

Storm Water Management Practice Maintenance Agreement

Kwik Trip, Inc. as “Owner” of the property described below, in accordance with Chapter 32 City of Waukesha Storm Water Management and Erosion Control, agrees to install and maintain storm water management practice(s) on the subject property in accordance with approved plans and Storm Water Management Plan conditions. The owner further agrees to the terms stated in this document to ensure that the storm water management practice(s) continues serving the intended functions in perpetuity. This Agreement includes the following exhibits:

Exhibit A: Legal Description/ALTA Survey of the real estate for which this Agreement applies (“Property”).

Exhibit B: Location Map(s) – shows an accurate location of each storm water management practice affected by this Agreement.

Exhibit C: Maintenance Plan – prescribes those activities that must be carried out to maintain compliance with this Agreement.

Note: After construction verification has been accepted by the City of Waukesha, for all planned storm water management practices, an addendum(s) to this agreement shall be recorded by the Owner showing design and construction details. The addendum(s) may contain several additional exhibits, including certification by City of Waukesha of Storm Water and Erosion Control Permit termination, as described below.

Name and Return Address

City of Waukesha
130 Delafield Street
Waukesha, WI 53188

Parcel Identification Number – 0997075

Through this Agreement, the Owner hereby subjects the Property to the following covenants, conditions and restrictions:

1. The Owner shall be responsible for the routine and extraordinary maintenance and repair of the storm water management practice(s) and drainage easements identified in Exhibit B until Storm Water and Erosion Control Permit termination by the City of Waukesha in accordance with Chapter 32 of the City Code of Ordinances.
2. After Storm Water and Erosion Control Permit termination under 1., the current Owner(s) shall be solely responsible for maintenance and repair of the storm water management practices and drainage easements in accordance with the maintenance plan contained in Exhibit C.
3. The Owner(s) shall, at their own cost, complete inspections of the storm water management practices at the time intervals listed in Exhibit C, and conduct the inspections by a qualified professional, file the reports with the City of Waukesha after each inspection and complete any maintenance or repair work recommended in the report. The Owner(s) shall be liable for the failure to undertake any maintenance or repairs. After the work is completed by the Contractor, the qualified professional shall verify that the work was properly completed and submit the follow-up report to the City within 30 days.
4. In addition, and independent of the requirements under paragraph 3 above, the City of Waukesha, or its designee, is authorized to access the property as necessary to conduct inspections of the storm water management practices or drainage easements to ascertain compliance with the intent of this Agreement and the activities prescribed in Exhibit C. The City of Waukesha may require work to be done which differs from the report described in paragraph 3 above, if the City of Waukesha reasonably concludes that such work is necessary and consistent with the intent of this agreement. Upon notification by the City of Waukesha of required maintenance or repairs, the Owner(s) shall complete the specified maintenance or repairs within a reasonable time frame determined by the City of Waukesha.
5. If the Owner(s) do not complete an inspection under 3. above or required maintenance or repairs under 4. above within the specified time period, the City of Waukesha is authorized, but not required, to perform the specified inspections, maintenance or repairs. In the case of an emergency situation, as determined by the City of Waukesha, no notice shall be required prior to the City of Waukesha performing emergency maintenance or repairs. The City of Waukesha may levy the costs and expenses of such inspections, maintenance or repair related actions as a special charge against the Property and collected as such in accordance with the procedures under s. 66.0627 Wis. Stats. or subch. VII of ch. 66 Wis. Stats.

6. This Agreement shall run with the Property and be binding upon all heirs, successors and assigns. After the Owner records the addendum noted above, the City of Waukesha shall have the sole authority to modify this agreement upon a 30-day notice to the current Owner(s).

Dated this 13th day of October, 2016

Owner:


(Owners Signature)

Jeffrey J. Wrobel, VP/CFO
(Owners Typed Name)

Acknowledgements

State of Wisconsin:

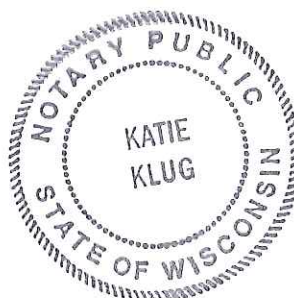
County of ~~Waukesha~~
La Crosse

Personally came before me this 13th day of October, 2016, the above named Jeffrey J. Wrobel to me known to be the person who executed the foregoing instrument and acknowledged the same.


