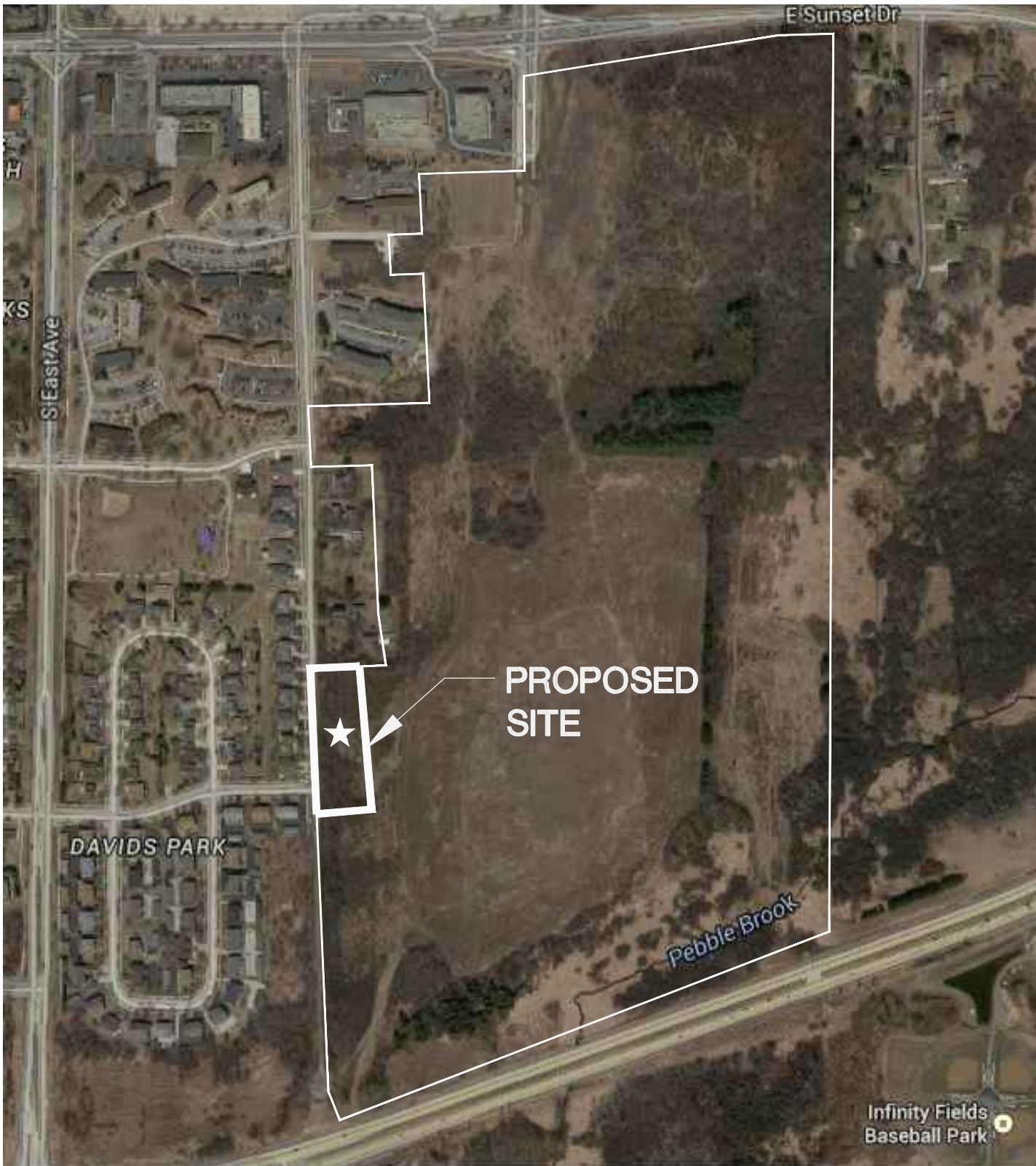


GENERAL NOTES

1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
  - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
  - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
  - WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
  - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
  - CITY OF WAUKESHA STANDARDS & REQUIREMENTS FOR DEVELOPMENT, LATEST EDITION.
2. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
3. EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
4. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY
6. EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
7. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
8. ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
9. ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
10. ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
11. THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY.



