



LANDMARKS COMMISSION APPLICATION

Monthly meeting is scheduled the first Wednesday of every month.

Application Deadline is 4:30 p.m. 12 days prior to the meeting date.

Date Received: 7-26-16

Amount Paid: \$30- Rec'd. By: ma

I am applying for a:

- ☒ Certificate of Appropriateness (COA) - **\$15.00 application fee required.**
☐ Landmarks Paint & Repair Grant (LCP & R) - **\$15.00 application fee required.**
☒ Both - \$30.00

A. General Information:

Name: ANGELA EMREY Occupation: MARKETING DIRECTOR
Phone-Home: 262.751.5029 Phone-Work: _____
Mailing Address: 1233 E. BROADWAY WAUKESHA, WI 53186 (as of 7/29/16)
Spouse's Name: TOM EMREY Occupation: SALES
Phone-Work: 262.661.6611

B. Income Level Information: (Required only for those applying for a LCP & R Grant)

Based on the following chart, CHECK ONE OF THE BOXES BELOW to INDICATE WHETHER YOUR FAMILY INCOME IS ABOVE OR BELOW THE GUIDELINE amount for your household:

No. in Family	Income Level (Up to:)	No. in Family	Income Level (Up to:)
1.....	\$37,650	5.....	\$58,050
2.....	\$43,000	6.....	\$62,350
3.....	\$48,400	7.....	\$66,650
4.....	\$53,750	8.....	\$70,950
<input checked="" type="checkbox"/> Income is Above Guidelines		<input type="checkbox"/> Income is Below Guidelines	

C. Architectural Information on Property:

Historic Name of Building: 1233 E BROADWAY Construction Date/Era: 1919
Historic Property Address: 1233 E BROADWAY Architectural Style: _____

Brief Historic Background: _____

Have there been any alterations or repairs? ____ Yes ☒ No *Not since we've began ownership.

If yes, describe alterations/repairs: Previous owners remodeled kitchen
& finished 3rd floor attic space.

D. Nature of Intended Repair(s)/Proposed Work:

Briefly and accurately describe type and location of proposed work on primary building, carriage house, outbuildings (i.e.: garage), fences (including retaining walls), paved surfaces and landscaping. Attach extra sheets and supplemental material as requested in the criteria checklist found in Section E. Be sure to reference the attached Exhibit A, which summarizes the guidelines from the Secretary of Interior's Standards for Historic Preservation Projects. Your narrative must address any of the following elements related to your project:

ROOF

Repair or replacement? _____

Soffits/Fascia/Downspouts see attached

Eaves, Gutters see attached

Shingle type/style/color _____

SIDING

Repair or replacement? see attached

Paint Colors, Materials see attached

Shingling/Ornamentation/Stickwork _____

OTHER EXTERIOR REPAIRS

Awnings _____

Brickwork/Stonework _____

Cresting _____

Doors _____

PORCH

Repair or replacement? see attached

Front or Side, Rear _____

Ornamentation _____

Finials, Other _____

CHIMNEY

Repair/replacement? _____

Flashing _____

Tuckpointing _____

WINDOWS

Repair/replacement? see attached

Materials, Other _____

FOUNDATION

Extent of repair _____

Tuckpointing _____

Other _____

MISCELLANEOUS

Landscaping see attached

Fences _____

Paving/Brick Pavers _____

Estimated start date: 8/8/14

Estimated completion date: 11/2014

I/We intend/have already applied for the state's preservation tax credits: ☒ Yes ☐ No

Status: Application submitted

Has owner done any previous restoration/repair work on this property? ☒ No ☐ Yes

If yes, what has been done? _____

Are any further repairs or alterations planned for this building for the future? ☒ No ☐ Yes

If yes, please describe: Not at this time.

E. Criteria Checklist (REQUIRED, please read carefully):

For ALL PROJECTS

- ☒ Photographs of affected areas and existing conditions from all sides
- ☐ Historic plans, elevations or photographs (if available)
- ☐ Material and design specifications, including samples and/or product brochures/literature when appropriate

For ALL NEW CONSTRUCTION/ADDITIONS/EXTERIOR ALTERATIONS/FENCING & LANDSCAPING

- ☐ Site and/or elevation plan – to scale (required for all new construction or proposed additions)

For EXTERIOR PAINT WORK

- ☐ Color samples (including brand of paint and product ID number) and placement on the structure

REQUIRED FOR ALL LCP & R APPLICATIONS

Provide a detailed cost estimate for these repair(s), based on the number of gallons of paint, the amount of lumber, or the number of panes of glass, etc. Be certain to separate material costs from labor. Include a written estimate(s) if available:

see attached.