[Name] Katie Klug
Notary Public, ~~Waukesha~~ County, WI
My commission expires: La Crosse 9-18-20

This document was drafted by:

[Name and address of drafter]



For Certification Stamp

City of Waukesha Common Council Approval

Dated this ____ day of _____, 201_.

Shawn N. Reilly, Mayor

Gina Kozlik, City Clerk

Acknowledgements

State of Wisconsin:
County of Waukesha

Personally came before me this ____ day of _____, 201_, the above named _____ to me
known to be the person who executed the foregoing instrument and acknowledged the same.

[Name]

Notary Public, Waukesha County, WI

My commission expires:_____.

Exhibit A – Legal Description/ALTA Survey

Project Identifier: **Kwik Trip Express Store 527**

Acres: **0.57**

Legal Description: **Known as 1700 Pewaukee Road, in the City of Waukesha, Waukesha County, Wisconsin.**

Parcel 2 of Certified Survey Map. No. 4080, recorded in Volume 32, Pages 101-104, as Document No. 1167731, being part of the Northeast Quarter of Section 34, Township 7, North, Range 19 East, in the City of Waukesha, Waukesha County, Wisconsin EXCEPTING THEREFROM:

A parcel of land being part of Parcel 2 of Certified Survey Map No. 4080, located in the Northeast Quarter of Section 34, Township 7 North, Range 19 East, in the City of Waukesha, Waukesha County, Wisconsin, more particularly described as follows:

Commencing at the Southeast corner of Lot 2 of Certified Survey Map No. 4080, said point being the point of beginning; thence along the North line of Gascoigne Drive South 89°40'00" West 7.09 feet; thence North 44°59'36" East 9.99 feet to a point on the West line of C.T.H. J (Pewaukee Road); thence along said West line South 00°10'06" East 7.03 feet to the point of beginning.

ALTA/NSPS LAND TITLE SURVEY

WITH TOPOGRAPHIC DATA

Known as 1700 Pewaukee Road, in the City of Waukesha, Waukesha County, Wisconsin.

Parcel 2 of Certified Survey Map, No. 4080, recorded in Volume 32, Pages 101-104, as Document No. 1167731, being part of the Northeast Quarter of Section 34, Township 7, North, Range 19 East, in the City of Waukesha, Waukesha County, Wisconsin EXCEPTING THEREFROM:

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Prepared for: Kwik Trip, Inc.

Survey No. 166850-BMJ

A. Basis of Bearings

Bearings are based on the North line of Gascoigne Road, which is assumed to bear North 90°00'00" West.

B. Title Commitment

This survey was prepared based on Landmark Title Corporation title commitment number LT-142018, effective date of May 20, 2016, Amended June 13, 2016, which lists the following easements and/or restrictions from schedule B-II:

1-3, 9. **Visible evidence shown, if any.**

4-8. **Not survey related.**

C. Flood Note

According to flood insurance rate map of the City of Waukesha, community panel number 55133C0213G, effective date of November 5, 2014, this site falls in zone X (areas determined to be outside the 0.2% annual chance floodplain)

D. Parking Spaces

There are 8 regular and 1 handicapped parking spaces marked on this site.

E. Elevations

Elevations refer to City of Waukesha Datum.

Starting benchmark: Southeast corner of Northeast 1/4 of Section 34, Township 7 North, Range 19 East, Found concrete monument with brass cap, Elevation = 113.787'

F. Municipal Zoning

A zoning report was not provided for this survey.

G. Notes

There is no proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction observed in the process of conducting the fieldwork.