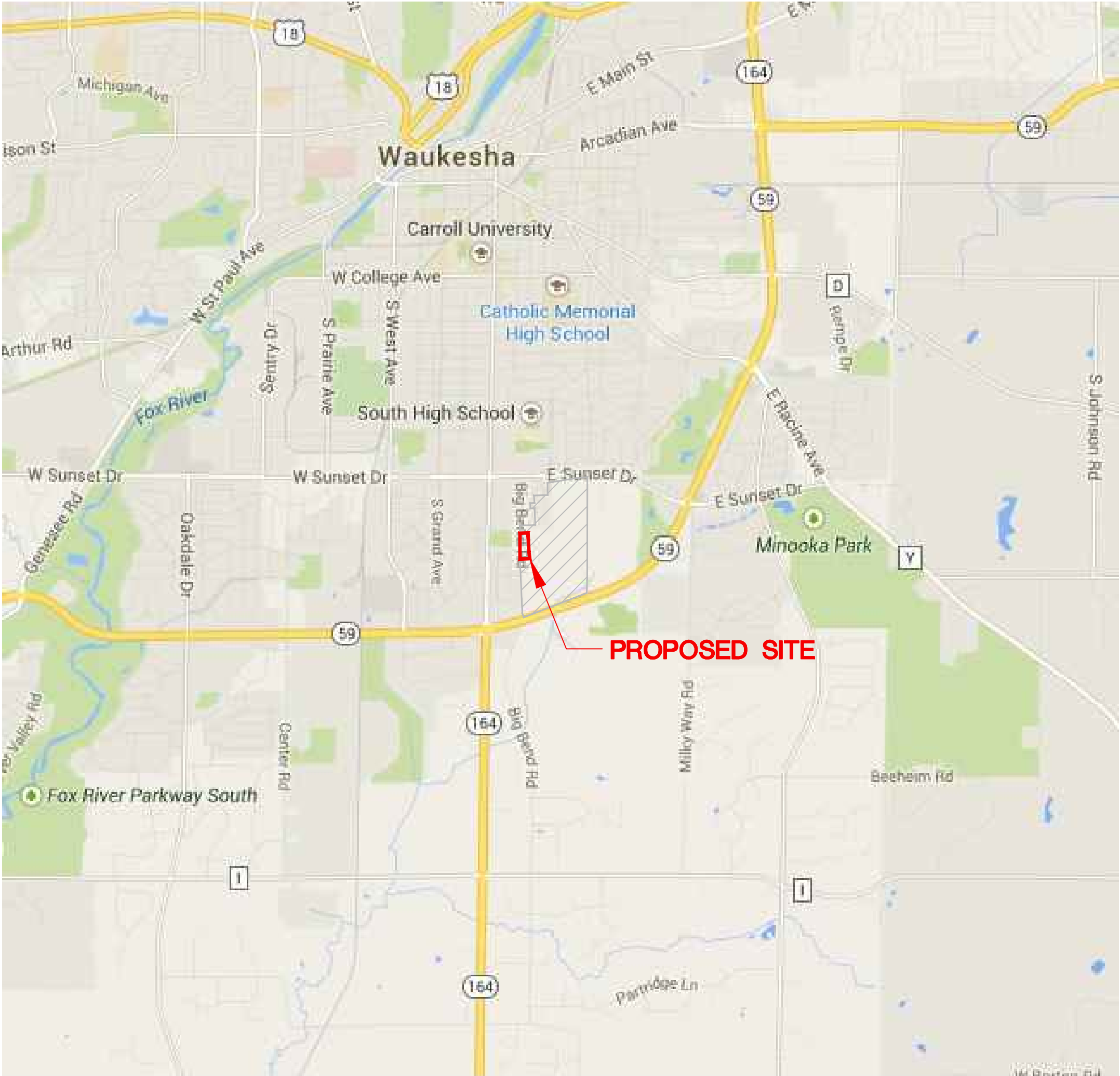
SITE AERIAL MAP  
NOT TO SCALE

# SMART REALTY COMPANY

## PROPOSED SITE DEVELOPMENT PLANS

### 5 SINGLE FAMILY LOTS BIG BEND ROAD

#### CITY OF WAUKESHA, WISCONSIN



SITE LOCATION MAP  
NOT TO SCALE

SHEET INDEX

CIVIL	
T1	COVER SHEET
C1.0	EXISTING SITE PLAN
C1.1	PROPOSED SITE PLAN
C1.2	SITE DEVELOPMENT PLAN



12660 W. NORTH AVE.  
BROOKFIELD, WI 53005  
PHONE: (262) 790-1480  
FAX: (262) 790-1481  
EMAIL: jpudelko@trioeng.com

**PROJECT:**  
**BIG BEND RD**  
**SMART PROPERTY**  
**CITY OF WAUKESHA, WISCONSIN**  
**BY: SMART REALTY COMPANY**  
**137 WISCONSIN AVE.**  
**WAUKESHA, WI 53186**

REVISION HISTORY

DATE	DESCRIPTION

DATE:

JULY 8, 2016

JOB NUMBER:

12011

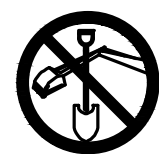
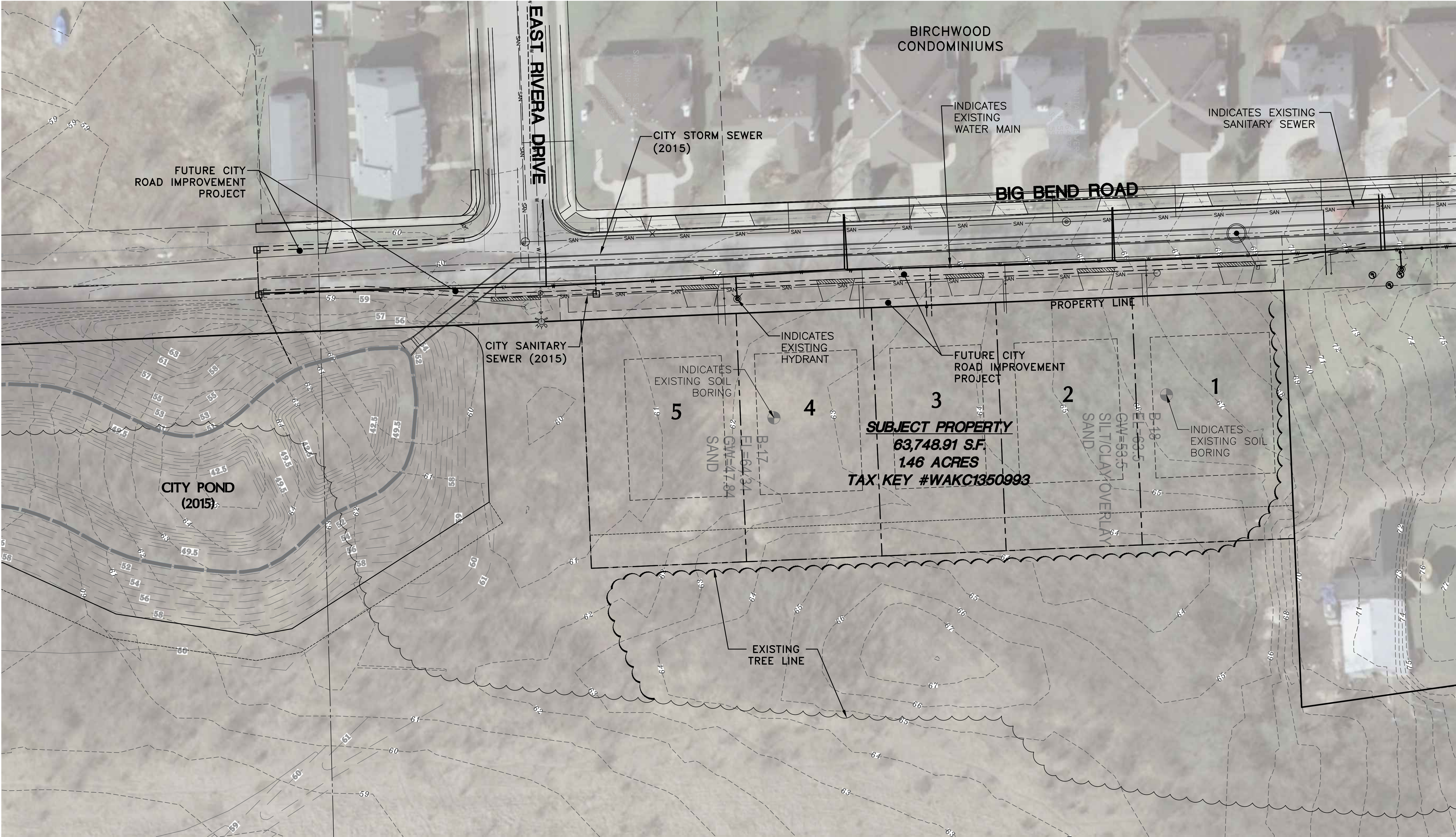
DESCRIPTION:

COVER  
SHEET

SHEET

T1





CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.  
**CALL DIGGERS HOTLINE 1-800-242-8511**

**NOTE:**  
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



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**REVISION HISTORY**

DATE	DESCRIPTION

**DATE:**

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**JOB NUMBER:**

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**DESCRIPTION:**

**EXISTING  
SITE PLAN**

**SHEET**

**C1.0**





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BIG BEND RD  
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BY: SMART REALTY COMPANY  
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**PROJECT:**

