whether filed against Utility or Lessee.

16. Limitations. Lessee undertakes and assumes for its officers, agents, affiliates, contractors and subcontractors and employees (collectively "Lessee" for the purpose of this Paragraph), all risk of the condition, if any, on or about the Premises, which exist upon the date of Company's execution of this Agreement. Utility hereby expressly disclaims all warranties of merchantability and fitness related to the condition of the Premises for Lessee's use as permitted herein. City shall not be liable, after execution of this Agreement for any damages or injuries (including death) resulting from the condition of the property. No provision of this Agreement is intended, or shall be construed, to be a waiver for any purpose by Utility of the provisions of Section 893.80 of the Wisconsin Statutes or other applicable limits on municipal liability. No indemnification provision contained in this Agreement shall be construed to in any way limit any other indemnification provision contained in this Agreement.

17. Default. Upon occurrence of any of the following events the specified party will be considered in default: (a) Lessee defaults in payment of the rent or any other sums to Utility when due, and does not cure that default within 30 days of receipt of written notice of said default; (b) Either party defaults in the performance of any other term of this Agreement and does not cure that default within thirty (30) days after written notice thereof, provided that such period shall be extended as reasonably necessary in the event that either Party is proceeding in good faith with due diligence to cure such default but is unable to do so within said thirty (30) days; (c) Lessee abandons or vacates the Premises; (d) Lessee files for relief under federal bankruptcy laws or makes any assignment for the benefit of creditors; and (e) Lessee becomes insolvent.

18. Remedies on Default. In the event of any default by Lessee remains beyond any applicable cure period, Utility may serve a written notice upon Lessee that Utility elects to terminate this Agreement upon a specified date not less than ten (10) calendar days after the date of serving such notice, and this Agreement shall expire on the date so specified as if that date had been originally fixed as the expiration date of the term granted herein. In the event this Agreement is so terminated, Utility will have the right to exercise any and all legal proceedings available to it upon such default. In the event of any default by Utility remains beyond any applicable cure period, Lessee may serve a written notice upon Utility that Lessee elects to terminate this Agreement upon a specified date not less than ten (10) calendar days after the date of serving such notice, and this Agreement shall expire on the date so specified as if that date had been originally fixed as the expiration date of the term granted herein. In the event this Agreement is so terminated, Lessee will have the right to exercise any and all legal proceedings available to it upon such default.

19. No Nuisances. Lessee shall not perform any acts or carry on any practices upon the Premises which may endanger or injure the Premises or surrounding area or any person or be a nuisance or menace to adjoining property owners and shall keep the Premises free and clear of debris, rubbish, junk and garbage.

20. Assignment. This Agreement may not be assigned by Lessee without Utility's prior written consent. Notwithstanding the foregoing; Lessee may, without Utility's consent, assign this Agreement to a partner, affiliate, division, subsidiary, controlling entity, or entity controlled by Lessee or to an entity which acquires all or substantially all of the assets of Lessee in the Milwaukee market. In all other cases the prior written consent of Utility shall be required for any assignment or sublease. Such consent shall not be unreasonably

withheld, conditioned, or delayed. Lessee shall provide written notice to Utility of any such assignment within thirty (30) days of assignment. Upon assignment of Agreement, assignee shall assume responsibility for performance under this agreement. Assignment shall not relieve original Lessee of any obligations which extend beyond the term of the Agreement but accrued prior to the date of such assignment.

21. Successors and Assigns. As allowed under the preceding paragraph, this Agreement and any easement granted here in shall run with the land and shall be binding upon and inure to the benefit of the parties, their respective successors, personal representatives and assigns.

22. Termination of Lease.

a. Within 90 days of the termination or expiration of this Agreement for any reason, Lessee shall at its expense, promptly and diligently remove all of the Communications Facilities and any other personal property installed in or on the Premises and leave the Premises in the same or better condition as existed prior to the date of this Agreement, reasonable wear and tear excepted.

b. If, during the term of this Agreement Utility determines that the Premises is needed for a special purpose by Utility, which special purpose would exclude Lessee's Communications Facilities and all other similar uses by any party other than Utility itself, this Agreement, and any extension thereof, shall be subject to cancellation by Utility upon 12 months written notice to Lessee. In the event of such termination, Lessee shall not be obligated to pay any rent hereunder during the period between the date of Utility's notice of termination and Lessee's vacation of the Premises. During such period, Lessee shall remove from the Premises all of its Communications Facilities.

c. Lessee may terminate this Agreement at any time during the term hereof by providing written notice to Utility in the event that either (i) any license, permit or other governmental approval or authority is not issued prior to the Commencement Date and Lessee is unable to construct its Communications Facilities at the Premises; (ii) any license, permit or other governmental approval or authority is subsequently canceled, expires or is withdrawn or terminated and Lessee is no longer authorized to operate its Communication Facilities from the Premises; (iii) due to changes in technology or other events beyond Lessee's control, Lessee is no longer able to utilize the Premises for its Communication Facilities; or (iv) due to changes in Lessee's technological network requirements. Upon termination pursuant to (i), (ii) or (iii) above, Lessee shall not be obligated to pay Utility any additional amounts for rentals or any other amounts due pursuant to this Agreement, and prepaid rental fees shall be reimbursed to Utility on a pro rata basis, provided that Communication Facilities are removed within 4 months of notice to Utility of termination, except as set forth in Section 24, below. Upon notice of such termination, pursuant to (iv), above, all prepaid rental fees shall be retained by Utility and Lessee shall immediately pay to Utility as liquidated damages an amount equivalent to 200% of the annual rental fee in effect at the time of termination.

23. Security for Removal. Lessee shall procure and maintain at all times during which performance is required of the Lessee, including any such periods after the termination of this Agreement (and provide to Utility evidence in the form of a certificate of such procurement initially and upon each renewal) prior to the Commencement Date of the Agreement, a performance bond in the amount of Twenty Thousand and No/100

Dollars (\$20,000) to ensure the Communications Facilities will be removed and the Premises restored at termination or expiration of this agreement. Lessee remains responsible for all costs associated with the removal of the Communications Facilities, including after the termination of this Agreement. Said obligation, as part of this Agreement, is not limited by the financial amount of the performance bond. Utility shall be named as the obligee in the bond.

24. Safety Risk. If, during the term of this Agreement there is a determination made pursuant to an official unappealable order of the Federal Communications Commission that use of the Premises, or the technology used at the Premises, by Lessee poses a human health hazard which cannot be remedied, then (i) Lessee shall immediately cease all operations on the Premises, and (ii) this agreement shall terminate as of the date of such order. Upon such termination, removal of the Communications Facilities shall occur in accordance with Paragraph 22(a) and Lessee shall be relieved of all further obligations hereunder, except for any obligations which survive the termination of this Agreement.

25. Reimbursement of Costs. Lessee shall, within 30 of receipt of a detailed invoice, reimburse Utility for all reasonable costs and expenses of any type Utility incurs in connection with this Agreement (including performance and enforcement of its provisions), the Communications Facilities, or any Utility approval required hereunder, including engineering, legal, and other consulting fees. Lessee shall not be required to reimburse Utility for costs and expenses incurred as a result of a breach of this Agreement by the Utility.

26. Relocation. Utility, at its option, may, once during the term of this Agreement, for reasons other than painting, require Lessee to relocate the Communications Facilities, at Lessee's expense, to another location on the Premises. If in Lessee's sole judgment the new location is unsuitable, Lessee shall have the right to terminate this Agreement upon written notice to Utility, pursuant to all terms of this Agreement regarding termination and removal of the Communications Facilities.

27. Compliance with Emissions Standards. Company agrees that at all times the power density level emitted from the Communications Facilities shall not exceed the American National Standards Institute's ("ANSI") "Safety Levels with respect to Human Exposure to Radio Frequency Electromagnetic Fields" as set forth in the current ANSI standard (ANSI/IEEE C. 95.1-1992 or any ANSI standard which supersedes this standards), any other applicable rules or regulations of the FCC or other local, state or federal laws or regulations.

28. Intentionally deleted.

29. Regulatory Filings. Upon City's request, Lessee shall provide Utility with copies of all petitions, applications, reports and communications submitted by Lessee to the FCC, or any other federal or state regulatory commission or agency having jurisdiction in respect to any matter affecting this Agreement or Lessee's operation of its Communications Facilities.

30. Survival of Provisions. All indemnification obligations of Lessee under this Agreement, including Paragraphs 11, 13 and 14 shall survive the expiration or earlier termination of this Agreement.

31. Estoppel Certificate. Lessee shall, at any time and from time to time upon not less than ten (10) days prior request by Utility, deliver to Utility a statement in writing certifying to the extent true that (i) this Agreement is unmodified and in full force (or if there have

been modifications, that the Agreement is in full force as modified and identifying the modifications); (ii) the dates to which the rental fee and other charges hereunder have been paid; (iii) so far as the person making the certificate knows, Utility is not in default under any provisions of this Agreement; and (iv) such other matters as Utility may reasonably request.

32. Memorandum of Agreement. The parties hereby agree to execute and record a Memorandum of Agreement (Exhibit "C") outlining the basic provisions of this Agreement relating to the initial term, the renewal options, Lessee's access rights, and such other basic terms mutually agreed upon by the parties. Lessee shall prepare the Memorandum of Agreement and submit it to Utility for execution. Lessee shall be responsible for recording the document.

33. Applicable Law and Severability. This Agreement and any interpretation thereof shall be ruled by the internal laws (not merely choice of law provisions) of the State of Wisconsin. If one or more of the terms hereof are found to be void or invalid, those terms shall be deemed inoperative and null and void, and shall be deemed modified to conform to such rule of law, all without invalidating any of the remaining provisions of this Agreement or the enforceability thereof, which shall continue in full force and effect.

34. Miscellaneous This Agreement constitutes the entire agreement and understanding of the parties, and supersedes all offers, negotiations, and other agreements of any kind. There are no representations or understandings of any kind not set forth herein. Any modification of or amendment to this Agreement must be in writing and executed by both parties. Lessee and Utility represent that each has full right, power and authority to sign this Agreement.

35. Notices. All notices hereunder shall be in writing and shall be deemed given if delivered by a nationally recognized overnight courier or mailed, certified mail, return receipt requested, to the following addresses:

UTILITY

Waukesha Water Utility
Attn: General Manager
115 Delafield Street
Waukesha, WI 53188-3615

LESSEE

New Cingular Wireless PCS, LLC
Attn: Tower Asset Group - Lease Admin
Re: Cell Site# WI0403 / Meadowbrook WT (WI)
Fixed Asset #: 16152929
1025 Lenox Park Blvd NE 3rd Floor
Atlanta, GA 30319

With a copy to:

New Cingular Wireless PCS, LLC
Attn: Legal Dept - Network Ops
Re: Cell Site# WI0403 / Meadowbrook WT (WI)
Fixed Asset# 16152929
208 S. Akard Street
Dallas, TX 75202-4206

SIGNATURE PAGE FOLLOWS NEXT

AT&T SITE ID: WI0403
AT&T FA# 16152929

THE UNDERSIGNED UTILITY HEREBY AGREES TO LEASE THE ABOVE MENTIONED PROPERTY ON
THE TERMS AND CONDITIONS SET FORTH HEREIN.

Utility:

City of Waukesha Water Utility

By: _____
Daniel S. Duchniak

By: _____
Joseph J. Piatt

Its: General Manager

Its: Commission President

Date: _____

Date: _____

By: _____
Joan Francoeur

Its: Commission Secretary

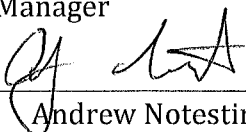
Date: _____

Lessee:

New Cingular Wireless PCS, LLC
a Delaware limited liability company

By: AT&T Mobility Corporation

Its: Manager

By:  _____
Andrew Notestine

Its: Lead Real Estate & Construction Manager

Date: 4/19/2024

AT&T SITE ID: WI0403
AT&T FA# 16152929

EXHIBIT A

DESCRIPTION OF PREMISES

Lot 44 Meadowbrook Heights South, a Replat of Outlot 1, Block 2 of University Heights, also being a Subdivision of part of the NE 1/4 and NW 1/4 of the SE 1/4 and part of the SE 1/4 of the NE 1/4 of Section 30, Town 7 North, Range 19 East, in the City of Waukesha, County of Waukesha, State of Wisconsin.

AT&T SITE ID: WI0403
AT&T FA# 16152929

EXHIBIT B

DESCRIPTION OF COMMUNICATIONS FACILITIES

SEE ATTACHED CONSTRUCTION DRAWINGS

GENERAL NOTES.

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR / CM - JACOBS
SUB-CONTRACTORS - PER TRADE
2. SITE WORK (IF APPLICABLE) SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
3. DRAWINGS PROVIDED HERE ARE NOT TO BE SCALED AND ARE INTENDED TO DEPICT THE DESIGN INTENT OF THE INSTALLATION.
4. ANY MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
5. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
6. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL DOCUMENT & PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE CONTRACTOR.
7. CONTRACTOR / SUBCONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION.
8. SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONDITIONS SHOWN ON THE DRAWINGS MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING BURIED AND OVERHEAD UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MAINTAIN RECORD OF ALL UTILITIES AND REPORT TO THE COURSE OF CONSTRUCTION AND COORDINATE ANY REPAIRS WITH UTILITY COMPANY.
9. N / A
10. N / A
11. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY.

SITE PREPARATION:

SUB-CONTRACTOR'S SCOPE OF WORK:

1. PROTECTION OF EXISTING TREES, VEGETATION AND LANDSCAPING MATERIALS WHICH MIGHT BE DAMAGED BY CONSTRUCTION ACTIVITIES, INCLUDING THE REMOVAL OF EXISTING TREES, VEGETATION, DEBRIS, RUBBISH, DESIGNATED TREE REMOVAL SITE, AND STOCKPILING.
2. TOPSOIL STRIPPING AND STOCKPILING.
3. TEMPORARY PROTECTION OF ADJACENT PROPERTY, STRUCTURES, BENCHMARKS, AND MONUMENTS.
4. BENCHMARKS, AND MONUMENTS.
5. SUB-CONTRACTORS QUALITY ASSURANCE

1. SUB-CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE PROTECTION, MAINTENANCE, AND CONTROL OF EROSION ON SITE, ANY DAMAGE TO ADJACENT OR EXISTING PROPERTIES WILL BE CORRECTED BY THE SUB-CONTRACTOR AT NO EXPENSE TO THE OWNER.
2. SUB-CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON SITE CAUSED BY EROSION OR EXCESSIVE WATER DRAINAGE WILL BE THE RESPONSIBILITY OF THE SUB-CONTRACTOR AND CUSTOMER ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE SUB-CONTRACTORS EXPENSE.

THE DRAWINGS AND SPECIFICATIONS HAVE NOT BEEN REVIEWED FOR ENVIRONMENTAL SCOPE OF WORK. DISTURBANCE OF LEAD AND ASBESTOS ARE REGULATED FOR ENVIRONMENTAL PROTECTION. ANY DISTURBANCE OF LEAD OR ASBESTOS MUST BE REPORTED TO THE APPROPRIATE AGENCIES. ANYONE WHO DRILLS CUTS OR OTHERWISE DISTURBS ANY SURFACE KNOWN OR SUSPECTED TO CONTAIN LEAD OR ASBESTOS MUST BE REPORTED TO THE APPROPRIATE AGENCIES. ANY DISTURBANCE TO ANY SURFACE (LEAD OR ASBESTOS) MUST BE DONE BY LICENSED CONTRACTORS AND ONE MUST HAVE ENVIRONMENTAL REVIEW CONTRACT FOR ANY WORK THAT MAY PRESENT AN ENVIRONMENTAL HEALTH AND SAFETY, RISK-LEVEL-OR-CRISIS OR 713-281-7074.

SITE WORK:

EARTHWORK AND DRAINAGE

PART 1 - GENERAL

1. WORK INCLUDED: SEE SITE PLAN.
2. DESCRIPTIONS
ACCESS DRIVE W/ TURNAROUND AREA, LEASE AREA, AND IF APPLICABLE UNDERGROUND UTILITY EASEMENTS ARE TO BE CONSTRUCTED TO PROVIDE A WELL DRAINED, EASILY MAINTAINED, EVEN SURFACE FOR MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.
3. QUALITY ASSURANCE
A. APPLY SOIL STABILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS (AS NEEDED).
B. APPLY AND MAINTAIN GRASS SEED AS RECOMMENDED BY THE SEED PRODUCER (IF REQUIRED).
C. PLACE AND MAINTAIN VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, AS RECOMMENDED BY NURSERY INDUSTRY STANDARDS.
4. SEQUENCING
A. CONFIRM SURVEY STAKES AND SET ELEVATION STAKES PRIOR TO ANY CONSTRUCTION.
B. COMPLETELY GRUB THE ACCESS DRIVE W/ TURNAROUND, UNDERGROUND UTILITY EASEMENTS, (IF APPLICABLE) AND LEASE AREA PRIOR TO FOUNDATION CONSTRUCTION.
C. CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG ACCESS DRIVE.
D. BRING THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION PRIOR TO INSTALLING FOUNDATION.
E. APPLY SOIL STABILIZER PRIOR TO PLACING BASE MATERIALS.
F. DISTURBED AREAS SHALL BE REVEGETATED IMMEDIATELY AFTER BRINGING LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION, WATER TO ENSURE GROWTH.
G. REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE TO AN AUTHORIZED AREA.
H. AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL STABILIZER TO STONE SURFACES.

SUBMITTALS

- A. BEFORE CONSTRUCTION IF LANDSCAPING IS APPLICABLE TO THE CONTRACT, SUBMIT TWO COPIES OF THE LANDSCAPE PLAN UNDER NURSERY LETTERHEAD, IF A LANDSCAPE ALLOWANCE WAS INCLUDED IN THE CONTRACT, PROVIDE AN ITEMIZED LISTING OF PROPOSED COSTS ON NURSERY LETTERHEAD (REFER TO PLANS FOR LANDSCAPING REQUIREMENTS).
- AFTER CONSTRUCTION
1. MANUFACTURER'S DESCRIPTION OF PRODUCT AND WARRANTY STATEMENT ON SOIL STABILIZER.
2. MANUFACTURER'S DESCRIPTION OF PRODUCT ON GRASS SEED AND FERTILIZER.
3. LANDSCAPING WARRANTY STATEMENT.
- WARRANTY
A. IN ADDITION TO THE WARRANTY ON ALL CONSTRUCTION COVERED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR ALL DAMAGE AND RESTORE AREA AS CLOSE TO ORIGINAL CONDITION AS POSSIBLE AT SITE AND SUBSEQUENT REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SITE AREAS FOR ONE YEAR FROM DATE OF FINAL INSPECTION. DISTURBED AREAS WILL REFLECT GROWTH OF NEW GRASS COVER PRIOR TO FINAL INSPECTION.
D. LANDSCAPING, IF INCLUDED WITHIN THE SCOPE OF THE CONTRACT, WILL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL INSPECTION.