There is no evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

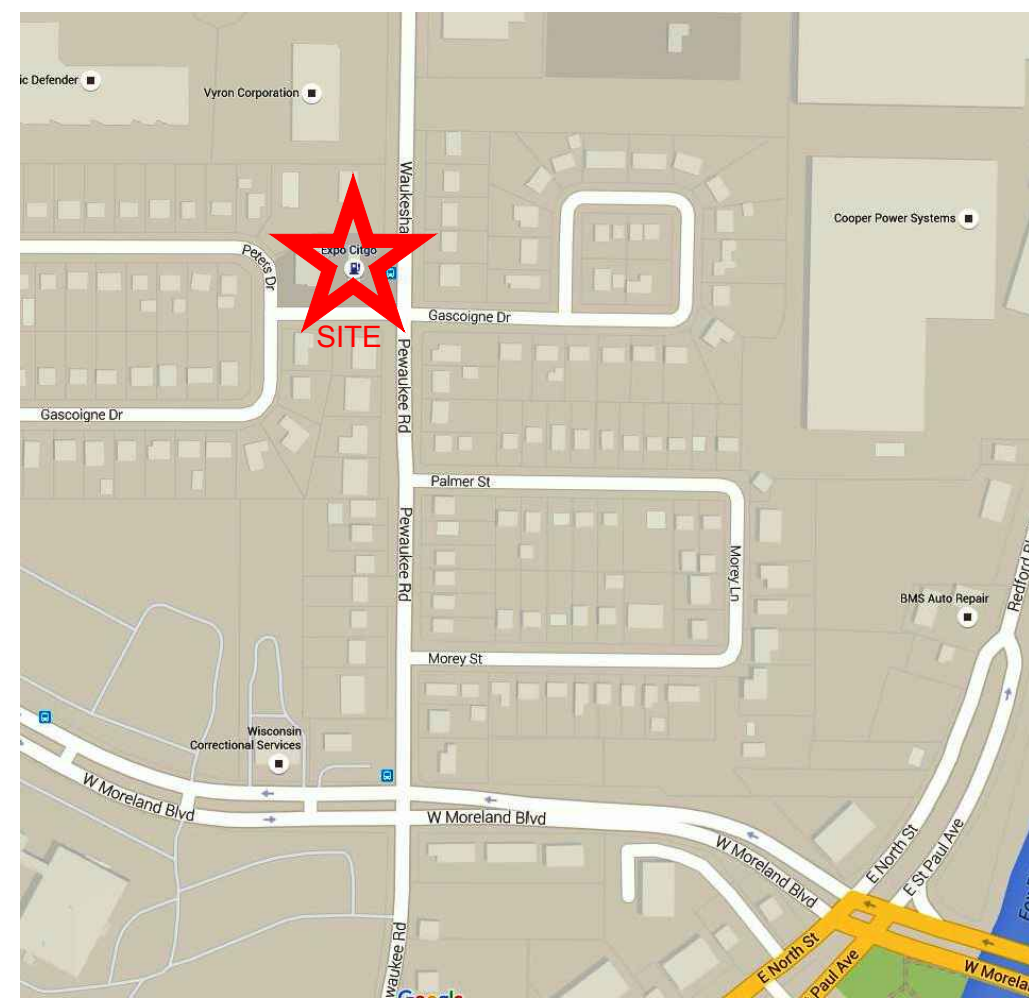
There is no evidence of wetland flags on the site observed in the process of conducting the fieldwork.

To: Kwik Trip, Inc., a Wisconsin Corporation, Pewaukee Road, LLC, Landmark Title Corporation and First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 11, 14, 17, 18, 19, and 21 of Table A thereof. The fieldwork was completed on June 30, 2016.

Date of Plat or Map: July 11, 2016

Eric R. Sturm
Professional Land Surveyor
Registration Number 2309
eric.sturm@rasmithnational.com