I have read and answered the above to the best of my knowledge, and the information I have supplied is accurate to the best of my knowledge. I agree to supply any relevant documentation that is required for the proper review of this application. If I am applying for a LCP & R, I also agree to do the intended paint and/or repair work, as outlined and proposed above, exactly as described, or I agree to return the entire amount of the grant. I understand that I, or my assistants, must finish the proposed project within one hundred twenty (120) days of the payment of the grant. Compensation for the paint/materials, acquired solely for the repairs specified above, will be paid promptly upon the receipt of the properly written billing, or in a manner to be agreed upon between the owner/renter and the landmarks Commission or its authorized representative(s). Once the proposed paint/repair project has been approved, no changes or alterations in design or color scheme are allowed without the express written approval of the Landmarks Commission or its authorized representative(s). Failure to comply with the above is sufficient cause for the grant recipient to be required to immediately repay the entire grant amount. Any and all disputes which may arise under this agreement, or its interpretation, concerning eligibility, approval, procedures or forfeitures, shall be presented in writing to the Landmarks Commission, by the applicant, within ten (10) days of the dispute. The Landmarks Commission will then make a decision, and notify the applicant of its decision in writing, within ten (10) days of receipt of the letter detailing the nature of the dispute. These decisions will be final and binding.

Signed: Angela Ramsey Date: 7/20/2014

Office use only:

Received by: _____

Inspected/Photographed By _____

COA Approved: ☐ Yes ☐ No

Authorized By _____

Moved: _____

Seconded: _____

Vote: _____

Comments: _____

 _____LCP & R Approved: ☐ Yes ☐ No

Authorized By _____

Moved: _____

Seconded: _____

Vote: _____

Comments: _____

1233 E Broadway Proposed Projects

Owners: Tom & Angie Emrey

July 26, 2016

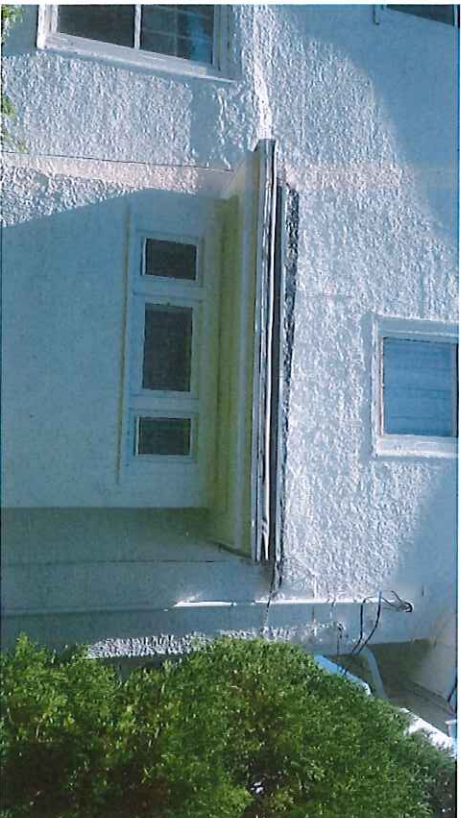
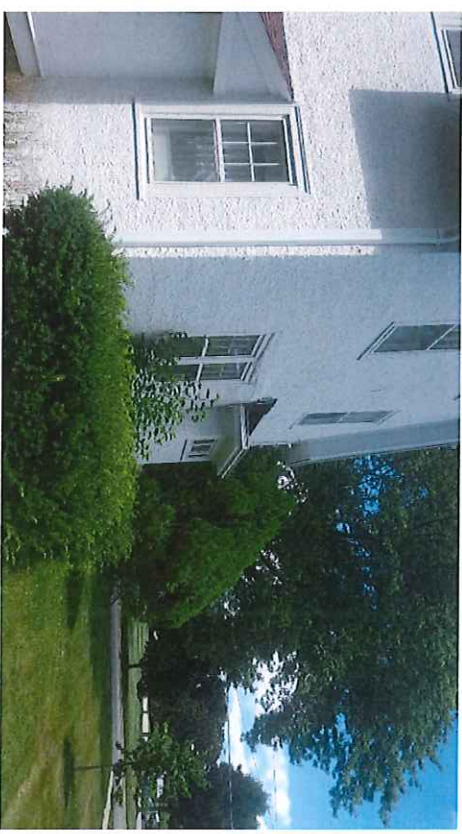
Roof: Repair/Correction

Currently there is a building projection on the east elevation with has a flat roof that has water penetration issues and has undermined and damaged the plaster in the area. It appears the previous owners attempted to address the matter, but it has not been properly corrected (see picture on left below).

There is another building projection on the south elevation and has a roof structure that properly addresses the diversion of water. We request your consideration to be allowed to apply the same roof structure design solution to the east elevation that is now at the south elevation (see picture on right below).



Additional Pictures



Soffits/Fascia

There are many fascia and soffit wood trim pieces that have rotten due to the rain and snow (see pictures at right). Apparently with the placement of new gutters and downspouts the diversion of rain and snow has been mostly corrected, but the previous damaged wood pieces now need to be replaced. We request your consideration to remove and replace the wood trim pieces with similar profile wood trim pieces.