PART 2 - PRODUCTS

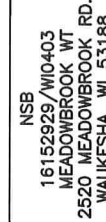
1. MATERIALS
A. SOIL STABILIZER SHALL BE EPA-REGISTERED, PRE-EMERGENCE LIQUID: TOTAL KILL PRODUCT 910 EPA 10292-7
PHASAR CORPORATION P.O. BOX 5123 DEARBORN, MI 48128 (313) 583-8000
AMBUSH HERBICIDE EPA REGISTERED
FARMAN INDUSTRIAL PRODUCTS 1435 MORRIS AVE. UNION, NJ 07083 (800) 520-4924
B. ROAD AND SITE MATERIALS SHALL CONFORM TO "DOT SPECIFICATIONS FILL MATERIAL (UNLESS OTHERWISE NOTED) - ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF HIGHWAY AND TRANSPORTATION STANDARD SPECIFICATIONS.
C. SOIL STABILIZER FABRIC SHALL BE MR4FT - 500X.

PART 3 - EXECUTION

1. INSPECTIONS
LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY JURISDICTION.
2. PREPARATION
A. CLEAR TREES, BRUSH AND DEBRIS FROM LEASE AREA, ACCESS DRIVE W/ TURNAROUND, UNDERGROUND UTILITY EASEMENTS, AND LEASE AREA AS REQUIRED FOR CONSTRUCTION. B. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION, GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX (6) INCHES BELOW GRADE.
C. EXCAVATION SHALL BE CONSTRUCTED BY AT&T. TRANSPORT ALL REMOVED TREES, BRUSH, AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
D. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL.
E. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE AREAS WITH STABILIZER MAY PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.

3. INSTALLATION

- A. GRADE OR FILL THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND AS REQUIRED IN ORDER TO UNIFORM DISTRIBUTION OF SOILS. RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK, FINISHED GRADES, OR INDICATED SLOPES.
B. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF THE CONTRACT. EXCESS SPOILS SHALL BE REMOVED BY LANDOWNER.
C. BRING THE ACCESS DRIVE AND TURNAROUND TO BASE COURSE ELEVATION TO FACILITATE CONSTRUCTION AND OBSERVATION DURING CONSTRUCTION OF THE SITE.
D. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
E. THE CONTRACTOR SHALL INCLUDE GRADING, BANKING, AND DITCHING, UNLESS OTHERWISE NOTED.
F. WHEN IMPROVING AN EXISTING ACCESS DRIVE, GRADE THE EXISTING DRIVE TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING FILL OR STONE.
G. PLACE FILL OR STONE IN SIX (6) INCH MAXIMUM LIFTS, AND COMPACT BEFORE PLACING NEXT LIFT.
H. THE TOP SURFACE COURSE, SHALL EXTEND A MINIMUM OF ONE (1) FOOT BEYOND THE SITE FENCE LINE TO ALL OTHER DISTURBED AREAS, DITCHES, AND ALL OTHER SLOPES GREATER THAN 2:1.
I. APPLY RIPRAP TO THE SLOPES OF ALL FENCED SITE AREAS, PARKING AREAS, AND ALL OTHER SLOPES GREATER THAN 2:1.
J. RIPRAP ENTIRE DITCH FOR SIX (6) FEET IN ALL DIRECTIONS AT CULVERT OPENINGS.
K. RIPRAP ENTIRE DITCH FOR SIX (6) FEET IN ALL DIRECTIONS AT ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES. NOT OTHERWISE SPECIFIED.
L. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. LIFT DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION.
M. IN DITCHES WITH SLOPES GREATER THAN 10% MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT CULVERT ENTRANCES. POSITION THE HEADWALL AT AN ANGLE NO GREATER THAN 60 DEGREES OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX (6) FEET ABOVE THE CULVERT ENTRANCE.
N. IN DITCHES WITH SLOPES GREATER THAN 10% MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT CULVERT ENTRANCES. POSITION THE HEADWALL AT AN ANGLE NO GREATER THAN 60 DEGREES OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX (6) FEET ABOVE THE CULVERT ENTRANCE.
O. IN ALL AREAS OF THE PROJECT, THE CONTRACTOR SHALL ENCOURAGE ROOTING. RAKE AREAS TO BE SEED TO EVEN THE SURFACE AND LOOSEN THE SOIL.
P. SOW SEED IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.



REV.	DATE	DESCRIPTION	INITIALS
1	04/11/24	PERMIT/CONSTRUCTION	CS
2	04/04/24	PERMIT/CONSTRUCTION	CS
0	02/29/24	PERMIT/CONSTRUCTION	CS
C	01/29/24	PRELIMINARY	CS
0	01/29/24	PRELIMINARY	CS



SHEET TITLE
NOTES & SPECIFICATIONS

SHEET NUMBER
SP1

METALS CONTINUED.

6. GROUT:
NON-SHRINK TYPE, PREMIXED COMPOUND
CONSISTING OF NONMETALLIC AGGREGATE,
CEMENT, WATER REDUCING AND PLASTICIZER.
CURE PERMANENTLY. A
MINIMUM COMPRESSIVE
STRENGTH OF 7000 PSI AT
28 DAYS.
- H. SHOP AND TOUCH-UP PRIMER: SSPC 15, TYPE 1, RED OXIDE
I. TOUCH-UP PRIMER FOR GALV. SURFACES: ZINC RICH TYPE
2. FABRICATION:
CONTINUOUSLY SEAL JOINTED MEMBERS BY
WELDS. GRIND EXPOSED WELDS
SMOOTH.
3. FINISH:
A. PREPARE STRUCTURAL COMPONENT SURFACES IN ACCORDANCE WITH SSPC SP-1
TO SP-10 PROCEDURES.
B. STRUCTURAL STEEL MEMBERS SHALL BE HOT DIPPED GALVANIZED.

PART 3 - EXECUTION

EXAMINATION AND PREPARATION:

1. VERIFY THAT THE FIELD CONDITIONS ARE ACCEPTABLE TO PERFORM THE WORK.
ERECTION:

1. ALLOW FOR ERECTION LOADS. PROVIDE TEMPORARY BRACING TO MAINTAIN
PERMANENT BRIDGING AND BRACING.
2. NO UNAUTHORIZED WELDING SHALL BE PERFORMED ON CROWN CASTLE USA, INC
TOWERS. ALL OTHER WELDING SHALL BE IN ACCORDANCE WITH AMERICAN WELDING
SOCIETY AWS D1.1 STRUCTURAL STEEL WELDING CODE-STEEL WELD ELECTRODES
3. DO NOT FIELD CUT OR ALTER STRUCTURAL MEMBERS WITHOUT APPROVAL OF THE
ARCHITECT/ENGINEER.
4. AFTER ERECTION, TOUCH-UP WELDS, ABRASIONS, AND SURFACES NOT SHOP
PRIMED OR GALVANIZED WITH ZINC RICH PAINT (ALL EXISTING AND NEW AREAS).

FIELD QUALITY CONTROL:

1. FIELD INSPECTION OF MEMBERS, CONNECTIONS, WELDS AND BOLT / NUT TORQUE
PART 1 - GENERAL
1. WORK INCLUDES FOREWORK, REINFORCEMENT, ACCESSORIES,
CAST-IN-PLACE CONCRETE, FINISHING, AND CURING.

2. INSPECTIONS

- A. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING BUILDING DEPARTMENT
INSPECTIONS REQUIRED FOR THE SCOPE OF WORK BEING PERFORMED.
- B. ALL REINFORCING STEEL SHALL BE INSPECTED AND APPROVED BY THE
AT&T/WIRELESS CONSTRUCTION MANAGER PRIOR TO PLACEMENT OF
CONCRETE.
- C. THE AT&T/WIRELESS CONSTRUCTION MANAGER SHALL BE NOTIFIED NO
LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS.
3. QUALITY ASSURANCE
- A. CONSTRUCT AND ERECT CONCRETE FORM WORK IN ACCORDANCE WITH
ACI 301 AND ACI 318.
- B. PERFORM CONCRETE REINFORCING WORK IN ACCORDANCE WITH ACI 301,
ACI 318, AND ASTM A184.
- C. PERFORM CAST-IN-PLACE CONCRETE WORK IN ACCORDANCE WITH ACI
301, ACI 318, AND ACI 117-90.

4. SUBMITTALS

- SUBMIT CONCRETE MIX DESIGN AND REINFORCING STEEL SHOP DRAWINGS FOR
APPROVAL BY AT&T/WIRELESS CONSTRUCTION MANAGER/ENGINEER. THE SHOP
DRAWINGS SHALL BE SUBMITTED IN EH FORM OF TWO (2) CONCRETE MIX
DESIGN INFORMATION SHEETS AND TWO (2) BLUELINE DRAWINGS FOR
REINFORCING STEEL.

PART 2 - PRODUCTS

1. REINFORCEMENT MATERIALS
- A. REINFORCEMENT STEEL, ASTM A615, 60KSI YIELD GRADE, REINFORCING STEEL
RODS, PLAIN FINISH.
- B. WELDED STEEL WIRE FABRIC ASTM A185 PLAIN TYPE, IN FLAT SHEETS, PLAIN
FINISH.
- C. CHAIRS, BOLSTERS, BAR SUPPORTS, SPACERS, SIZED AND SHAPED FOR
SUPPORTS OF REINFORCING.
- D. FABRICATE CONCRETE REINFORCING IN ACCORDANCE WITH ACI 315, AND ACI 318,
AND ASTM A184.
2. CONCRETE MATERIALS
- A. CEMENT: ASTM C150, PORTLAND TYPE.
- B. FINE AND COURSE AGGREGATES: ASTM C33 - MAXIMUM SIZE OF CONCRETE
AGGREGATE SHALL NOT
EXCEED ONE (1) INCH SIZE SUITABLE FOR INSTALLATION METHODS UTILIZED FOR
SHEDDING CLEAR DISTANCE
BEHIND OR BETWEEN REINFORCING.
- C. WATER: CLEAN AND NOT DETRIMENTAL TO CONCRETE.
- D. AIR ENTRAINING ADJUTIVE: ASTM C260.
- E. BONDING AGENT: LATEX EMULSION FOR BONDING NEW TO OLD CONCRETE AS
MANUFACTURED BY DAYTON SUPERIOR.
- F. NON-SHRINK GROUT: PREMIXED COMPOUND CONSISTING OF NONMETALLIC
AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING AGENTS.
3. CONCRETE MIX
- A. CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE A.C.I.
REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.
- B. MIX AND DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94, ALT. 3.
- C. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE
INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE
FOR LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS
OF ACI 318 CHAPTER F4 SHALL BE SATISFIED BASED ON THE CONDITIONS
AND AGGRESSIVE AGENTS AS FOLLOWS:

1. COMPRESSIVE STRENGTH: 4000 PSI AT 28 DAYS.

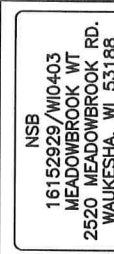
2. SLUMP : 3 INCHES.

EXECUTION:

1. INSERTS, EMBEDDED COMPONENTS AND OPENINGS
- A. THE CONTRACTOR SHALL COORDINATE AND CROSS CHECK ARCHITECTURAL,
BUILDING AND ELECTRICAL DOCUMENTS FOR CONFLICTS. THE CONTRACTOR SHALL
HANGERS, AND OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME
FULL RESPONSIBILITY FOR THE PROPER LOCATION BEFORE PLACING CONCRETE.
- B. PROVIDE FORMED OPENINGS WHERE REQUIRED FOR WORK TO BE EMBEDDED IN
AND PASSING THROUGH CONCRETE MEMBERS.
- C. COORDINATE WORK OF OTHER SECTIONS IN FORMING AND SETTING OPENINGS,
SLOTS, RECESSES, CHASES, SLEEVES, BOLTS, ANCHORS, AND OTHER INSERTS.
- D. INSTALL CONCRETE ACCESSORIES STRAIGHT, LEVEL NO PLUMB.
2. REINFORCEMENT PLACEMENT
- A. PLACE REINFORCEMENT, SUPPORTED AND SECURED AGAINST DISPLACEMENT,
FOREIGN COATINGS.
- B. ENSURE REINFORCING IS CLEAN, FREE OF LOOSE SCALE, DIRT, OR OTHER
FOREIGN COATINGS.
- C. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
- D. MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE 3 INCHES UNLESS
NOTED OTHERWISE.
- E. CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL
REINFORCEMENT SHALL NOT EXCEED 3 INCHES OR BE LESS THAN 2 INCHES.

3. PLACING CONCRETE

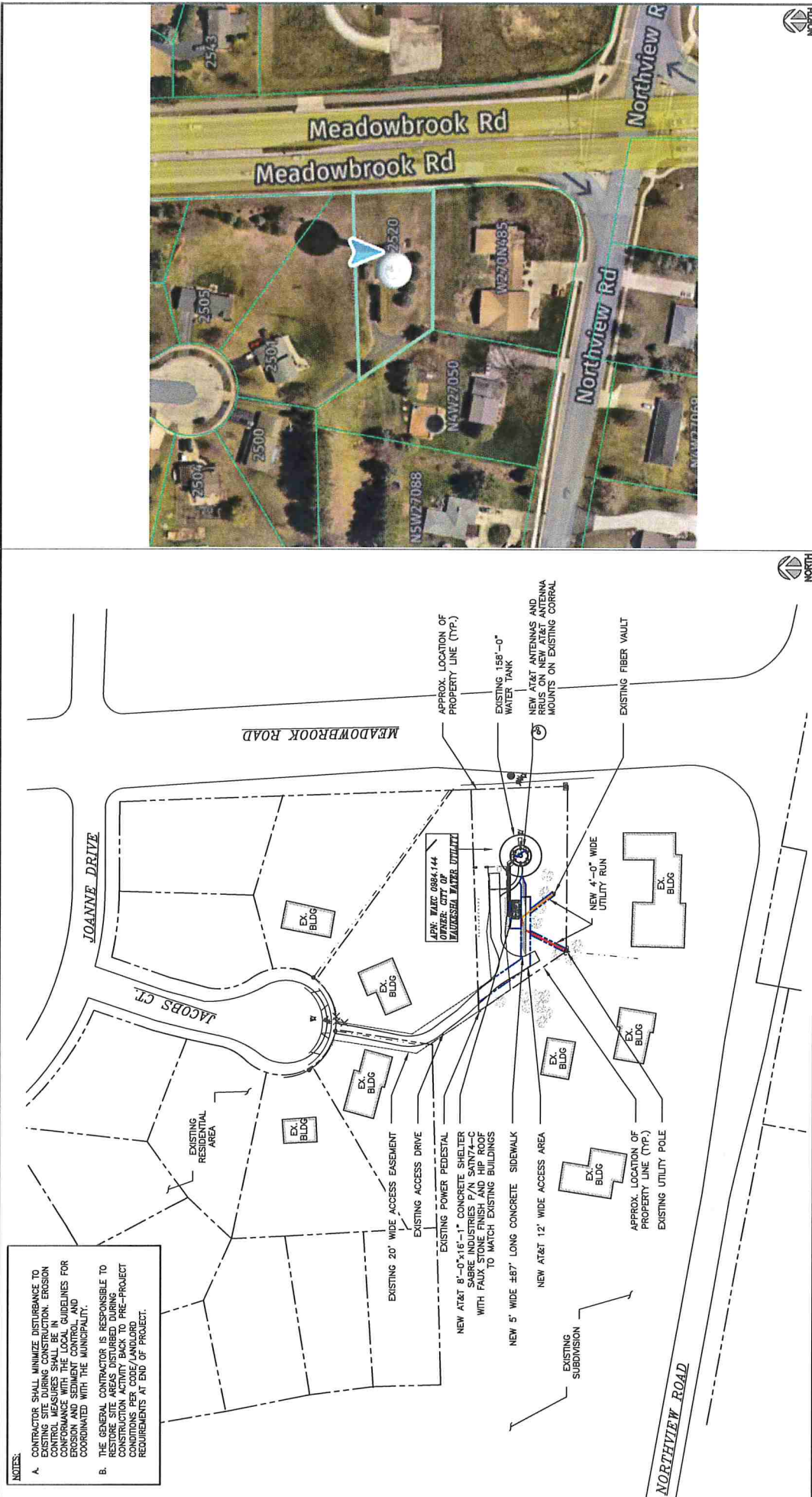
- A. VIBRATE ALL CONCRETE.
- B. ALL CONCRETE WORK SHALL ADHERE TO THE LATEST A.C.I. STANDARDS
FOR WINTER POURING AND CURING PROCEDURES IF SEASONAL CONDITIONS
APPLY.
4. CURING
- A. AFTER PLACEMENT, PROTECT CONCRETE FROM PREMATURE DRYING.
- B. MAINTAIN CONCRETE WITH MINIMAL MOISTURE LOSS AT RELATIVELY
CONSISTENT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION
OF CEMENT AND HARDENING OF CONCRETE.
5. PROVIDE HAND RUBBED SMOOTH FINISH TO ALL EXPOSED VERTICAL
FORMED CONCRETE SURFACES.
6. FIELD QUALITY CONTROL
- A. SUBMIT THREE (3) CONCRETE TEST CYLINDERS - TAKEN EVERY 15
CUBIC YARDS OR LESS. SUBMIT CONCRETE TESTS TO THE PROJECT
MANAGER IN ACCORDANCE TO ASTM C-31 AND C-39.
- B. SUBMIT ONE (1) ADDITIONAL TEST CYLINDER - TAKEN DURING COLD
WEATHER PERIODS. SUBMIT TESTS UNDER THE SAME
CONDITIONS AS THE CONCRETE IT REPRESENTS.
- C. SUBMIT ONE (1) SLUMP TEST - TAKEN FOR EACH SET OF TEST
CYLINDERS TAKEN.
7. DEFECTIVE CONCRETE
- MODIFY OR REPLACE CONCRETE NOT CONFORMING TO REQUIRED
DETAILS OR ELEVATIONS AS DIRECTED BY THE
AT&T/WIRELESS CONSTRUCTION MANAGER.
- GENERAL ELECTRICAL NOTES:**
1. ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM
WITH AT&T/WIRELESS SPECIFICATIONS.
2. CONTRACTOR SHALL PERFORM ALL VERIFICATION TESTS AND EXAMINATION WORK PRIOR
TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION.
CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER
LISTING ALL MALFUNCTIONS, FAULTY NOTICE AND DISCREPANCIES.
3. ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE
STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND 'UL' LISTED.
4. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED PER THE
NEC, AND ALL APPLICABLE LOCAL CODES.
5. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM
INTERRUPTING RATING OF 42,000 AIC.
6. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS
PROVIDED BY AT&T/WIRELESS FOR BTS CABINET.
7. PATCH, REPAIR, AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF
THE ELECTRICAL WORK.
8. PROVIDE AT&T/WIRELESS WITH ONE SET OF COMPLETE ELECTRICAL 'AS-BUILT'
DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING
CONNECTIONS.
9. ALL SINGLE-PHASE SELF CONTAINED METER CONNECTION DEVICES MUST INCLUDE
HORN TYPE BY-PASS PROVISION SO THAT SERVICES WILL NOT BE INTERRUPTED
WHEN A METER IS REMOVED FROM THE SOCKET.
10. ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE ROCKET
PROOFED WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR AS
NEEDED.
11. NO SOILS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE
LANDOWNER.
12. CONTRACTOR TO PROVIDE 2 PHENOLIC LABELS AT METER ONE TO IDENTIFY
AT&T/WIRELESS DISCONNECT AND THE OTHER TO GIVE THE SITE ADDRESS.
13. ALL CONTRACTOR FURNISHED MATERIALS AND EQUIPMENT SPECIFIED ON THE
PROJECT SHALL BE NEW AND UNUSED, OF CURRENT MANUFACTURE AND OF THE
HIGHEST GRADE.