**BIG BEND RD**

## SMART PROPERTY

**CITY OF WAUKESHA, WISCONSIN**  
**BY: SMART REALTY COMPANY**

**137 WISCONSIN AVE.  
WAUKESHA, WI 53186**

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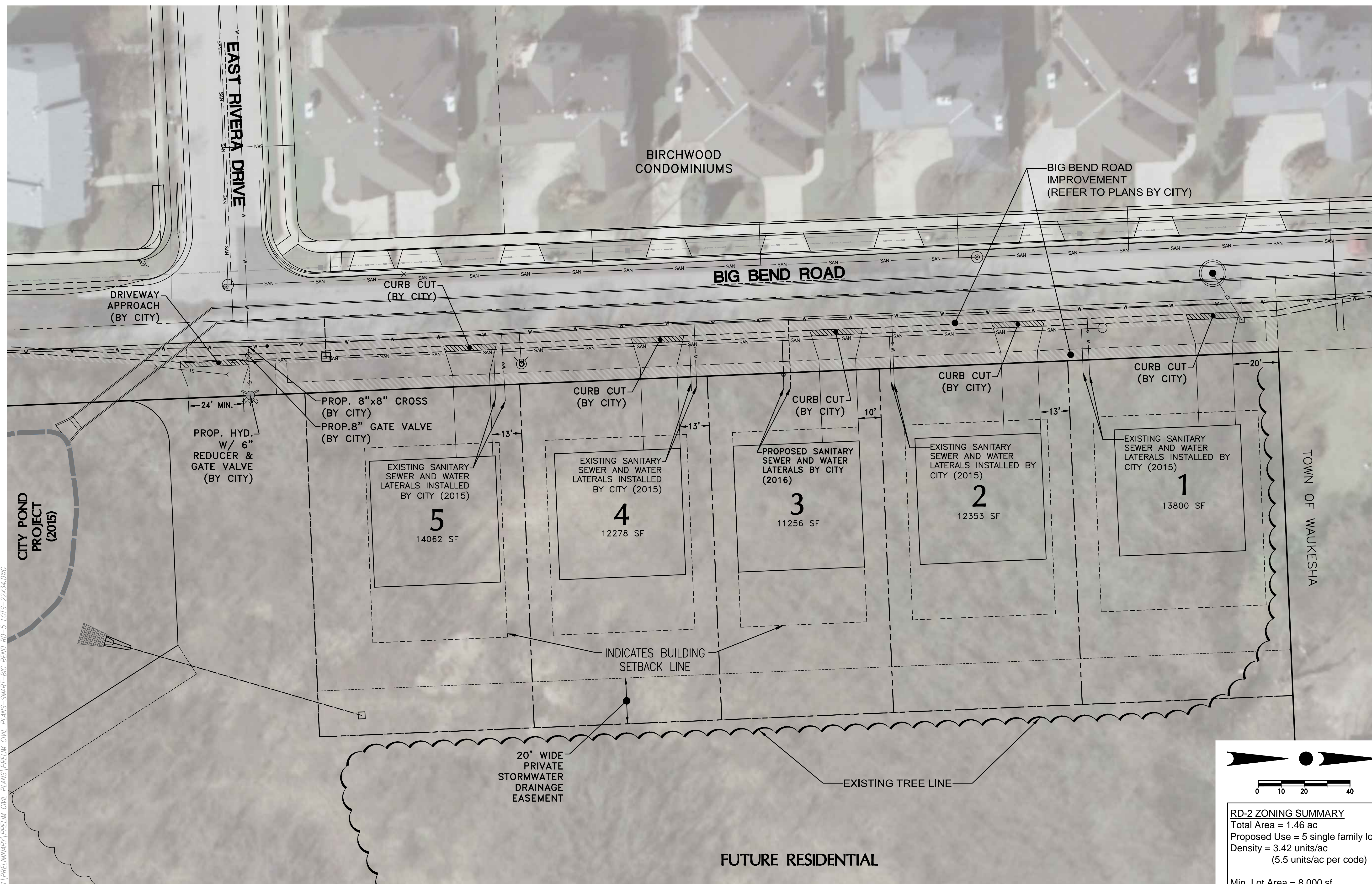
**JOB NUMBER:**  
**12011**

**DESCRIPTION:**

## PROPOSED SITE PLAN

**SHEET**

## C1.1



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RD-2 ZONING SUMMARY

Total Area = 1.46 ac

Proposed Use = 5 single family lots  
Density = 3.42 units/ac  
(5.5 units/ac per code)