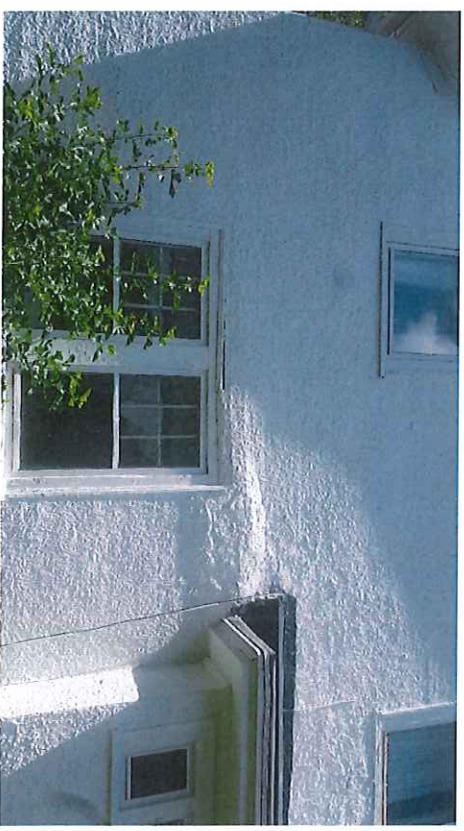
Downspouts

The front elevation has a gable roof over the door and an “eyebrow” roof above the windows. Currently there are no gutters and downspouts and the water has damaged the plaster along the base of the stairs/stoop and building. This is also a concern with water seeping into the basement. Similar conditions exist at the west sunroom roof line. We request your consideration to allow for gutters and downspouts to be installed at this location.



Siding

Due to the improper fix to the east building projection water has undermined and damaged the existing plaster. It appears there have been attempts to repair the plaster with a top coat, but to properly correct the undermined/damage plaster, it would need to be cut out and replaced. With the plaster replaced the building would need to be paint to cover the new plastered areas. We request your consideration to allow for the replacement of the undermined/damage plaster and the painting of the building, color selection have yet to be determined. (see pics).



Porch

Due to the roof rain run-off and improper drainage, the stoop and stairs have uneven heaving and settling and has cause a safety hazard at the step. The stoop and stair will need to be mudjacked to achieve proper grade and placement. Once that is done the plaster at the stairs around this area will need to be replaced. We request your consideration to all for the correction to the stoop and stairs and the replacement of the damage plaster.



Windows

Many of the existing combination screen and storm windows are missing and/or in disrepair and need to be placed and replaced. We request your consideration to replace all the combination screens and storm so they are all have the consistent look.



Garage

The existing structure in its current condition is unusable as a single stall garage and two stall garage is needed. The garage has structural issues. The previous owner pushed the south and east wall off the foundation when parking the car in the garage resulting in foundation wall and plaster damage. Additionally there is deteriorating plaster, rotted framing and sheathing, and it is in need of a new garage door and possibly a new roof. Even if these repairs were made the garage size is obsolete and is merely as storage shed and not a practical size garage. It may accommodate one standard size car but would not allow for the storage of lawn tracker, snowblower, outdoor grille and other yard equipment. We request your consideration for the razing or removal of the existing one stall garage.



Additional Garage Pictures



Additional Garage Pictures



Repair Plan - 1233 E Broadway					
Issue	Repair Plan	Materials	Labor Cost	Materials Cost	Total Cost
Roof Structure	Provide roof structure at East building projection to be similar with South building projection	Wood framing, shingle so match existing, paint to match existing	\$850.00	\$450.00	\$1,300.00
Soffit & Fascia	Remove and replace rotted wood trim pieces at the soffits and fascia and window trim pieces	Wood trim pieces, paint and some plaster repair	\$2,100.00	\$900.00	\$3,000.00
Downspouts	Add gutters and downspouts at the north elevation at roof entry and and "eyebrow" over the window and at lower sunroom roof elements	Gutters and downspouts			
Siding	Remove and replace damaged plaster at the east elevation, the stoop area and along the north elevation at grade	Plaster, paint	\$500.00	\$300.00	\$800.00
Porch Stoop/Stairs	Mudjack stoop to maintain proper pitch away from the building, mudjack stairs to match stoop elevation	Mudjacking service	\$3,500.00	\$1,700.00	\$5,200.00
Windows	Replace broken glass panes and remove and replace combination screens and storms	Combination screens and storms, glass	\$1,000.00	\$0.00	\$1,000.00
Garage	Raze existing garage structure due the many defects (south and east wall off the foundation and the foundation has severe cracks, deteriorating plaster, rotten fascia soffit and walls) and obsolete garage design, size not able to accommodate current garage storage needs	Raze the existing garag structure, footing, foundation and slab \$15,000. Build an architecturally compatible garage structure at a later date (cost unknown at this date.	\$3,800.00	\$4,800.00	\$8,600.00
			\$15,000.00	\$0.00	\$15,000.00
Total Costs			\$26,750.00	\$8,150.00	\$34,900.00