REV.	DATE	DESCRIPTION	INITIALS
1	04/11/24	PERMIT/CONSTRUCTION	CG
2	04/04/24	PERMIT/CONSTRUCTION	CG
0	02/29/24	PERMIT/CONSTRUCTION	CG
C	01/29/24	PRELIMINARY	CG



SHEET TITLE
NOTES & SPECIFICATIONS



NOTES:

A. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE INSTALLED IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL, AND COORDINATED WITH THE MUNICIPALITY.

B. THE GENERAL CONTRACTOR IS RESPONSIBLE TO RESTORE SITE AREAS DISTURBED DURING CONSTRUCTION ACTIVITY BACK TO PRE-PROJECT CONDITIONS PER CODE/LANDLORD REQUIREMENTS AT END OF PROJECT.

SCALE
N.T.S.

1

OVERALL SITE PLAN

2

AERIAL

SCALE 1"=100'-0" (11x17)
(0/0) 2"=100'-0" (22x36)

REV. DATE DESCRIPTION INITIALS

2 04/11/24 PERMIT/CONSTRUCTION CG

1 04/04/24 PERMIT/CONSTRUCTION CG

0 02/29/24 PERMIT/CONSTRUCTION CG

C 01/29/24 PRELIMINARY CG CG

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

16152929/WI0403
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WAUKESHA, WI 53188

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WI Firm No. 4897-11

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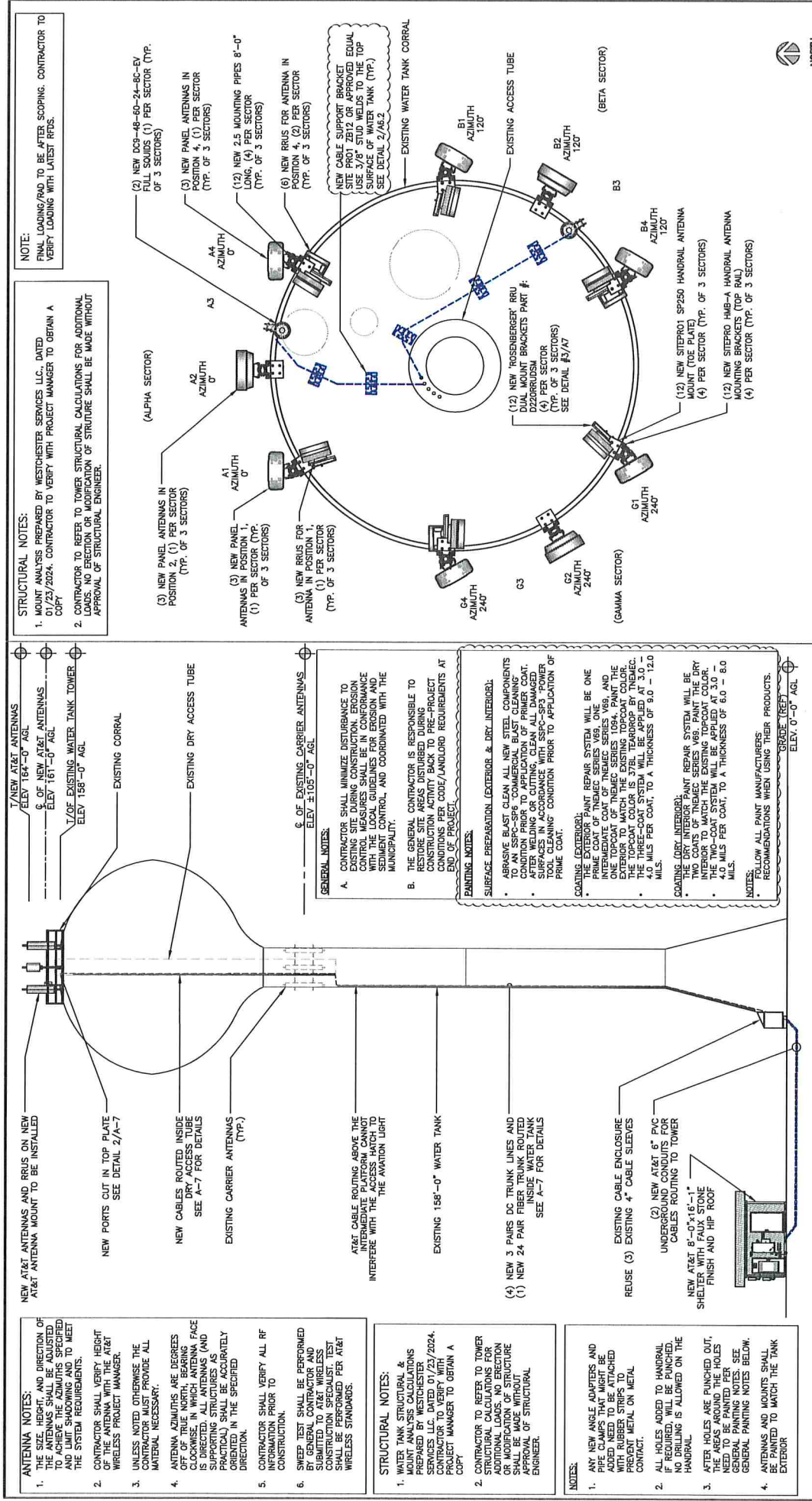
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Reimagining tomorrow.
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SHEET TITLE
SITE PLAN

SHEET NUMBER
A1

04/11/24
448769
BARRINGTON
PLANNING DEPT.
JAMES KOEL
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THE SEAL OF THE STATE OF WISCONSIN

DATE
04/11/24
TIME
7:27 PM



STRUCTURAL NOTES:

1. MOUNT ANALYSIS PREPARED BY WESTCHESTER SERVICES LLC, DATED 07/23/2024. CONTRACTOR TO VERIFY WITH PROJECT MANAGER TO OBTAIN A COPY.

2. CONTRACTOR TO REFER TO TOWER STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF STRUCTURE SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.

ANTENNA NOTES:

1. THE SIZE, HEIGHT, AND DIRECTION OF THE ANTENNAS SHALL BE ADJUSTED TO MATCH THE TOWER'S TOWER AND LIMIT SHOCKING AND TO MEET THE SYSTEM REQUIREMENTS.

2. CONTRACTOR SHALL VERIFY HEIGHT OF THE ANTENNA WITH THE AT&T WIRELESS PROJECT MANAGER.

3. UNLESS NOTED OTHERWISE THE ANTENNA WEIGHTS SHALL PROVIDE ALL MATERIAL NECESSARY.

4. ANTENNA AZIMUTHS ARE DEGREES OF TRUE NORTH. BEARING FACE IS DIRECTED. ALL ANTENNAS (AND SUPPORTING STRUCTURES AS PRACTICAL) SHALL BE ACCURATELY ORIENTED IN THE SPECIFIED DIRECTION.

5. CONTRACTOR SHALL VERIFY ALL RF INFORMATION PRIOR TO CONSTRUCTION.

6. SWEEP TEST SHALL BE PERFORMED BY GENERAL CONTRACTOR AND SUBMITTED TO AT&T WIRELESS PROJECT MANAGER. TEST SHALL BE PERFORMED PER AT&T WIRELESS STANDARDS.

GENERAL NOTES:

A. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING UTILITIES AND STRUCTURES. CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH THE MUNICIPALITY.

B. THE GENERAL CONTRACTOR IS RESPONSIBLE TO RESTORE SITE AREAS DISTURBED DURING CONSTRUCTION ACTIVITY BACK TO PRE-PROJECT CONDITIONS PER CODE/LANDLORD REQUIREMENTS AT END OF PROJECT.

PAINTING NOTES:

SURFACE PREPARATION (EXTERIOR & DRY INTERIOR):

- ABRASIVE BLAST CLEAN ALL NEW STEEL COMPONENTS TO AN SSPC-SP6 COMMERCIAL BLAST CLEANING STANDARD. AFTER WELDING OR CUTTING, CLEAN ALL DAMAGED SURFACES IN ACCORDANCE WITH SSPC-SP3 POWER TOOL CLEANING CONDITION PRIOR TO APPLICATION OF PRIME COAT.
- COATING (EXTERIOR): THE EXTERIOR PAINT REPAIR SYSTEM WILL BE ONE PRIME COAT OF THERMEX SERIES V8S, AND INTERMEDIATE COAT OF THERMEX SERIES V8S, AND ONE TOPCOAT OF THERMEX SERIES 1094. PAINT THE EXTERIOR SURFACES TO MATCH THE EXISTING TOPCOAT COLOR. THE TOPCOAT COLOR IS 3781. TYPED BY THERMEX. THE THREE-COAT SYSTEM WILL BE APPLIED AT 3.0 - 4.0 MILS PER COAT, TO A THICKNESS OF 9.0 - 12.0 MILS.
- COATING (DRY INTERIOR): THE DRY INTERIOR PAINT REPAIR SYSTEM WILL BE ONE PRIME COAT OF THERMEX SERIES V8S, AND INTERMEDIATE COAT OF THERMEX SERIES V8S, AND ONE TOPCOAT OF THERMEX SERIES 1094. PAINT THE INTERIOR TO MATCH THE EXISTING TOPCOAT COLOR. THE TWO-COAT SYSTEM WILL BE APPLIED AT 3.0 - 4.0 MILS PER COAT, TO A THICKNESS OF 6.0 - 8.0 MILS.

NOTES:

- ALLOW ALL PAINT MANUFACTURERS' RECOMMENDATIONS WHEN USING THEIR PRODUCTS.
- GRADE (FEET) ELEV. 0'-0" AGL.

NEW TOWER ELEVATION

SCALE: N.T.S.

1

NEW TOWER ELEVATION

SCALE: N.T.S.

2

NEW ANTENNA PLAN

SCALE: N.T.S.

1

NEW ANTENNA PLAN

SCALE: N.T.S.

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NEW ANTENNA PLAN

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NEW ANTENNA PLAN

SCALE: N.T.S.

1

1. CONTRACTOR IS TO REFER TO AT&T'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFD) PRIOR TO CONSTRUCTION.

2. CABLE LENGTHS WERE DETERMINED BASED ON THE DESIGN DRAWING. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION WALK.

3. CONTRACTOR TO USE ROSENBERGER FIBER LINE HANGER COMPONENTS (OR ENGINEER APPROVED EQUAL).

NOTES

SCALE N.T.S. 3

CABLE MARKING LOCATIONS TABLE

NO	LOCATIONS
1	EACH TOP-JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS.
2	EACH MAIN COAX SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS NEAR THE TOP-JUMPER CONNECTION AND WITH (1) SET OF 3/4" WIDE COLOR BANDS JUST PRIOR TO ENTERING THE BTS OR TRANSMITTER BUILDING.
3	CABLE ENTRY PORT ON THE INTERIOR OF THE SHELTER.
4	ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF THE BOTTOM JUMPER.
5	ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF THE BOTTOM JUMPER.

1. THE ANTENNA SYSTEM COAX SHALL BE LABELED WITH VINYL TAPE.

2. THE STANDARD IS BASED ON EIGHT COLORED TAPES-RED, BLUE, GREEN, YELLOW, ORANGE, BROWN, WHITE, AND VIOLET. THESE TAPES MUST BE 3/4" WIDE & UV RESISTANT SUCH AS SCOTCH 35 VINYL ELECTRICAL COLOR CODING TAPE AND SHOULD BE READILY AVAILABLE TO THE ELECTRICIAN OR CONTRACTOR ON SITE. ALL TAPE SHALL BE APPLIED TO THE COAX WITH A MINIMUM OF (3) THREE WRAPS OF TAPE AND SHALL BE NEATLY TRIMMED AND SMOOTHED OUT SO AS TO AVOID UNRAVELING.

3. USING COLOR BANDS ON THE CABLES, MARK ALL RF CABLE BY SECTOR AND CABLE NUMBER AS SHOWN ON "CABLE COLOR CHART".

4. WHEN AN EXISTING COAXIAL LINE THAT IS INTENDED TO BE A SHARED LINE BETWEEN TECHNOLOGIES IS ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE EXISTING COLOR CODING SCHEME AND REPLACE IT WITH THE COLOR CODING STANDARD. IN THE ABSENCE OF AN EXISTING COLOR CODING AND TAGGING SCHEME, OR WHEN INSTALLING PROPOSED COAXIAL CABLES, THIS GUIDELINE TECHNOLOGY.

5. ALL COLOR BANDS INSTALLED AT THE TOP OF THE TOWER SHALL BE A MINIMUM OF 3" WIDE, AND SHALL HAVE A MINIMUM OF 3/4" OF SPACE BETWEEN EACH COLOR.

6. ALL COLOR CODES SHALL BE INSTALLED SO AS TO ALIGN NEATLY WITH ONE ANOTHER FROM SIDE-TO-SIDE.

7. IF EXISTING CABLES AT THE SITE ALREADY HAVE A COLOR CODING SCHEME AND THEY ARE NOT INTENDED TO BE REUSED OR SHARED WITH THE NEW TECHNOLOGY, THE EXISTING COLOR CODING SCHEME SHALL REMAIN UNTOUCHED.

Site Fiber Color Code Chart

Sector A

Fiber Cable Pair #	Type Band Color Band	Function
1	Blue	LTE-200-A-R9H-A1
2	Orange	LTE-AWS-A-R9H-A2
3	Green	LTE/UMTS-850/1900-A-R9H-A3
4	Yellow	Sector A Spare

Sector B

Fiber Cable Pair #	Type Band Color Band	Function
5	Blue	LTE-200-E-R9H-B1
6	Orange	LTE-AWS-B-R9H-B2
7	Green	C-UMTS-850/1900-B-R9H-B3
8	Yellow	Sector B Spare

Sector C

Fiber Cable Pair #	Type Band Color Band	Function
9	Blue	LTE-200-C-R9H-C1
10	Orange	LTE-AWS-C-R9H-C2
11	Green	LTE/UMTS-850/1900-C-R9H-C3
12	Yellow	Sector C Spare

PROPOSED ANTENNA CONFIGURATION AND CABLE SCHEDULE BASED ON RFD DATES 11/15/2023

SECTOR	POS	TECH	ANTENNA	ANTENNA HEIGHT	AZ	TMA/RRU	DC SURGE AND DISTRIBUTION	CABLE TYPE	CABLE LENGTH	DOWN TILTS
A	1	LTE 700 5G 850 5G 1900 LTE 1900	NNH4-65B-R6H4 (N)	161'-0" AGL	0°	4490 B5/B12 (N)	(4) #6 AWG DC TRUNK LINE (N) (1) 24 PAIR OPTIC FIBER (N)			0
	2	5G CBAND	AIR6419 B77D (N)	161'-0" AGL	0°		DC (SHARED WITH A1) FIBER (SHARED WITH A1)		110'	
	3	EMPTY					DC (SHARED WITH A1) FIBER (SHARED WITH A1)			
B	4	LTE 700 LTE AWS 5G AWS	NNH4-65B-R6H4 (N)	161'-0" AGL	0°	4478 B14 (N) 4890 B25/B66 (N)				0
	1	LTE 700 5G 850 5G 1900 LTE 1900	NNH4-65B-R6H4 (N)	161'-0" AGL	120°	4490 B5/B12 (N)	DC (SHARED WITH A1) FIBER (SHARED WITH A1)			0
	2	5G CBAND	AIR6419 B77D (N)	161'-0" AGL	120°		DC (SHARED WITH A1) FIBER (SHARED WITH A1)		110'	
G	3	EMPTY					DC (SHARED WITH A1) FIBER (SHARED WITH A1)			
	4	LTE 700 LTE AWS 5G AWS	NNH4-65B-R6H4 (N)	161'-0" AGL	120°	4478 B14 (N) 4890 B25/B66 (N)				0
	1	LTE 700 5G 850 5G 1900 LTE 1900	NNH4-65B-R6H4 (N)	161'-0" AGL	240°	4490 B5/B12 (N)	DC (SHARED WITH A1) FIBER (SHARED WITH A1)			0
G	2	5G CBAND	AIR6419 B77D (N)	161'-0" AGL	240°		DC (SHARED WITH A1) FIBER (SHARED WITH A1)		110'	
	3	EMPTY					DC (SHARED WITH A1) FIBER (SHARED WITH A1)			
	4	LTE 700 LTE AWS 5G AWS	NNH4-65B-R6H4 (N)	161'-0" AGL	240°	4478 B14 (N) 4890 B25/B66 (N)				0

Legend

(N) = NEW
(EX) = EXISTING
(E) = ELECTRICAL
(M) = MECHANICAL

ANTENNA AND CABLING INFORMATION

SCALE N.T.S. 2

SCHEDULE

SCALE N.T.S. 1

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MEADOWBROOK RD.
2520 MEADOWBROOK RD.
WAUKESHA, WI 53188

REVISIONS

REV. DATE DESCRIPTION

1 04/11/24 PERMIT/CONSTRUCTION

2 04/11/24 PERMIT/CONSTRUCTION

3 02/29/24 PERMIT/CONSTRUCTION

4 01/29/24 PRELIMINARY

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

DATE: 04/11/24

BY: [Signature]

FOR: [Signature]

PROJECT: BARRINGTON, IL 60010

PREPARED BY: [Signature]

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

APPROVED BY: [Signature]