Min. Lot Area = 8,000 sf

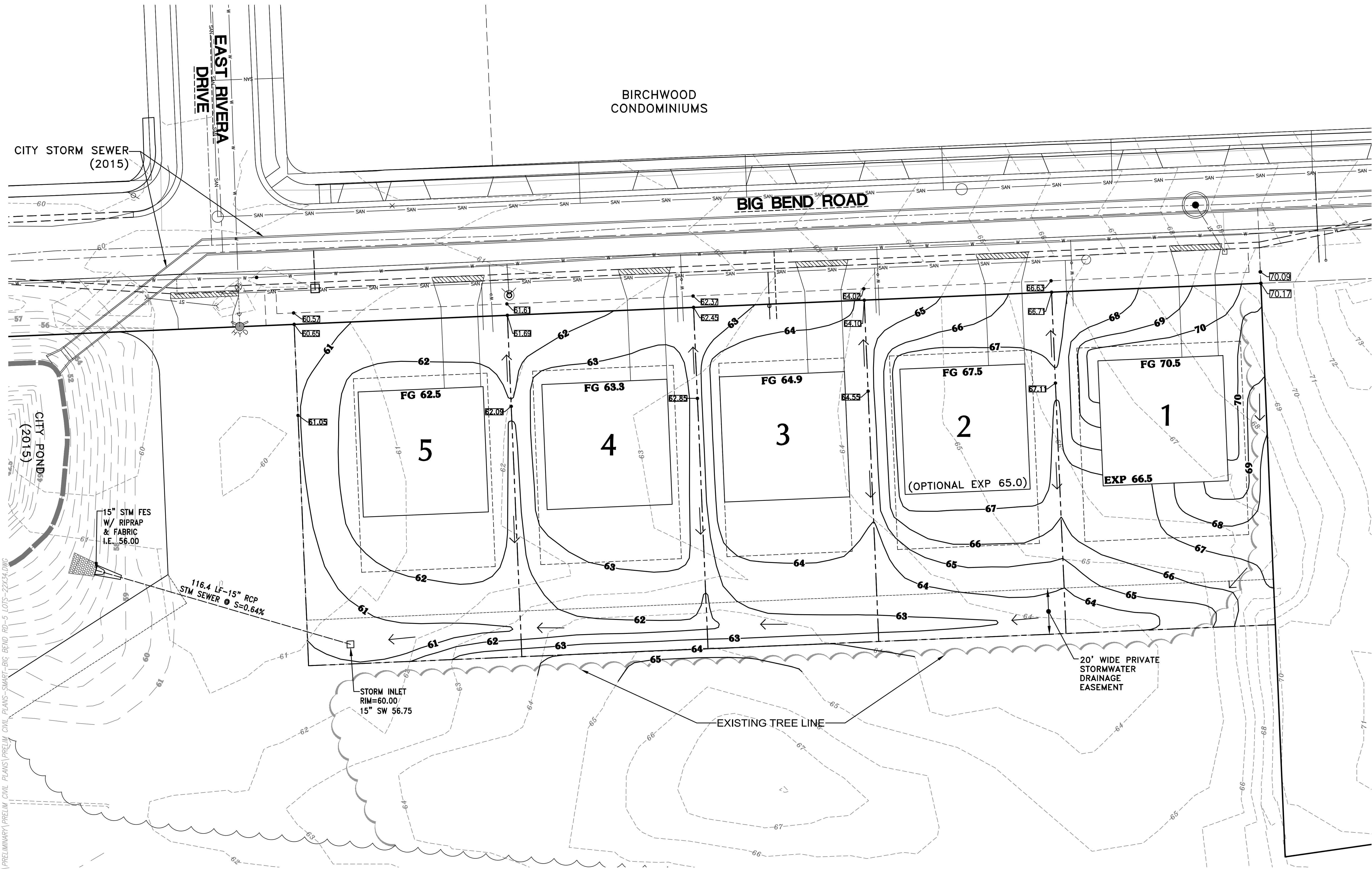
Min. Lot Width = 70' (80' corner)

Street Setback = 25'

Side Yard Setback = 10'

Rear Yard Setback = 40



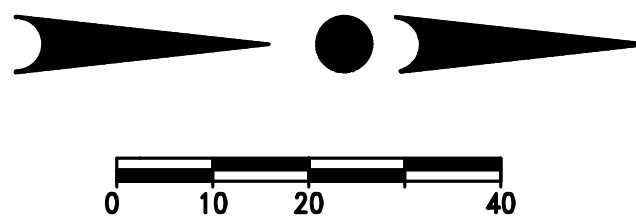


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REVISION HISTORY	
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**DATE:**  
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12011

**DESCRIPTION:**  
SITE  
DEVELOPMENT  
PLAN

**SHEET**

**C1.2**