DATE: 04/11/24

BY: [Signature]

FOR: [Signature]

PROJECT: BARRINGTON, IL 60010

PREPARED BY: [Signature]

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

APPROVED BY: [Signature]

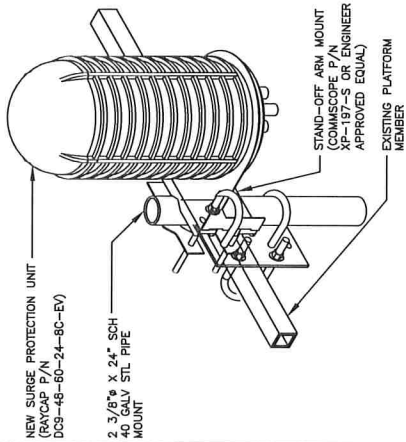
SHEET NUMBER

A4

SHEET TITLE

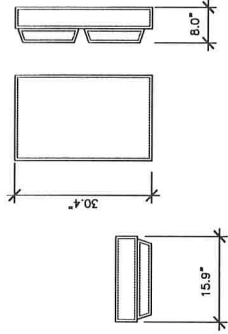
SCHEDULE & CABLE NOTES

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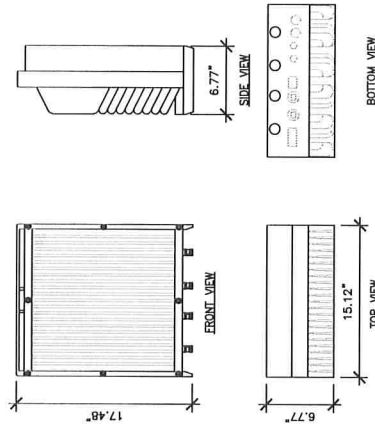
ERICSSON AIR6419 B77D

DIMENSIONS, HxWxD:
WEIGHT, WITHOUT
MOUNTING BRACKET:
(30.4" x 15.9" x 8.0")
(81.6 lbs)

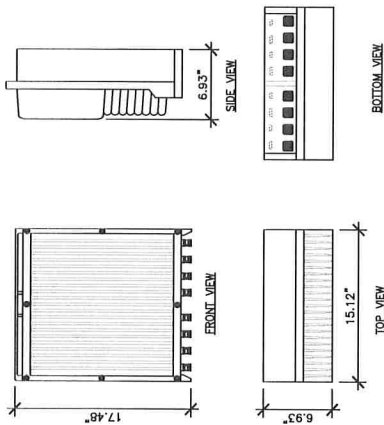


DC9-48-60-0-8C-EV DETAIL

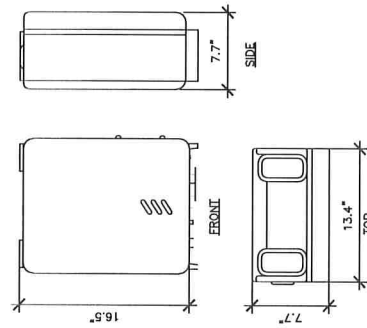
ERICSSON RRU5 4490 B5/B12
DIMENSIONS, HxWxD: 17.48"x15.12"x6.77"
WEIGHT, WITHOUT
MOUNTING KIT: 31 kg (68.3 lbs)



ERICSSON RRU5 4890 B25/B66
DIMENSIONS, HxWxD: 17.48"x15.12"x6.93"
WEIGHT, WITHOUT MOUNTING KIT: ±31 kg (68.3 lbs)



ERICSSON RRU5 4478 B14
DIMENSIONS, HxWxD: 16.5"x13.4"x7.7"
WEIGHT, WITHOUT
MOUNTING KIT: ±27.2 kg (59.9

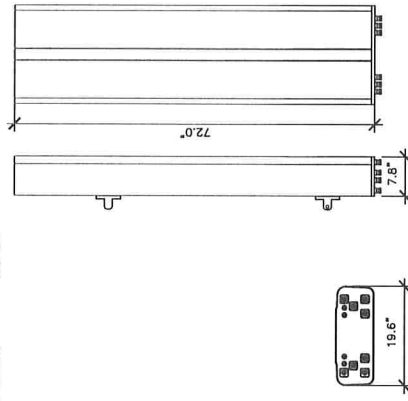


NOT USED

SCALE	4
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ANTENNA DETAIL

COMASCOPE ANTENNAS NHH4-55B-R6H4	
DIMENSIONS, HXWXD:	72.0"X19.6"X7.8"
SURVIVAL WIND SPEED:	>150 MPH
WEIGHT, WITHOUT MOUNTING:	82.0 LBS. (37.2 kg)
CONNECTOR POSITION:	BOTTOM



RRU DETAIL



AT&T
830 NATIONAL PARKWAY

Jacobs
Challenging today.
Reinventing tomorrow.

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SERVICES LLC**
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BARRINGTON, IL 60010
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NSB
16152929/WI0403
MEADOWBROOK WT
20 MEADOWBROOK RD.

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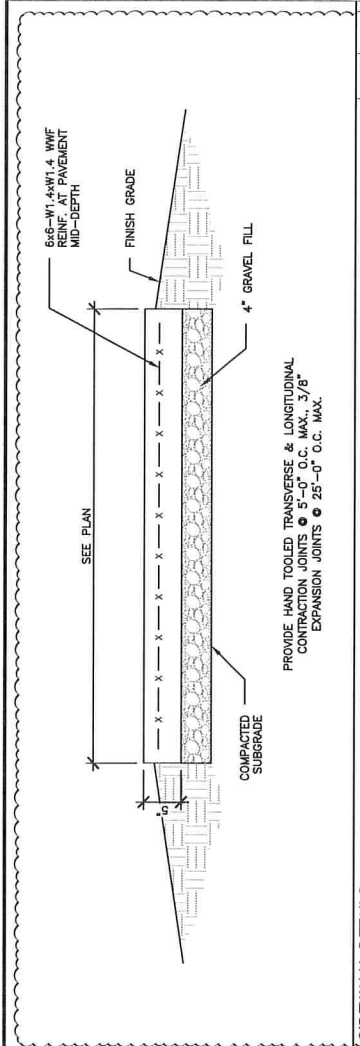
NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

ANTENNA DETAIL

SHEET TITLE
ANTENNA, RRUS
& RAYCAP
DETAILS

A6

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



SIDEWALK DETAILS	SCALE	4
	N.T.S.	

Product Specifications



Dimensions

Height	101.60 mm	4.0 in.
Length	565.15 mm	22.24 in.
Width	165.10 mm	6.5 in.
Weight	21.5 lbs.	

General Specifications

Material Type Finish	Size Max Dip Galvanized

Mounting

Apple Montrose Round Mount
86 Deg Angle Legs: 1 in to 5 in
90 Deg Angle Legs: 1 in to 3 1/2 in
Flat Round Legs: 1-1/2 in to 5 in OD

Packaging

Package Quantity	7 R6

NOTES:
Insolubility of this product should only be performed by trained, qualified and experienced personnel. Inhalation restrictions for this product should be read thoroughly before evaluation is performed. The manufacturer and supplier of this product disclaim any liability or responsibility for the results of improper or unsafe formulation practice.

When installed correctly, this product meets the requirements for installation in High Risk Zones. Static and dynamic testing was conducted per EN 62222, Table 10 and Microwave Device, Installation Level measurement. That is Measurement of passive intermodulation generated by objects exposed to 0 dB isolation, and 50, 120, 140.

Corporate Headquarters
Hochberger Hochreimstr. 27, 61129 Frankfurt, Germany
P.O. Box 1150, 33461 Nijmegen, The Netherlands

Branches/Service Centers
300, 33000, 33001, 33002, 33003, 33004, 33005, 33006, 33007, 33008, 33009, 33010, 33011, 33012, 33013, 33014, 33015, 33016, 33017, 33018, 33019, 33020, 33021, 33022, 33023, 33024, 33025, 33026, 33027, 33028, 33029, 33030, 33031, 33032, 33033, 33034, 33035, 33036, 33037, 33038, 33039, 33040, 33041, 33042, 33043, 33044, 33045, 33046, 33047, 33048, 33049, 33050, 33051, 33052, 33053, 33054, 33055, 33056, 33057, 33058, 33059, 33060, 33061, 33062, 33063, 33064, 33065, 33066, 33067, 33068, 33069, 33070, 33071, 33072, 33073, 33074, 33075, 33076, 33077, 33078, 33079, 33080, 33081, 33082, 33083, 33084, 33085, 33086, 33087, 33088, 33089, 33090, 33091, 33092, 33093, 33094, 33095, 33096, 33097, 33098, 33099, 33100, 33101, 33102, 33103, 33104, 33105, 33106, 33107, 33108, 33109, 33110, 33111, 33112, 33113, 33114, 33115, 33116, 33117, 33118, 33119, 33120, 33121, 33122, 33123, 33124, 33125, 33126, 33127, 33128, 33129, 33130, 33131, 33132, 33133, 33134, 33135, 33136, 33137, 33138, 33139, 33140, 33141, 33142, 33143, 33144, 33145, 33146, 33147, 33148, 33149, 33150, 33151, 33152, 33153, 33154, 33155, 33156, 33157, 33158, 33159, 33160, 33161, 33162, 33163, 33164, 33165, 33166, 33167, 33168, 33169, 33170, 33171, 33172, 33173, 33174, 33175, 33176, 33177, 33178, 33179, 33180, 33181, 33182, 33183, 33184, 33185, 33186, 33187, 33188, 33189, 33190, 33191, 33192, 33193, 33194, 33195, 33196, 33197, 33198, 33199, 33200, 33201, 33202, 33203, 33204, 33205, 33206, 33207, 33208, 33209, 33210, 33211, 33212, 33213, 33214, 33215, 33216, 33217, 33218, 33219, 33220, 33221, 33222, 33223, 33224, 33225, 33226, 33227, 33228, 33229, 33230, 33231, 33232, 33233, 33234, 33235, 33236, 33237, 33238, 33239, 33240, 33241, 33242, 33243, 33244, 33245, 33246, 33247, 33248, 33249, 33250, 33251, 33252, 33253, 33254, 33255, 33256, 33257, 33258, 33259, 33260, 33261, 33262, 33263, 33264, 33265, 33266, 33267, 33268, 33269, 33270, 33271, 33272, 33273, 33274, 33275, 33276, 33277, 33278, 33279, 33280, 33281, 33282, 33283, 33284, 33285, 33286, 33287, 33288, 33289, 33290, 33291, 33292, 33293, 33294, 33295, 33296, 33297, 33298, 33299, 33300, 33301, 33302, 33303, 33304, 33305, 33306, 33307, 33308, 33309, 33310, 33311, 33312, 33313, 33314, 33315, 33316, 33317, 33318, 33319, 33320, 33321, 33322, 33323, 33324, 33325, 33326, 33327, 33328, 33329, 33330, 33331, 33332, 33333, 33334, 33335, 33336, 33337, 33338, 33339, 33340, 33341, 33342, 33343, 33344, 33345, 33346, 33347, 33348, 33349, 33350, 33351, 33352, 33353, 33354, 33355, 33356, 33357, 33358, 33359, 33360, 33361, 33362, 33363, 33364, 33365, 33366, 33367, 33368, 33369, 33370, 33371, 33372, 33373, 33374, 33375, 33376, 33377, 33378, 33379, 33380, 33381, 33382, 33383, 33384, 33385, 33386, 33387, 33388, 33389, 33390, 33391, 33392, 33393, 33394, 33395, 33396, 33397, 33398, 33399, 33400, 33401, 33402, 33403, 33404, 33405, 33406, 33407, 33408, 33409, 33410, 33411, 33412, 33413, 33414, 33415, 33416, 33417, 33418, 33419, 33420, 33421, 33422, 33423, 33424, 33425, 33426, 33427, 33428, 33429, 33430, 33431, 33432, 33433, 33434, 33435, 33436, 33437, 33438, 33439, 33440, 33441, 33442, 33443, 33444, 33445, 33446, 33447, 33448, 33449, 33450, 33451, 33452, 33453, 33454, 33455, 33456, 33457, 33458, 33459, 33460, 33461, 33462, 33463, 33464, 33465, 33466, 33467, 33468, 33469, 33470, 33471, 33472, 33473, 33474, 33475, 33476, 33477, 33478, 33479, 33480, 33481, 33482, 33483, 33484, 33485, 33486, 33487, 33488, 33489, 33490, 33491, 33492, 33493, 33494, 33495, 33496, 33497, 33498, 33499, 33500, 33501, 33502, 33503, 33504, 33505, 33506, 33507, 33508, 33509, 33510, 33511, 33512, 33513, 33514, 33515, 33516, 33517, 33518, 33519, 33520, 33521, 33522, 33523, 33524, 33525, 33526, 33527, 33528, 33529, 33530, 33531, 33532, 33533, 33534, 33535, 33536, 33537, 33538, 33539, 33540, 33541, 33542, 33543, 33544, 33545, 33546, 33547, 33548, 33549, 33550, 33551, 33552, 33553, 33554, 33555, 33556, 33557, 33558, 33559, 33560, 33561, 33562, 33563, 33564, 33565, 33566, 33567, 33568, 33569, 33570, 33571, 33572, 33573,

RRU DUAL MOUNTING BRACKET DETAIL

WEST
SERVICES
604 FOX

W

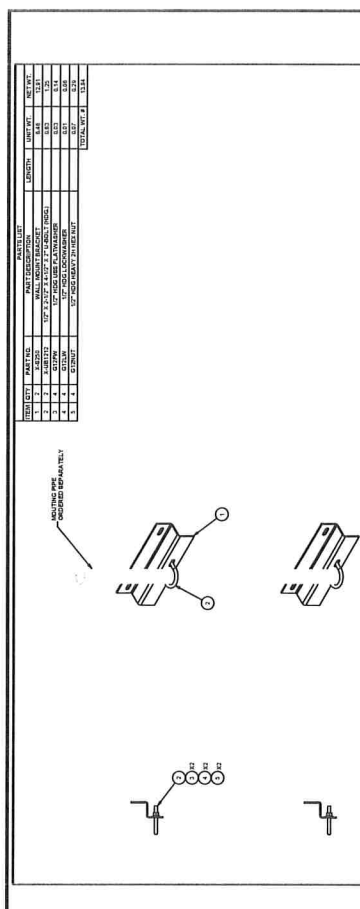
Jacobs

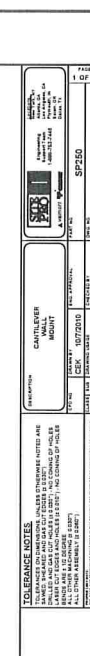
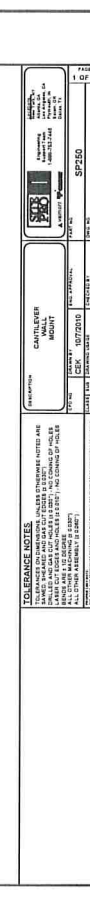
AT&T

 500 NATIONAL PARKWAY
SCHAUMBURG, IL 60173

BARRINGTON, ILL.
PH: 847.277.0070 F: 847.277.0071
aac@westchesteriac.com

WI Firm No.

7



PIPE TO TOE PLATE MOUNT

ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT	LENGTH	UNIT FT	NET WT
1	1	1000000	1000000	1.00	1000	1000	1.00
2	1	1000000	1000000	1.00	1000	1000	1.00
3	1	1000000	1000000	1.00	1000	1000	1.00
4	1	1000000	1000000	1.00	1000	1000	1.00
5	1	1000000	1000000	1.00	1000	1000	1.00
6	1	1000000	1000000	1.00	1000	1000	1.00
7	1	1000000	1000000	1.00	1000	1000	1.00
8	1	1000000	1000000	1.00	1000	1000	1.00
9	1	1000000	1000000	1.00	1000	1000	1.00
10	1	1000000	1000000	1.00	1000	1000	1.00
11	1	1000000	1000000	1.00	1000	1000	1.00
12	1	1000000	1000000	1.00	1000	1000	1.00
13	1	1000000	1000000	1.00	1000	1000	1.00
14	1	1000000	1000000	1.00	1000	1000	1.00
15	1	1000000	1000000	1.00	1000	1000	1.00
16	1	1000000	1000000	1.00	1000	1000	1.00
17	1	1000000	1000000	1.00	1000	1000	1.00
18	1	1000000	1000000	1.00	1000	1000	1.00
19	1	1000000	1000000	1.00	1000	1000	1.00
20	1	1000000	1000000	1.00	1000	1000	1.00
21	1	1000000	1000000	1.00	1000	1000	1.00
22	1	1000000	1000000	1.00	1000	1000	1.00
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34	1	1000000	1000000	1.00	1000	1000	1.00
35	1	1000000	1000000	1.00	1000	1000	1.00
36	1	1000000	1000000	1.00	1000	1000	1.00
37	1	1000000	1000000	1.00	1000	1000	1.00
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39	1	1000000	1000000	1.00	1000	1000	1.00
40	1	1000000	1000000	1.00	1000	1000	1.00
41	1	1000000	1000000	1.00	1000	1000	1.00
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73	1	1000000	1000000	1.00	1000	1000	1.00
74	1	1000000	1000000	1.00	1000	1000	1.00
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79	1	1000000	1000000	1.00	1000	1000	1.00
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81	1	1000000	1000000	1.00	1000	1000	1.00
82	1	1000000	1000000	1.00	1000	1000	1.00
83	1	1000000	1000000	1.00	1000	1000	1.00
84	1	1000000	1000000	1.00	1000	1000	1.00
85	1	1000000	1000000	1.00	1000	1000	1.00
86	1	1000000	1000000	1.00	1000	1000	1.00
87	1	1000000	1000000	1.00	1000	1000	1.00
88	1	1000000	1000000	1.00	1000	1000	1.00
89	1	1000000	1000000	1.00	1000	1000	1.00
90	1	1000000	1000000	1.00	1000	1000	1.00
91	1	1000000	1000000	1.00	1000	1000	1.00
92	1	1000000	1000000	1.00	1000	1000	1.00
93	1	1000000	1000000	1.00	1000	1000	1.00
94	1	1000000	1000000	1.00	1000	1000	1.00
95	1	1000000	1000000	1.00	1000	1000	1.00
96	1	1000000	1000000	1.00	1000	1000	1.00
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98	1	1000000	1000000	1.00	1000	1000	1.00
99	1	1000000	1000000	1.00	1000	1000	1.00
100	1	1000000	1000000	1.00	1000	1000	1.00

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<p>NO. BRANCH OFFICE</p>	<p>BRANCH OFFICE</p>	<p>DATE</p>	<p>TIME</p>	<p>PLACE</p>	<p>NO.</p>
<p>NAME OF THE PARTY</p>	<p>NAME OF THE PARTY</p>	<p>DATE</p>	<p>TIME</p>	<p>PLACE</p>	<p>NO.</p>
<p>NAME OF THE PARTY</p>	<p>NAME OF THE PARTY</p>	<p>DATE</p>	<p>TIME</p>	<p>PLACE</p>	<p>NO.</p>
<p>NAME OF THE PARTY</p>	<p>NAME OF THE PARTY</p>	<p>DATE</p>	<p>TIME</p>	<p>PLACE</p>	<p>NO.</p>
<p>NAME OF THE PARTY</p>	<p>NAME OF THE PARTY</p>	<p>DATE</p>	<p>TIME</p>	<p>PLACE</p>	<p>NO.</p>
<p>NAME OF THE PARTY</p>	<p>NAME OF THE PARTY</p>	<p>DATE</p>	<p>TIME</p>	<p>PLACE</p>	<p>NO.</p>
<p>NAME OF THE PARTY</p>	<p>NAME OF THE PARTY</p>	<p>DATE</p>	<p>TIME</p>	<p>PLACE</p>	<p>NO.</p>
<p>NAME OF THE PARTY</p>	<p>NAME OF THE PARTY</p>	<p>DATE</p>	<p>TIME</p>	<p>PLACE</p>	<p>NO.</p>
<p>NAME OF THE PARTY</p>	<p>NAME OF THE PARTY</p>	<p>DATE</p>	<p>TIME</p>	<p>PLACE</p>	<p>NO.</p>

PIPE TO TOP RAIL MOUNTING BRACKET		REVISED		SCALE		1	
DATE		BY		DATE		BY	
21 JUN 1971		21 JUN 1971		21 JUN 1971		21 JUN 1971	
PROJECT		PROJECT		PROJECT		PROJECT	
MSS-A		MSS-A		MSS-A		MSS-A	

REV.	DATE	DESCRIPTION	DETAILS
2	04/11/24	PERMIT/CONSTRUCTION	CG
1	04/04/24	PERMIT/CONSTRUCTION	CG


 Michael J. Ziegler
 PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 LICENSE NO. 44687
 MECHANICAL ENGINEERING

SHEET TITLE: EQUIPMENT
 SHEET NUMBER: A6 1

C	02/29/24	PRELIMINARY CD	NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET
C	01/29/24	PRELIMINARY CD	

DETAILS

PRO: 1

DATE: 02/29/24

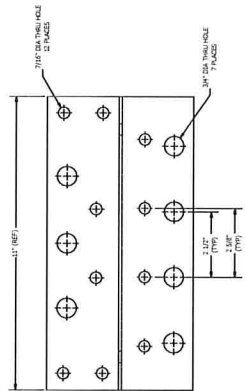
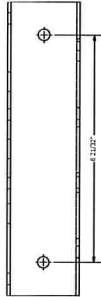
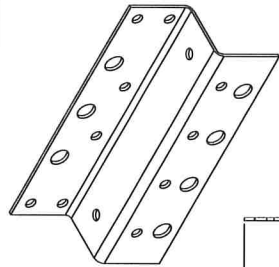
BY: J. HENRY

REVISION: 1

DESCRIPTION: THESE PLANS WERE PREPARED FOR THE CONSTRUCTION OF THE "JAWS OF THE STATE OF WISCONSIN" AND ARE TO BE USED ONLY FOR CONSTRUCTION UNDER THE "JAWS OF THE STATE OF WISCONSIN"

(continued)

ITEM NO.	QTY	UNIT	DESCRIPTION	AMOUNT	UNIT PRICE	TOTAL
1	1	EA	2" BRACKET FOR 2" GALV. PIPE	1.00	3.35	3.35



TOLERANCE NOTES UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO BE MAINTAINED WITHIN THE FOLLOWING TOLERANCES: 1. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED. 2. DIMENSIONS TO CENTER UNLESS OTHERWISE NOTED. 3. DIMENSIONS TO HOLE UNLESS OTHERWISE NOTED. 4. DIMENSIONS TO SURFACE UNLESS OTHERWISE NOTED. 5. DIMENSIONS TO EDGE UNLESS OTHERWISE NOTED. 6. DIMENSIONS TO CORNER UNLESS OTHERWISE NOTED. 7. DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED. 8. DIMENSIONS TO CENTER OF GRAVITY UNLESS OTHERWISE NOTED. 9. DIMENSIONS TO CENTER OF MASS UNLESS OTHERWISE NOTED. 10. DIMENSIONS TO CENTER OF BUOYANCY UNLESS OTHERWISE NOTED. 11. DIMENSIONS TO CENTER OF PRESSURE UNLESS OTHERWISE NOTED. 12. DIMENSIONS TO CENTER OF GRAVITY UNLESS OTHERWISE NOTED. 13. DIMENSIONS TO CENTER OF MASS UNLESS OTHERWISE NOTED. 14. DIMENSIONS TO CENTER OF BUOYANCY UNLESS OTHERWISE NOTED. 15. DIMENSIONS TO CENTER OF PRESSURE UNLESS OTHERWISE NOTED.		2" BRACKET FOR 2" GALV. PIPE GALVANIZED 1 OF 1	
DATE	04/11/24	REV	2512
BY	02	CUSTOMER	2512
DATE	04/11/24	REV	2512
BY	02	CUSTOMER	2512

CABLE SUPPORT Z-BRACKET DETAIL

2

NOT USED

1



AT&T
 800.441.4411
 SCHWABING & SCHWABING

Jacobs
 Engineering, Construction,
 and Program Management
 www.jacobs.com

WESTCHESTER
 SERVICES LLC
 604 FOX GLEN
 BARRINGTON, IL 60010
 PH: 847.277.0080 FAX: 847.277.0080
 westchester@westchester.com
 WI Firm No. 4897-11

JOHN M. BANKS
 ARCHITECT
 604 FOX GLEN
 BARRINGTON, IL 60010
 PH: 847.277.0080 FAX: 847.277.0080
 jbanks@westchesterservices.com

NSB
 16152929/W0403
 MEADOWBROOK WT
 2520 MEADOWBROOK RD.
 WAUKESHA, WI 53188

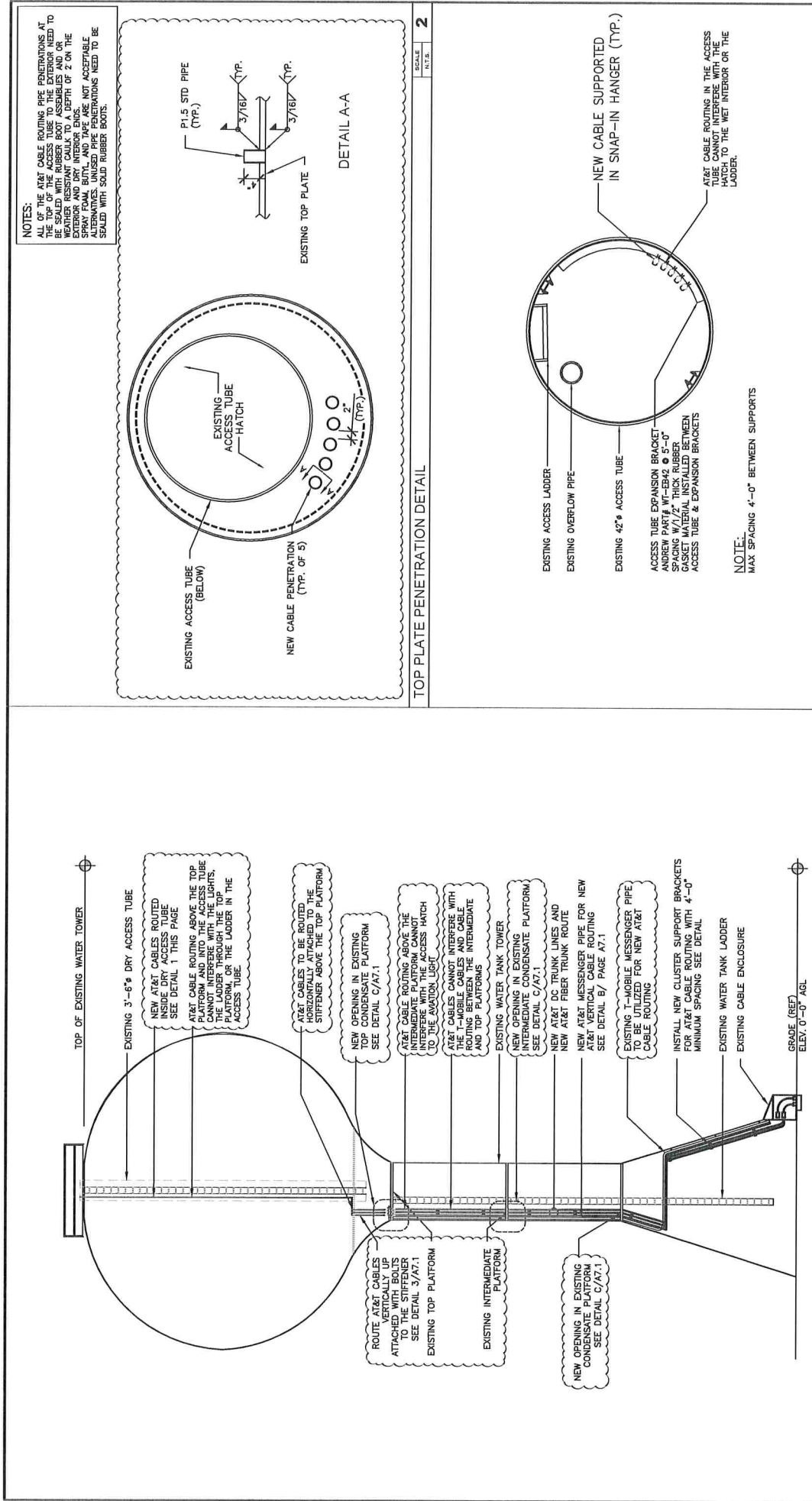
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2	04/11/24	PERMIT/CONSTRUCTION	CG
1	04/04/24	PERMIT/CONSTRUCTION	CG
0	02/29/24	PERMIT/CONSTRUCTION	CG
C	01/29/24	PRELIMINARY	CG

NOT FOR CONSTRUCTION UNLESS LABELED AS
 CONSTRUCTION SET

EQUIPMENT
 DETAILS

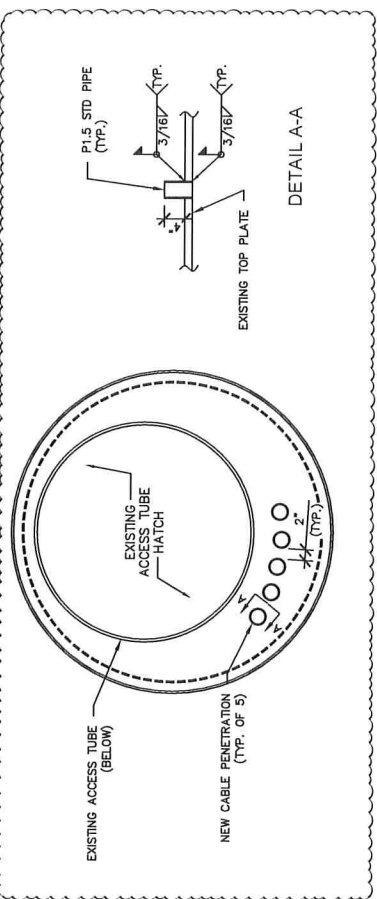
SHEET NUMBER
 A6.2

04/11/24
 BARRINGTON, IL 60010
 PREPARED BY: JACOB BANKS
 CHECKED BY: JACOB BANKS
 DESIGNED BY: JACOB BANKS
 DRAWN BY: JACOB BANKS
 SCALE: AS SHOWN
 DATE: 04/11/24
 PROJECT: 16152929/W0403
 SHEET: A6.2
 PREPARED BY: JACOB BANKS
 CHECKED BY: JACOB BANKS
 DESIGNED BY: JACOB BANKS
 DRAWN BY: JACOB BANKS
 SCALE: AS SHOWN
 DATE: 04/11/24
 PROJECT: 16152929/W0403
 SHEET: A6.2



NOTES:

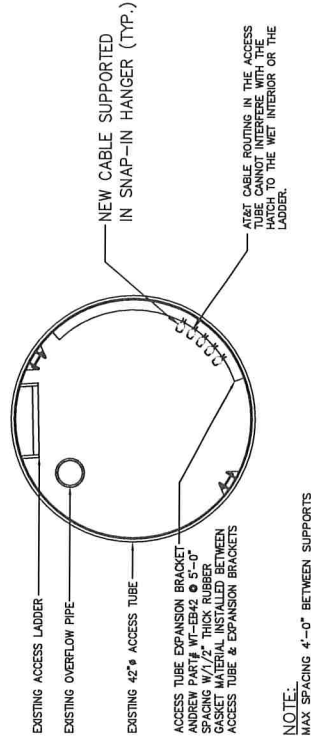
ALL OF THE AT&T CABLE ROUTING PIPE PENETRATIONS AT THE TOP OF THE ACCESS TUBE TO THE EXTERIOR NEED TO BE SEALED WITH RUBBER BOOTS. WEATHER RESISTANT CAULK TO A DEPTH OF 2" ON THE EXTERIOR AND DRY INTERIOR ENDS. RUBBER BOOTS MUST BE ASSEMBLED ALTERNATELY UNLESS PIPE PENETRATIONS NEED TO BE SEALED WITH SOLID RUBBER BOOTS.



TOP PLATE PENETRATION DETAIL

SCALE: N.T.S.

2



CABLE SUPPORT @ ACCESS TUBE DETAILS

SCALE: N.T.S.

1

AT&T
55 W. WASHINGTON, SUITE 1000
BARRINGTON, IL 60010

Jacobs
Challenging today.
Reimagining tomorrow.
WWW.JACOBS.COM

WESTCHESTER SERVICES LLC
604 FOX GLEN
BARRINGTON, IL 60010
TEL: 847.277.0070 FAX: 847.277.0080
446@westchesterservices.com
WI FIBER 4897-11

JOHN M. BANKS ARCHITECT
604 FOX GLEN
BARRINGTON, IL 60010
TEL: 847.277.0070 FAX: 847.277.0080
jbanks@westchesterservices.com

NSB
16152929/WI0403
MEADOWBROOK WT
2520 MEADOWBROOK RD.
WAUKESHA, WI 53188

COAX CABLE SUPPORT DETAILS

A7

REVISIONS

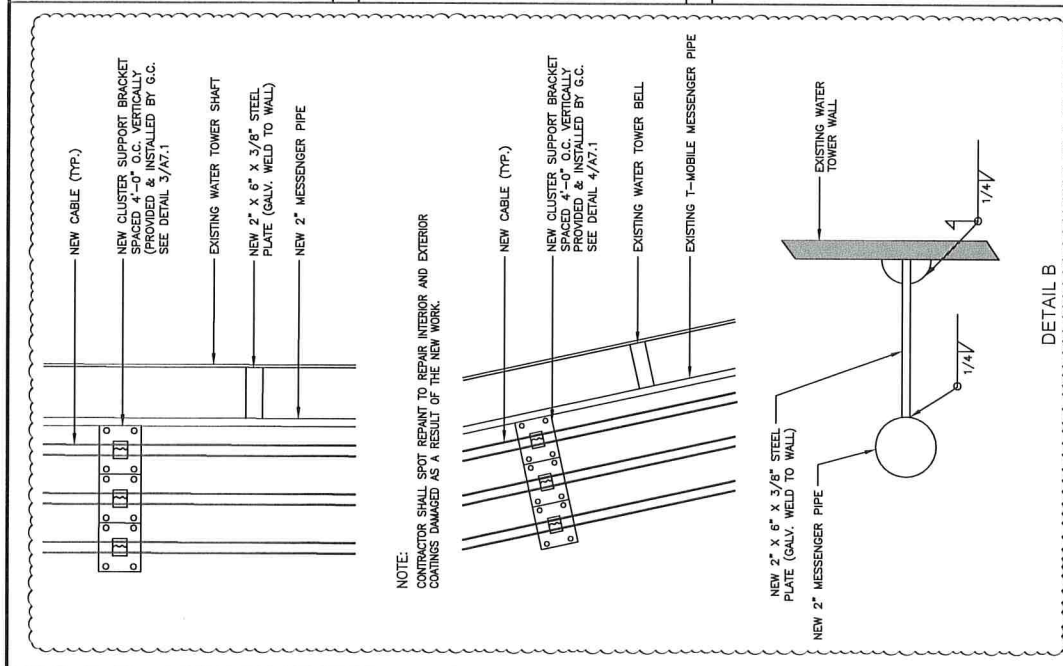
REV.	DATE	DESCRIPTION	INITIALS
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1	04/04/24	PERMIT/CONSTRUCTION	CG
0	02/29/24	PERMIT/CONSTRUCTION	CG
C	01/29/24	PRELIMINARY CD	CG

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

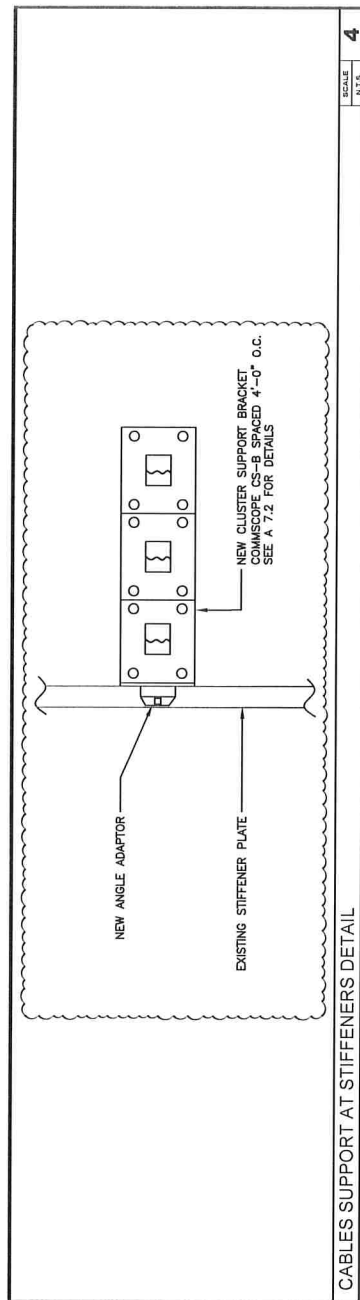
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BY: [Signature]
CHECKED: [Signature]
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446768

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BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]
BARRINGTON, IL 60010
446768

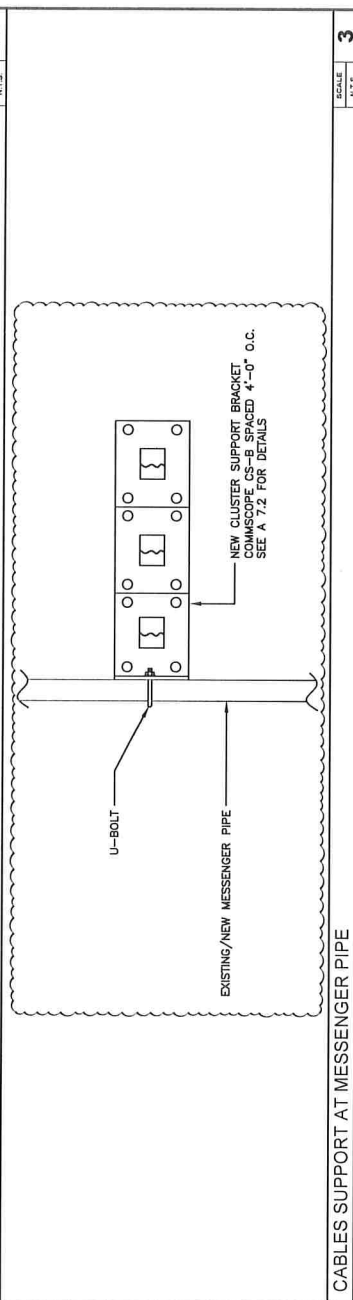
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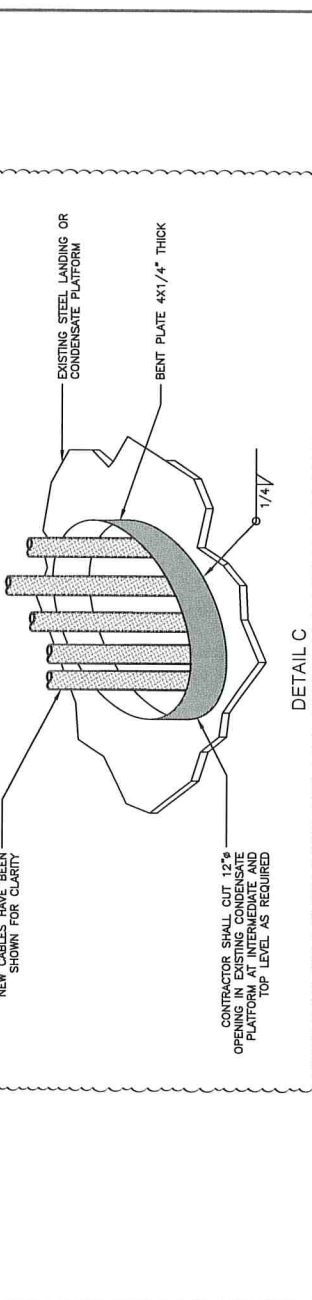
DETAIL B
MESSENGER PIPE DETAIL



CABLES SUPPORT AT STIFFENERS DETAIL



CABLES SUPPORT AT MESSENGER PIPE



DETAIL C
CONDENSATE PLAFORM PENETRATION DETAIL

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johnb@westchesterservices.com

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WAUKESHA, WI 53188

REVISIONS

REV.	DATE	DESCRIPTION	INITIALS
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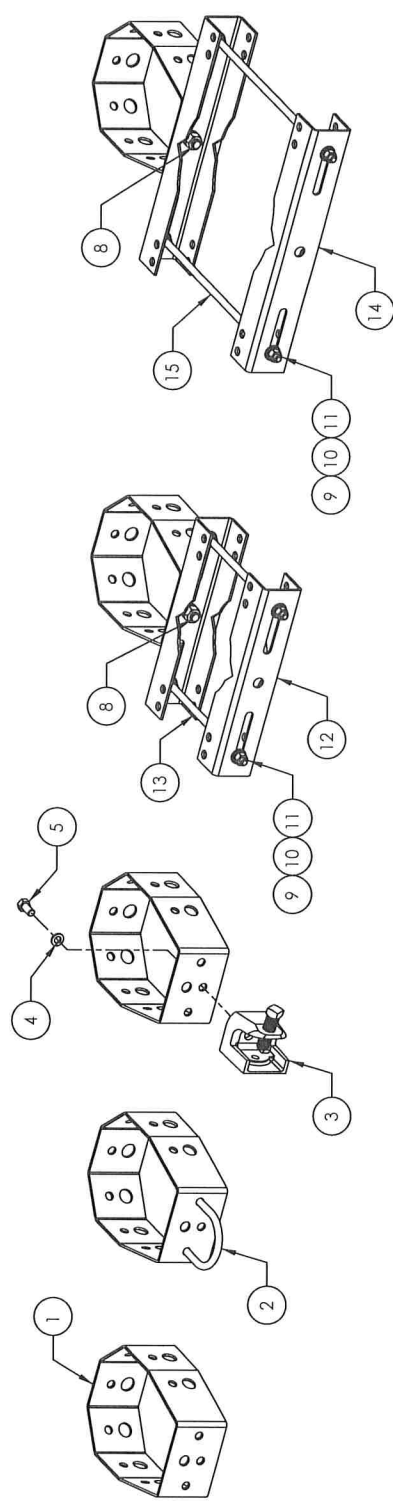
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4487888
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
PREPARED BY: [Signature]
AND THIS SET OF PERS. & CON. SET

SHEET TITLE
**COAX CABLE
SUPPORT
DETAILS**

SHEET NUMBER
A7.1

ITEM	PART NO.	DESCRIPTION	CS-B QTY.	CS-B-2 QTY.	CS-B-A QTY.	CS-B-R2 QTY.	CS-B-R6 QTY.	WEIGHT
1	CS-B	CLUSTER SUPPORT BRACKET, LARGE	1	1	1	1	1	3.68 LBS
2	GUB-3244	3/8" X 2-1/2" X 4" GALV U-BOLT	-	1	-	-	-	0.31 LBS
3	MT1515	ANGLE ADAPTOR	-	-	1	-	-	1.87 LBS
4	SWL-03	3/8" SS LOCK WASHER	-	-	1	-	-	0.09 LBS
5	SB-0306	3/8" X 3/4" SS BOLT KIT	-	-	1	-	-	0.04 LBS
6	SS182550H	HARDWARE KIT (ITEMS 8-13)	-	-	-	1	-	-
7	CSBLR6H	HARDWARE KIT (ITEMS 8-11, 14-15)	-	-	-	-	1	-
8	GB-04105	1/2" X 1" GALV BOLT KIT	-	-	-	-	1	0.11 LBS
9	GW-F-03	3/8" GALV FLAT WASHER	-	-	-	6	6	0.02 LBS
10	GW-L-03	3/8" GALV LOCK WASHER	-	-	-	4	4	0.09 LBS
11	GN-03	3/8" GALV HEX NUT	-	-	-	6	6	0.33 LBS
12	SS2550.01	STAR SUPPORT CLAMP	-	-	-	2	-	1.89 LBS
13	GD03950	3/8" X 9-1/2" GALV THREADED ROD	-	-	-	2	-	0.30 LBS
14	SS6080.01	STAR SUPPORT TEE BRACKET	-	-	-	-	2	2.51 LBS
15	TLSA6080.03	3/8" X 14" GALV THREADED ROD	-	-	-	-	2	0.44 LBS



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REV. 1	DATE 04/11/24
ACG	1 of 1
TP	NTS
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ASSEMBLY DRAWING	ORLAND PARK, IL 60462
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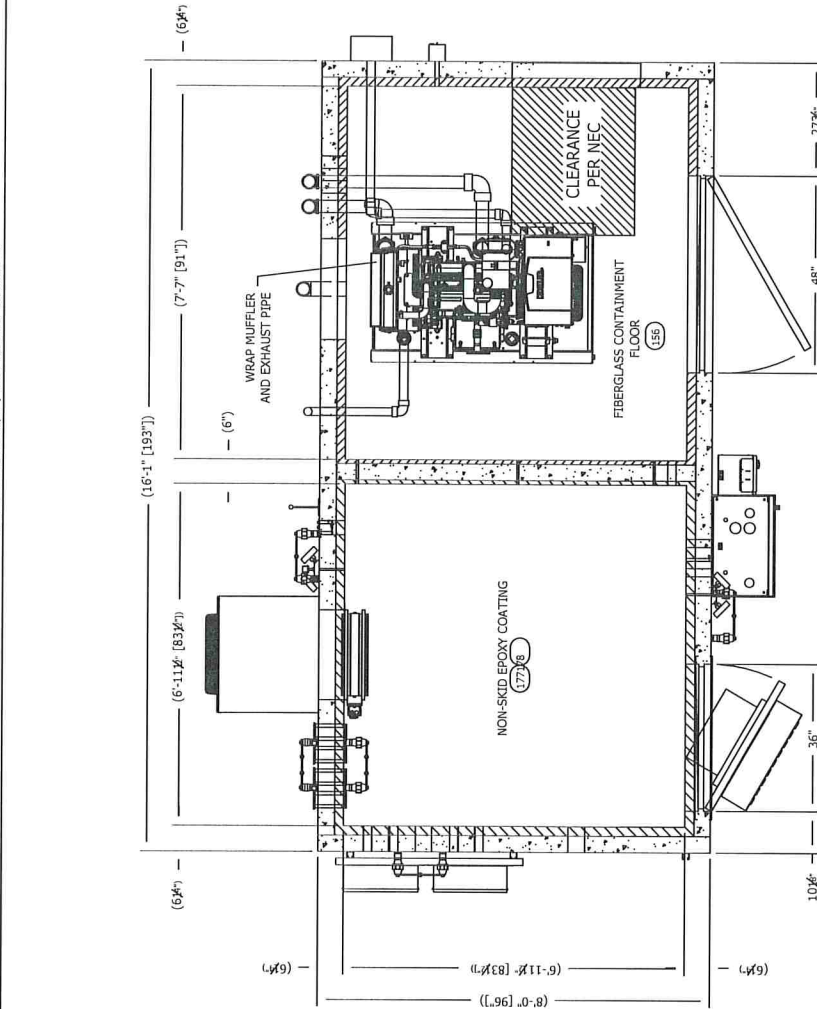
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COAX CABLE
SUPPORT
DETAILS

SHEET NUMBER
A7.2



FLOOR PLAN
128.67 SQ. FT. EXTERIOR BUILDING AREA
48.42 SQ. FT. EQUIPMENT BUILDING AREA
52.77 SQ. FT. GENERATOR BUILDING AREA

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CUSTOMER	
AT&T MOBILITY	
8' BAY x 16' 3" CONCRETE SHELTER FLOOR PLAN	
FILENAME: SATN74	TOLERANCE:
SCALE: 1/8" = 1'-0"	DATE: 5/6/20
DRAWN BY: D.DUMAS	DATE: 5/6/20
CHECKED BY: J. COQUETTE	DATE: 5/6/20
APP. BY: R. MAYBURN	DATE: 5/6/20
SHEET NO. 2-0	REV. C
DRAWING NO. SATN74	

SHELTER DETAILS



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SHEET TITLE
SHELTER SPECIFICATIONS

SHEET NUMBER
A8

SCALE: N.T.S.

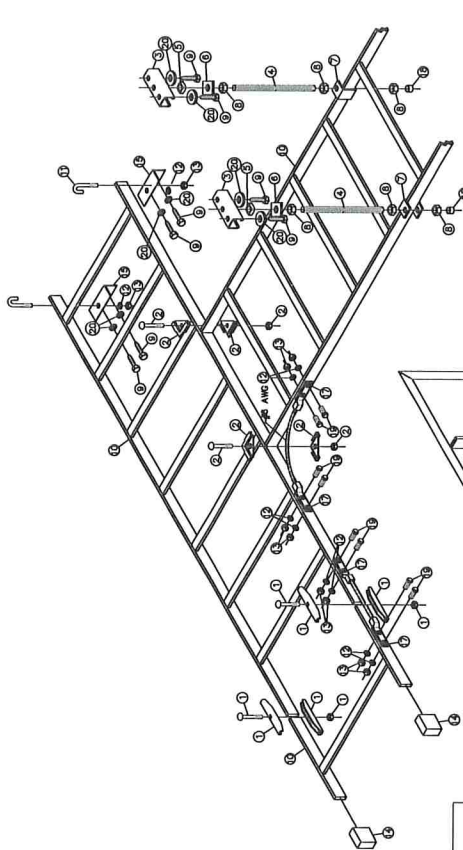
1

NOTES:

1. BOTTOM OF CABLE RACK TO BE MOUNTED 8'-0" A.F.F. UNLESS NOTED OTHERWISE
2. ALL DETAILS MAY NOT APPLY TO CABLE RACK LAYOUT
3. CABLE TRAY CORNER CLAMPS SHALL BE INSTALLED AS SHOWN. CORNER CLAMPS MAY BE MOVED TO OPPOSITE SIDE IF NEEDED DUE TO OBSTRUCTIONS
4. UNISTRUT MEASUREMENTS ARE ACCURATE WITHIN .12" WHEN MOVEMENT IS REQUIRED TO MISS TRIM, CABLE TRAY RUNGS, CONCRETE RISERS IN WRONG LOCATION, ETC. CONSIDERATION OF THE PREVIOUS UNISTRUT MOVEMENT SHOULD BE TAKEN INTO ACCOUNT
5. UNISTRUTS MAY HAVE THEIR MEASUREMENT VARIED BY 24" WITH NO MORE THAN 72" BETWEEN UNISTRUTS. PARAMETERS FOR MOVING THE UNISTRUT ARE AS FOLLOWS: LIGHTS, CONDUIT, ELECTRICAL BOXES, RACEWAYS AND VARIOUS EQUIPMENT MOUNTED ON CABLE RACK THAT ARE IN THE WAY. INCOMPATIBLE PRINT LAYOUTS ARE ALSO A PARAMETER FOR MOVEMENT
6. CABLE TRAY MAY BE MOVED .13" WHEN AND ONLY WHEN ITEMS ALREADY MOUNTED, SUCH AS CONDUIT, BOXES, LIGHTS, WIREWAY, ETC., INTERFERE WITH THE MEASUREMENT ON THE PRINT
7. WHEN THE UNISTRUT FOR THE CABLE TRAY IS NOT ON CONCRETE, A #12 WOOD SCREW CAN BE USED TO FASTEN THE UNISTRUT TO THE CEILING USING EVERY OTHER HOLE IN THE UNISTRUT. THE 4 1/2" UNISTRUT MUST BE ON CONCRETE AND MUST BE FASTENED WITH TAPCONS
8. THE POSITIONS FOR THE CABLE TRAY SPLICERS THAT ARE SHOWN ON THE PRINT ARE FOR ILLUSTRATION. THE BEST POSITION SHOULD BE DETERMINED WHEN LAYING OUT THE CABLE TRAY IN THE BUILDING TO GET THE OPTIMUM USE OF THE CABLE TRAY.

LISTED PART NUMBERS ARE AVAILABLE FROM PERFECT-VISION.COM/WWW.PERFECT-10.TV

Item number	Part name	9" rack	12" Rack	18" Rack	24" rack
1	Splice Clamp Bolt Nut	SC12	SC12	SC12	SC12
2	Corner Clamp Bolt	CC12	CC12	CC12	CC12
3	Unistrut	P1000T10PG	P1000T10PG	P1000T10PG	P1000T10PG
4	5/8" - 11 Threaded Rod	ALLTHREAD58X725S	ALLTHREAD58X725S	ALLTHREAD58X725S	ALLTHREAD58X725S
5	Square Nut - 5/8"	PV-SQUARE-58-HDG	PV-SQUARE-58-HDG	PV-SQUARE-58-HDG	PV-SQUARE-58-HDG
6	Square Washer	SHB12	SHB12	SHB12	SHB12
7	Bracket	Including in line 7	Including in line 7	Including in line 7	Including in line 7
8	Nut	N/A	100122Y	100182Y	100242Y
9	Tap Con	Including in line 15	Including in line 15	Including in line 15	Including in line 15
10	18" z/c "Standard"	Including in line 15	Including in line 15	Including in line 15	Including in line 15
11	J-Bolt	PV-STRINGERCAP-150-BLK-EA	PV-STRINGERCAP-150-BLK-EA	PV-STRINGERCAP-150-BLK-EA	PV-STRINGERCAP-150-BLK-EA
12	Lock Washer	N/A	N/A	N/A	N/A
13	Nut	62-25-1	62-25-1	62-25-1	62-25-1
14	End Caps	PV-CAP58-100	PV-CAP58-100	PV-CAP58-100	PV-CAP58-100
15	1 3/4" x 1 3/4" x 1/8" Angle	BOLT14X1-5S	BOLT14X1-5S	BOLT14X1-5S	BOLT14X1-5S
16	N/A	WC12K	WC12K	WC12K	WC12K
17	2-Hole Lug w/ # 6 Wire				
18	Plastic Protection Cap				
19	1/4" x 1" Bolt				
20	1/4" x 1" Fender Flat Washer				
21	Bracket, Wall Clip - 7/16" Hole				



TYPICAL MOUNTING FOR CABLE RACK

TYPICAL MOUNTING FOR CABLE RACK ON THE WALL

CABLE EOODER/METALLAYOUT



REV.	DATE	DESCRIPTION	INITIALS
2	04/11/24	PERMIT/CONSTRUCTION	CS
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0	02/29/24	PERMIT/CONSTRUCTION	CS
C	01/29/24	PRELIMINARY	CS

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SHEET TITLE
CABLE LADDER DETAILS

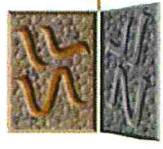
SHEET NUMBER
A9

SCALE
N.T.S.

04/11/24
44878-6
BARRINGTON
1. I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF WISCONSIN.

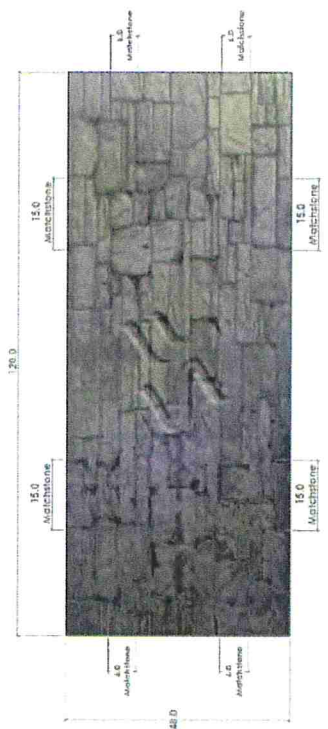
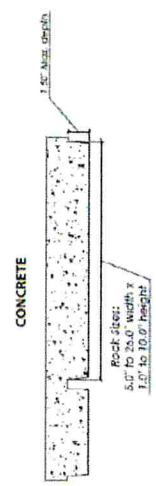
Pattern Number: **1548**
Chester Dry Stack
1-1/2" (38mm) mortar joint
5" to 26" width and 1" to 10" height rocks

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Impressive on Concrete



Pattern Number: **1548**
Chester Dry Stack
1-1/2" (38mm) mortar joint
5" to 26" width and 1" to 10" height rocks

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Property	HIPS	ABS
Tensile D638	3700	5300
Flexural D790	-	9300
Hardness D785	-	105
Material Weights - lbs/ft ²		
0.075 MIL	0.110 MIL	0.150 MIL
0.393	0.621	0.843
Thicknesses Available		
0.070, 0.090, 0.110, 0.145, 0.155, 0.180		

Property	ASTM	Rating
Shore A/D	D2240	40/50A
Tensile	D412	1900 psi
Elongation	D412	300%
Tear Strength	D2370	23 MPa
Material Weights - lbs/ft ²		
Varies by Pattern		
Maximum Thickness		
3/4" - Relief		

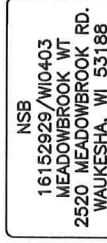
Property	ASTM	Rating
Shore A	D2240	55-65
Tensile	D412	1400 psi
Elongation	D412	600%
Tear Strength	D2370	200 psi
Material Weights - lbs/ft ²		
Varies by Pattern		
Maximum Thickness		
1-1/8" - Relief		

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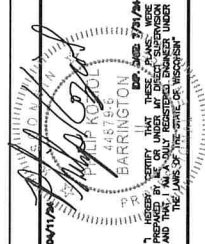


SCALE
N.T.S.

1

SHEET NUMBER
A12

SHEET TITLE
**CONSTRUCTION
DETAILS**

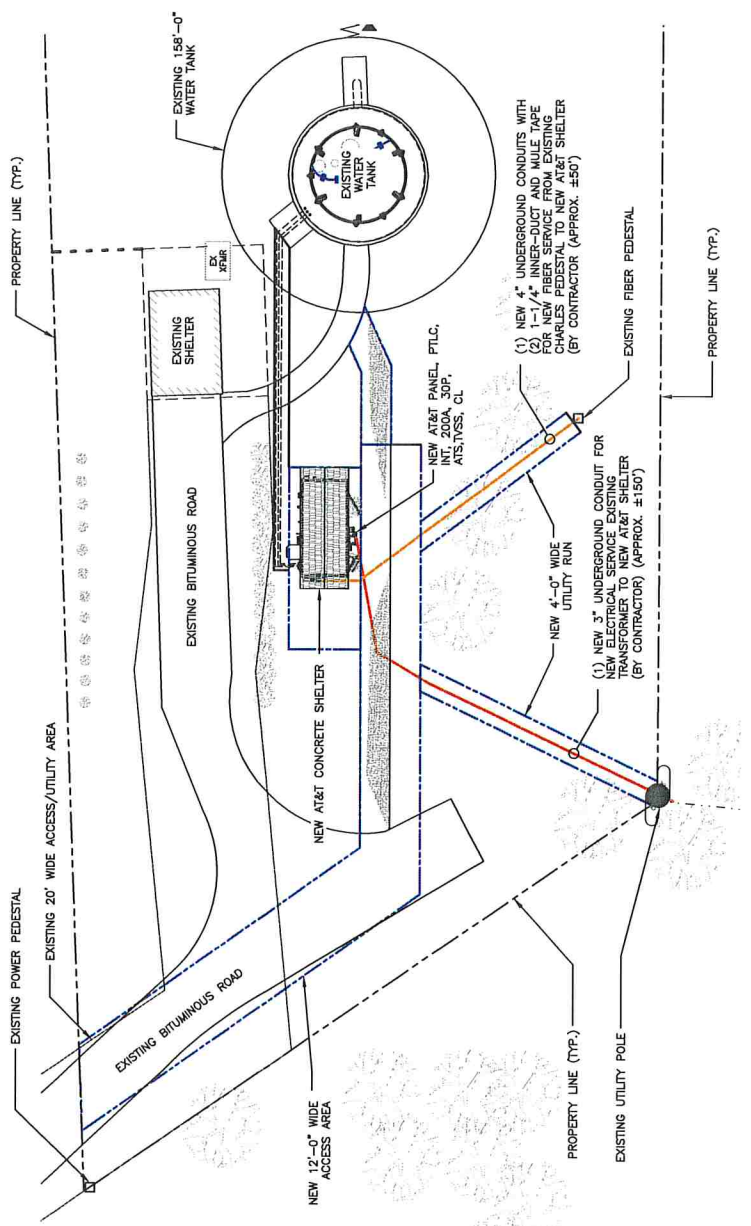


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NOTE:
IF HAND-POLES ARE REQUIRED, GENERAL CONTRACTOR TO VERIFY AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO INSTALLATION.

NOTE:
EXACT SOURCE AND ROUTING OF POWER AND FIBER TO BE DETERMINED UPON COORDINATION WITH POWER AND FIBER OWNERS. GENERAL CONTRACTOR TO OBTAIN A COPY OF THE UTILITY RECORDS AND COORDINATION WITH CONSTRUCTION MANAGER PRIOR TO INSTALLATION.

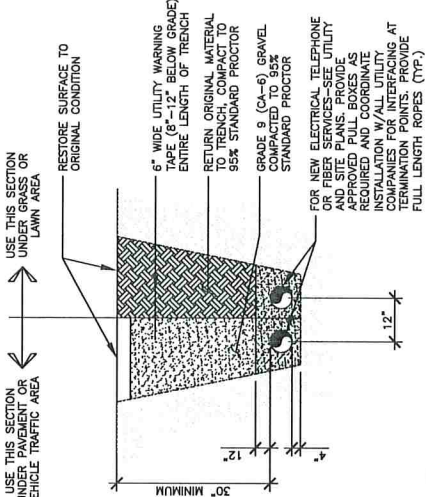


- EXISTING OVERHEAD POWER
- EXISTING UNDERGROUND POWER
- EXISTING OVERHEAD UTILITIES
- EXISTING UNDERGROUND UTILITIES
- NEW UNDERGROUND POWER
- NEW UNDERGROUND FIBER

- ALL UNDERGROUND CONDUITS SHALL BE SCH 40 P.C. EXCEPT THAT ELBOWS AND RISERS SHALL BE RMC. ALL UNDERGROUND ELBOWS SHALL BE SWEEPING BENDS. 2'-0" MINIMUM SHALL BE REQUIRED.
- ALL UNDERGROUND CONDUITS SHALL BE INSTALLED IN RIGID METAL CONDUIT (10'-0" TEN FEET IN LENGTH BEFORE ENTERING A SHELTER OR BUILDING PER AT&T STANDARD AT-TP-28416.
- TWO CONDUITS ARE SHOWN IN DETAIL 2. ALTHOUGH MULTIPLE CONDUITS CAN BE PLACED IN ONE MANHOLE, A MINIMUM SEPARATION IS REQUIRED PER THE LOCAL JURISDICTION. THE MINIMUM SEPARATION SHALL BE 12" BETWEEN CONDUITS. THE MINIMUM SEPARATION SHALL BE 12" BETWEEN CONDUITS. THE MINIMUM SEPARATION SHALL BE 12" BETWEEN CONDUITS.
- CONTRACTOR SHALL RESTORE THE TRENCH TO ITS ORIGINAL CONDITIONS BY EITHER REPAIRING OR REPLACING THE TRENCH TO ITS ORIGINAL CROSS SECTION. AREAS, OR REPLACING ASPHALT OR CONCRETE AREAS TO ITS ORIGINAL CROSS SECTION.
- TRENCHING SAFETY, INCLUDING, BUT NOT LIMITED TO SOIL CLASSIFICATION, SLOPING, AND SHORING, SHALL BE GOVERNED BY THE CURRENT OSHA TRENCHING AND EXCAVATION SAFETY STANDARDS.
- ALL UNDERGROUND CONDUITS SHALL BE INSTALLED IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE (NEC) OR AS REQUIRED BY THE LOCAL JURISDICTION.

LEGEND

SCALE: N.T.S. 2



CONDUIT SPACING SCHEDULE

CONDUIT #1	MINIMUM CONDUIT SEPARATION	CONDUIT #2
POWER	• = 6 INCHES	POWER
TELECOM	• = 12 INCHES	TELECOM
TELECOM	• = 6 INCHES	TELECOM

TRENCH DETAIL

SCALE: N.T.S. 1

UTILITY PLAN AND DETAILS

SHEET NUMBER

E1

DATE

04/11/24

BY

JOHN M. BANKS

ARCHITECT

16152929/WI0403

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2520 MEADOWBROOK RD.

WAUKESHA, WI 53188

NSB

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BARRINGTON, IL 60010

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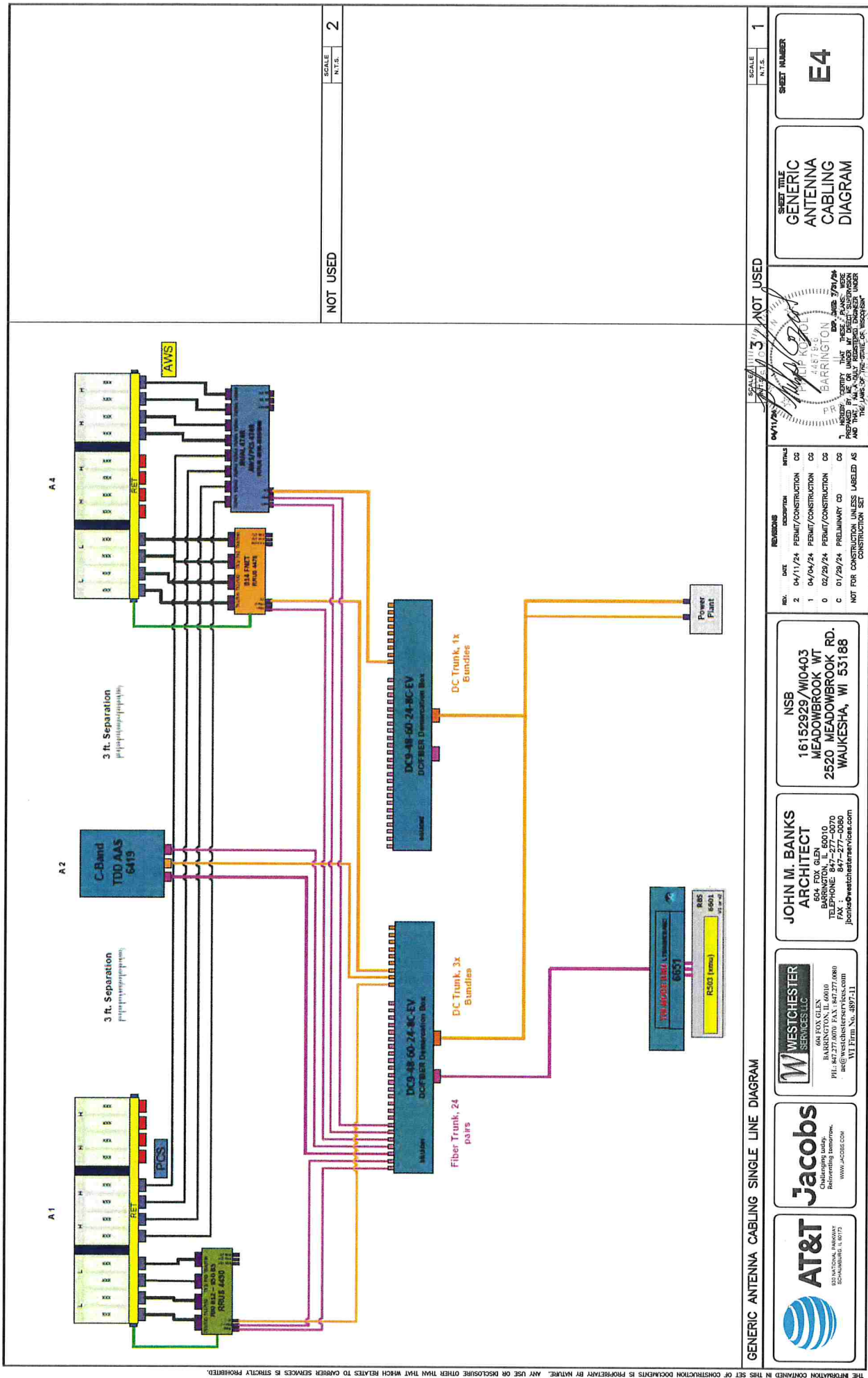
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SCALE: N.T.S.

SHEET NUMBER: 2

GENERIC ANTENNA CABLING SINGLE LINE DIAGRAM

SCALE: N.T.S.

SHEET NUMBER: 1

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CHECKED BY JACOBSON
APPROVED BY JACOBSON
DATE: 04/11/24

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DATE: 04/11/24



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SCHALMBURG, IL 60173

Mrs. C. J. [illegible]

PHILIP KOSKOL
44878-5
BARRINGTON

DPO-DIGR 3/01/94

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PHILIP KOSKOL
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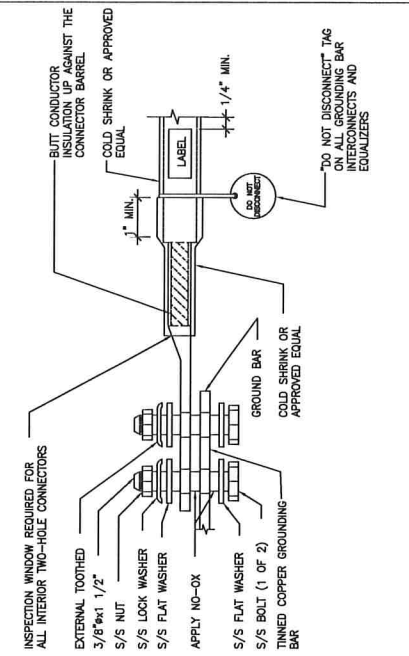
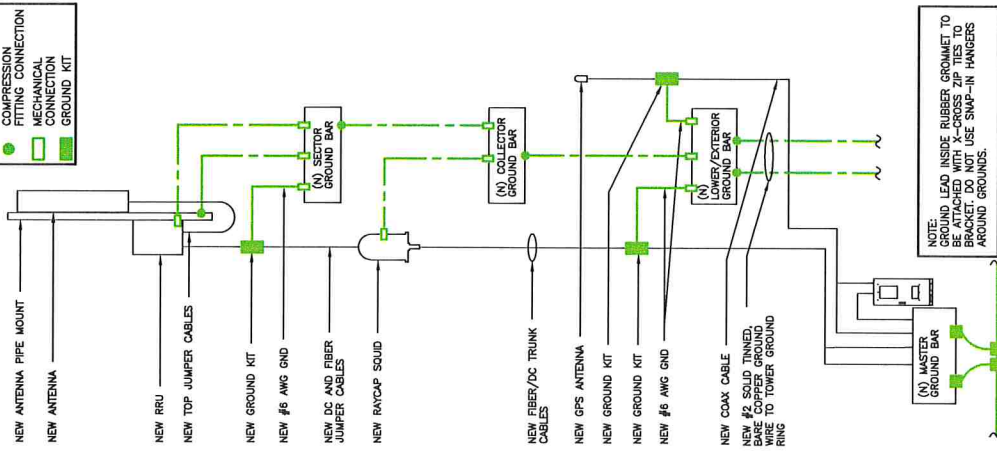
2. THE INSTALLER SHALL USE PERMANENT MARKER TO DRAW THE LIKE BETWEEN SECTION AND LABEL EACH SECTION ("D" "A" "B" WITH 1" HIGH LETTERS PARALLEL EXOTHERMIC WELD).

Diagram illustrating the antenna assembly components and dimensions:

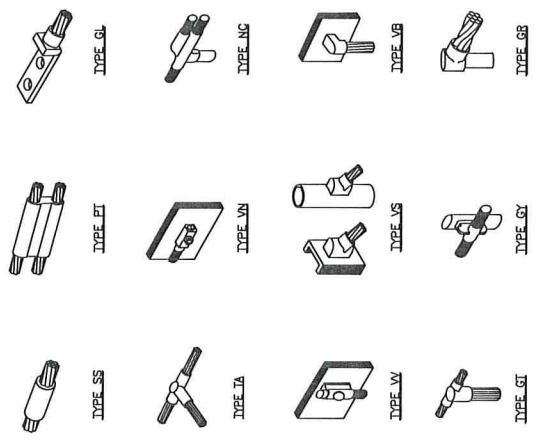
- Antenna Coax Cable
- Weatherproofing Kit (Only at Straight Coax Runs)
- Cable Ground Kit
- 6 AWG Stranded Copper Conductor with Green Insulation (Grounded to Ground Bar)
- Coax Jumper Cable
- Dimensions: 12" (top section), 2.275" (diameter of ground bar)

LEGEND

- EXOTHERMIC WELD
- COMPRESSION CONNECTION
- FITTING CONNECTION
- MECHANICAL CONNECTION
- GROUND KIT



EXTERIOR TWO HOLE LUG DETAIL



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BARRINGTON, IL 60010
PH: 847.277.0090 FAX: 847.277.0080
westchesterservices.com
WI PERM NO. 4897-11

JOHN M. BANKS
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TEL: 847-277-0090
FAX: 847-277-0080
johnm@westchesterservices.com

NSB
16152929/WI0403
MEADOWBROOK WT
2520 MEADOWBROOK RD.
WAUKESHA, WI 53188

REVISIONS

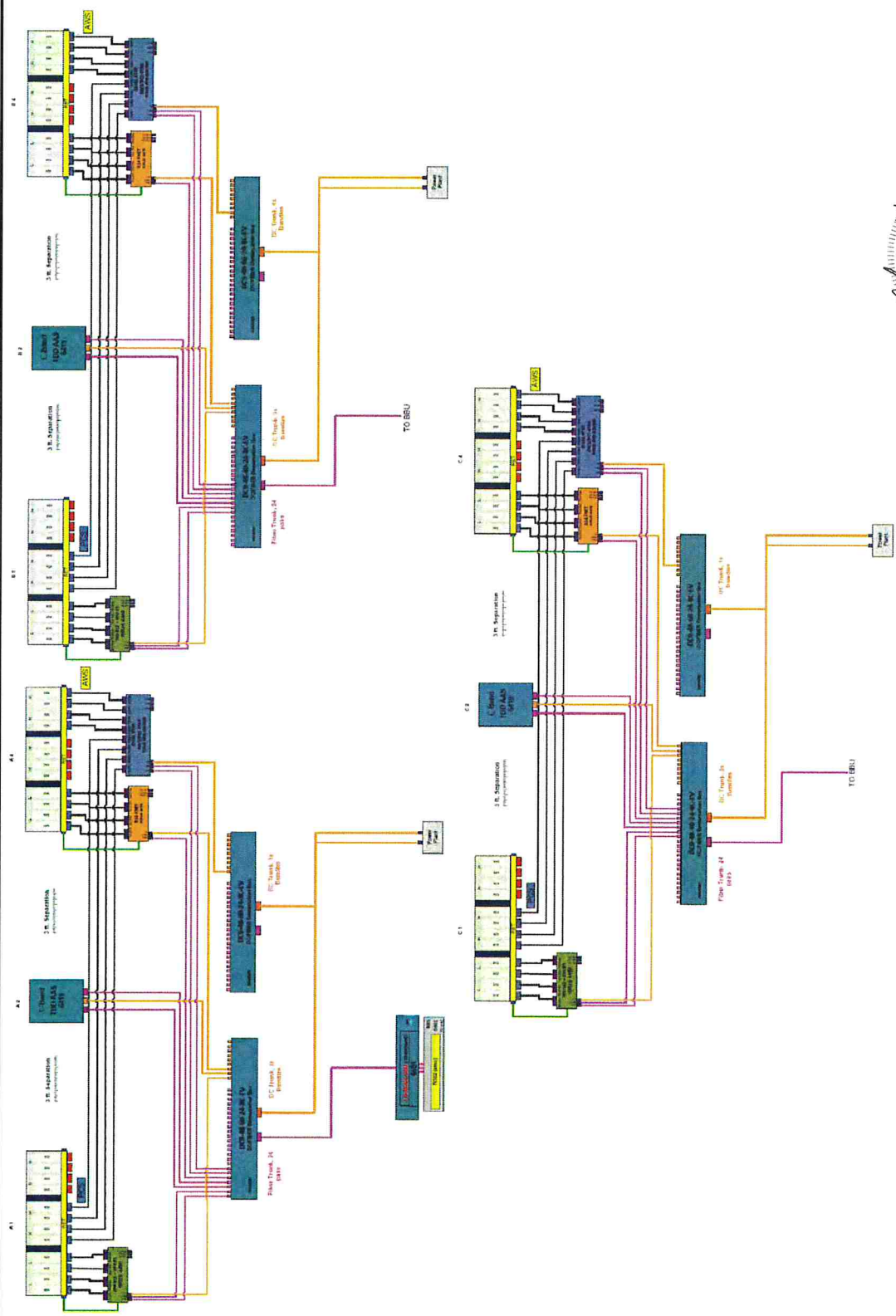
REV.	DATE	DESCRIPTION	INITIALS
2	04/11/24	PERMIT/CONSTRUCTION	CG
1	04/04/24	PERMIT/CONSTRUCTION	CG
0	02/29/24	PERMIT/CONSTRUCTION	CG
C	01/29/24	PRELIMINARY CD	CG
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EXOTHERMIC WELD DETAILS

SCALE: N.T.S.

1



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REV.	DATE	DESCRIPTION	INITIALS
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0	02/29/24	PERMIT/CONSTRUCTION	CG
C	01/29/24	PRELIMINARY	CG

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PHILIP K. BURT
44876-B
BARRINGTON, IL
Exp. June 30, 2024

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 04/11/24

SHEET TITLE
LEGEND AND DETAILS

SHEET NUMBER
RF


[illegible]




NOTICE

Beyond This Point you are entering a controlled area where RF emissions may exceed the FCC General Population Exposure Limits.


Follow all posted signs and site guidelines for working in a RF environment.



airtel



ALERTING SIGN
(FOR PROPANE)

	<p>ALERTING SIGN (FOR DIESEL FUEL)</p>
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The image shows the top portion of a document. On the left, the AT&T logo is visible, consisting of a globe icon and the text "at&t". To the right of the logo, the text "PROPERTY OF AT&T" is printed in a large, bold, sans-serif font. Below this, the words "AUTHORIZED" and "PERSONNEL ONLY" are printed in a similar font, stacked vertically. A thick black horizontal line runs across the top of the page, separating this header area from the main content area below.


WARNING!

DANGER DO NOT TOUCH TOWER

SERIOUS "RF BURN" HAZARD!
MAINTAIN AN ADEQUATE
CLEARANCE BETWEEN TOWER,
SUPPORTS AND C/U WIRES

WARNING: TO AVOID ALL POTENTIAL RISKS AND HAZARDS, ALL PERSONNEL MUST BE TRAINED AND CERTIFIED IN THE PROPER USE OF ALL EQUIPMENT AND TOOLS. FAILURE TO FOLLOW THESE INSTRUCTIONS COULD RESULT IN A FATALITY.

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 **at&t**

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ALERTING SIGN	<div style="border: 1px solid black; padding: 10px;"> <h2 style="text-align: center;">INFORMATION</h2> <p> 1. <u>128</u> <u>1</u> <u>2</u> <u>3</u> <u>4</u> <u>5</u> <u>6</u> <u>7</u> <u>8</u> <u>9</u> <u>10</u> <u>11</u> <u>12</u> <u>13</u> <u>14</u> <u>15</u> <u>16</u> <u>17</u> <u>18</u> <u>19</u> <u>20</u> <u>21</u> <u>22</u> <u>23</u> <u>24</u> <u>25</u> <u>26</u> <u>27</u> <u>28</u> <u>29</u> <u>30</u> <u>31</u> <u>32</u> <u>33</u> <u>34</u> <u>35</u> <u>36</u> <u>37</u> <u>38</u> <u>39</u> <u>40</u> <u>41</u> <u>42</u> <u>43</u> <u>44</u> <u>45</u> <u>46</u> <u>47</u> <u>48</u> <u>49</u> <u>50</u> <u>51</u> <u>52</u> <u>53</u> <u>54</u> <u>55</u> <u>56</u> <u>57</u> <u>58</u> <u>59</u> <u>60</u> <u>61</u> <u>62</u> <u>63</u> <u>64</u> <u>65</u> <u>66</u> <u>67</u> <u>68</u> <u>69</u> <u>70</u> <u>71</u> <u>72</u> <u>73</u> <u>74</u> <u>75</u> <u>76</u> <u>77</u> <u>78</u> <u>79</u> <u>80</u> <u>81</u> <u>82</u> <u>83</u> <u>84</u> <u>85</u> <u>86</u> <u>87</u> <u>88</u> <u>89</u> <u>90</u> <u>91</u> <u>92</u> <u>93</u> <u>94</u> <u>95</u> <u>96</u> <u>97</u> <u>98</u> <u>99</u> <u>100</u> </p> <p> Connect the <u>128</u> <u>1</u> <u>2</u> <u>3</u> <u>4</u> <u>5</u> <u>6</u> <u>7</u> <u>8</u> <u>9</u> <u>10</u> <u>11</u> <u>12</u> <u>13</u> <u>14</u> <u>15</u> <u>16</u> <u>17</u> <u>18</u> <u>19</u> <u>20</u> <u>21</u> <u>22</u> <u>23</u> <u>24</u> <u>25</u> <u>26</u> <u>27</u> <u>28</u> <u>29</u> <u>30</u> <u>31</u> <u>32</u> <u>33</u> <u>34</u> <u>35</u> <u>36</u> <u>37</u> <u>38</u> <u>39</u> <u>40</u> <u>41</u> <u>42</u> <u>43</u> <u>44</u> <u>45</u> <u>46</u> <u>47</u> <u>48</u> <u>49</u> <u>50</u> <u>51</u> <u>52</u> <u>53</u> <u>54</u> <u>55</u> <u>56</u> <u>57</u> <u>58</u> <u>59</u> <u>60</u> <u>61</u> <u>62</u> <u>63</u> <u>64</u> <u>65</u> <u>66</u> <u>67</u> <u>68</u> <u>69</u> <u>70</u> <u>71</u> <u>72</u> <u>73</u> <u>74</u> <u>75</u> <u>76</u> <u>77</u> <u>78</u> <u>79</u> <u>80</u> <u>81</u> <u>82</u> <u>83</u> <u>84</u> <u>85</u> <u>86</u> <u>87</u> <u>88</u> <u>89</u> <u>90</u> <u>91</u> <u>92</u> <u>93</u> <u>94</u> <u>95</u> <u>96</u> <u>97</u> <u>98</u> <u>99</u> <u>100</u> </p> <p> Connect <u>128</u> <u>1</u> <u>2</u> <u>3</u> <u>4</u> <u>5</u> <u>6</u> <u>7</u> <u>8</u> <u>9</u> <u>10</u> <u>11</u> <u>12</u> <u>13</u> <u>14</u> <u>15</u> <u>16</u> <u>17</u> <u>18</u> <u>19</u> <u>20</u> <u>21</u> <u>22</u> <u>23</u> <u>24</u> <u>25</u> <u>26</u> <u>27</u> <u>28</u> <u>29</u> <u>30</u> <u>31</u> <u>32</u> <u>33</u> <u>34</u> <u>35</u> <u>36</u> <u>37</u> <u>38</u> <u>39</u> <u>40</u> <u>41</u> <u>42</u> <u>43</u> <u>44</u> <u>45</u> <u>46</u> <u>47</u> <u>48</u> <u>49</u> <u>50</u> <u>51</u> <u>52</u> <u>53</u> <u>54</u> <u>55</u> <u>56</u> <u>57</u> <u>58</u> <u>59</u> <u>60</u> <u>61</u> <u>62</u> <u>63</u> <u>64</u> <u>65</u> <u>66</u> <u>67</u> <u>68</u> <u>69</u> <u>70</u> <u>71</u> <u>72</u> <u>73</u> <u>74</u> <u>75</u> <u>76</u> <u>77</u> <u>78</u> <u>79</u> <u>80</u> <u>81</u> <u>82</u> <u>83</u> <u>84</u> <u>85</u> <u>86</u> <u>87</u> <u>88</u> <u>89</u> <u>90</u> <u>91</u> <u>92</u> <u>93</u> <u>94</u> <u>95</u> <u>96</u> <u>97</u> <u>98</u> <u>99</u> <u>100</u> </p> <p> Show <u>128</u> <u>1</u> <u>2</u> <u>3</u> <u>4</u> <u>5</u> <u>6</u> <u>7</u> <u>8</u> <u>9</u> <u>10</u> <u>11</u> <u>12</u> <u>13</u> <u>14</u> <u>15</u> <u>16</u> <u>17</u> <u>18</u> <u>19</u> <u>20</u> <u>21</u> <u>22</u> <u>23</u> <u>24</u> <u>25</u> <u>26</u> <u>27</u> <u>28</u> <u>29</u> <u>30</u> <u>31</u> <u>32</u> <u>33</u> <u>34</u> <u>35</u> <u>36</u> <u>37</u> <u>38</u> <u>39</u> <u>40</u> <u>41</u> <u>42</u> <u>43</u> <u>44</u> <u>45</u> <u>46</u> <u>47</u> <u>48</u> <u>49</u> <u>50</u> <u>51</u> <u>52</u> <u>53</u> <u>54</u> <u>55</u> <u>56</u> <u>57</u> <u>58</u> <u>59</u> <u>60</u> <u>61</u> <u>62</u> <u>63</u> <u>64</u> <u>65</u> <u>66</u> <u>67</u> <u>68</u> <u>69</u> <u>70</u> <u>71</u> <u>72</u> <u>73</u> <u>74</u> <u>75</u> <u>76</u> <u>77</u> <u>78</u> <u>79</u> <u>80</u> <u>81</u> <u>82</u> <u>83</u> <u>84</u> <u>85</u> <u>86</u> <u>87</u> <u>88</u> <u>89</u> <u>90</u> <u>91</u> <u>92</u> <u>93</u> <u>94</u> <u>95</u> <u>96</u> <u>97</u> <u>98</u> <u>99</u> <u>100</u> </p> </div>
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INFORMATION

ACTIVE ANTENNAS ARE MOUNTED ON THE TURRET OF THIS RAILCAR.


☐ RAILING THIS PANEL.

☐ ON THE RAILCAR TOWER.

STAY BACK A MINIMUM OF 100 FEET FROM THESE ANTENNAS.

Caution: 120 V AC
 Do not touch or tamper with antennas or antenna feed lines. Use proper tie-off technique.

This is a 2500 watt antenna.



INFO. SIGN #2

[illegible][illegible]

SIGNAGE GUIDELINES CHART

[Handwritten signature]

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SERVICES LLC

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ae@westchesterservices.com
WI Firm No. 4897-11

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933 NATIONAL PARKWAY
SCHLAUMBURG, IL 60172

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ARCHITECT
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FAX: 847-277-0080
banks@westchestnestservices.com

REV.	DATE	REVISIONS	INITIALS
1	04/11/24	PERMIT/CONSTRUCTION	CC
2	04/04/24	PERMIT/CONSTRUCTION	CC
0	02/29/24	PERMIT/CONSTRUCTION	CC
0	01/29/24	PRELIMINARY CD	AS

NOT FOR CONSTRUCTION UNLESS LABELED AS SUCH BY THE ENGINEER

THIS PLAN AND ALL REVISIONS TO BE FORWARDED TO THE BARRINGTON TOWN ENGINEER FOR REVIEW AND APPROVAL

NO. 2025 3/26/24

PROFESSIONAL ENGINEER
BARRINGTON
MASSACHUSETTS
01930

04/11/24

Michael J. Goff

SHEET NUMBER

LEGEND AND DETAILS

SHEET TITLE

SIGNAGE

AT&T SITE ID: WI0403
AT&T FA# 16152929

EXHIBIT C
MEMORANDUM OF AGREEMENT
SEE ATTACHED

PREPARED BY AND
AFTER RECORDING RETURN TO:

Lisa Petersen
Jacobs
8998 105th Avenue
Pleasant Prairie, WI 53158

AT&T SITE ID: Cell Site #: WI0403 / Meadowbrook WT / Fixed Asset #: 16152929
Site Address: 2520 Meadowbrook Road, Waukesha County, Wisconsin
PIN: WAKC0984144

**MEMORANDUM
OF
LEASE**

This Memorandum of Agreement is entered into on this ____ day of _____, 2024, by and between City of Waukesha Water Utility ("**Utility**"), having a mailing address of Attn: General Manager, 115 Delafield Street, Waukesha, WI 53188-3615, and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 1025 Lenox Park Blvd NE 3rd Floor, Atlanta, GA 30319 ("**Lessee**").

1. Utility and Lessee entered into a certain Lease Agreement ("**Agreement**") on the ____ day of _____, 2024, for the purpose of installing, operating and maintaining a communication facility and other improvements. All of the foregoing is set forth in the Agreement.
2. The initial lease term will be five (5) years commencing on the Effective Date of the Agreement, with two (2) successive automatic five (5) year options to renew.
3. The portion of the Premises being leased to Lessee and associated easements are described in **Exhibit 1** annexed hereto.
4. This Memorandum of Agreement is not intended to amend or modify, and shall not be deemed or construed as amending or modifying, any of the terms, conditions or provisions of the Agreement, all of which are hereby ratified and affirmed. In the event of a conflict between the provisions of this Memorandum of Agreement and the provisions of the Agreement, the provisions of the Agreement shall control. The Agreement shall be binding upon and inure to the benefit of the parties and their respective heirs, successors, and assigns, subject to the provisions of the Agreement.

**[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]
[SIGNATURES APPEAR ON THE FOLLOWING PAGE]**

AT&T SITE ID: WI0403
AT&T FA# 16152929

IN WITNESS WHEREOF, the parties have executed this Memorandum of Agreement as of the day and year first above written.

Utility:

City of Waukesha Water Utility

By: _____
Daniel S. Duchniak

By: _____
Joseph J. Piatt

Its: General Manager

Its: Commission President

Date: _____

Date: _____

By: _____
Joan Francoeur

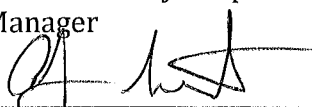
Its: Commission Secretary

Date: _____

Lessee:

New Cingular Wireless PCS, LLC
a Delaware limited liability company

By: AT&T Mobility Corporation
Its: Manager

By: 
Andrew Notestine

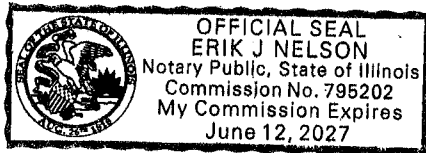
Its: Sr. Real Estate & Construction Manager

Date: 4/19/24

LESSEE ACKNOWLEDGMENT

STATE OF ILLINOIS)
) ss:
COUNTY OF COOK)

On the 19th day of April, 2024, before me personally appeared Andrew Notestine, and acknowledged under oath that he is the Sr. Real Estate and Construction Manager of AT&T Mobility Corporation, the Manager of New Cingular Wireless PCS, LLC, the Lessee named in the attached instrument, and as such was authorized to execute this instrument on behalf of the Lessee.



Erik J. Nelson
Notary Public: ERIK J NELSON
My Commission Expires: June 12, 2027

UTILITY ACKNOWLEDGMENT

STATE OF _____)
) ss:
COUNTY OF _____)

On the ____ day of _____, 2024 before me, personally appeared _____, who acknowledged under oath, that he/she is the person/officer named in the within instrument, and that he/she executed the same in his/her stated capacity as the voluntary act and deed of the Utility for the purposes therein contained.

Notary Public: _____
My Commission Expires: _____

STATE OF _____)
) ss:
COUNTY OF _____)

On the ____ day of _____, 2024 before me, personally appeared _____, who acknowledged under oath, that he/she is the person/officer named in the within instrument, and that he/she executed the same in his/her stated capacity as the voluntary act and deed of the Utility for the purposes therein contained.

Notary Public: _____
My Commission Expires: _____

STATE OF _____)
) ss:
COUNTY OF _____)

On the ____ day of _____, 2024 before me, personally appeared _____, who acknowledged under oath, that he/she is the person/officer named in the within instrument, and that he/she executed the same in his/her stated capacity as the voluntary act and deed of the Utility for the purposes therein contained.

Notary Public: _____
My Commission Expires: _____

EXHIBIT 1
DESCRIPTION OF PREMISES

Page 1 of 1

to the Memorandum of Agreement dated _____, 2024, by and between City of Waukesha Water Utility, as Utility, and New Cingular Wireless PCS, LLC, a Delaware limited liability company, as Lessee.

The Premises are described and/or depicted as follows:

Lot 44 Meadowbrook Heights South, a Replat of Outlot 1, Block 2 of University Heights, also being a Subdivision of part of the NE 1/4 and NW 1/4 of the SE 1/4 and part of the SE 1/4 of the NE 1/4 of Section 30, Town 7 North, Range 19 East, in the City of Waukesha, County of Waukesha, State of Wisconsin.