VICINITY MAP
NOT TO SCALE

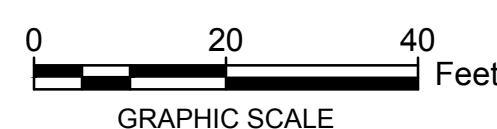
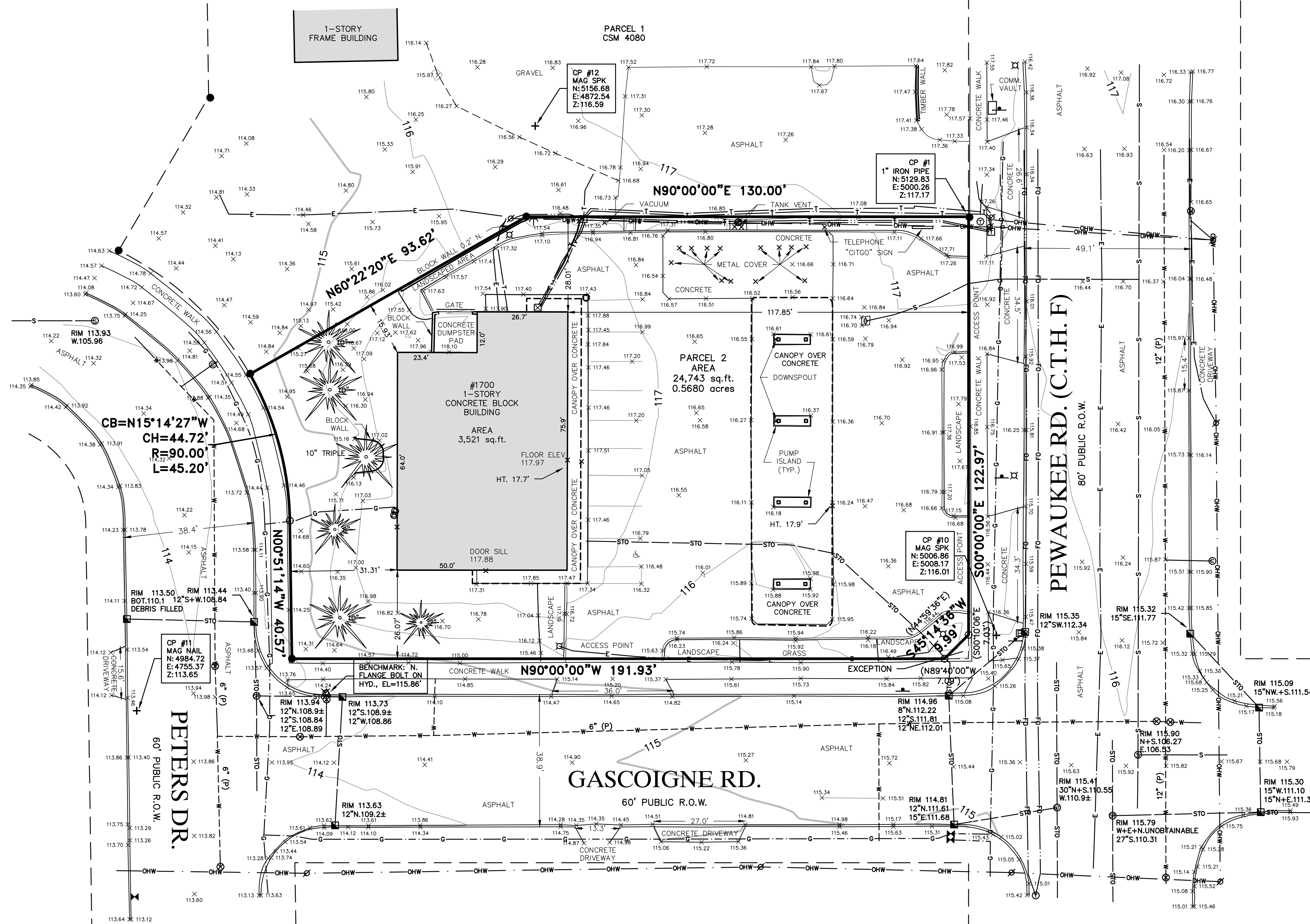
LEGEND

- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- ◆ OR ■ SECTION OR 1/4 SECTION CORNER AS DESCRIBED
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- BOLLARD
- ⊕ SOIL BORING/MONITORING WELL
- ⚡ FLAGPOLE
- ⚡ MAILBOX
- ⚡ SIGN
- ⚡ BILLBOARD
- ⚡ AIR CONDITIONER
- ⚡ CONTROL BOX
- ⚡ TRAFFIC SIGNAL
- ⚡ RAILROAD CROSSING SIGNAL
- ⚡ CABLE PEDESTAL
- ⚡ POWER POLE
- ⚡ GUY POLE
- ⚡ GUY WIRE
- ⚡ LIGHT POLE
- ⚡ SPOT/YARD/PEDESTAL LIGHT
- ⚡ HANDICAPPED PARKING
- ⚡ ELECTRIC MANHOLE
- ⚡ ELECTRIC PEDESTAL
- ⚡ ELECTRIC METER
- ⚡ ELECTRIC TRANSFORMER
- ⚡ TELEPHONE MANHOLE
- ⚡ TELEPHONE PEDESTAL
- ⚡ MARKED FIBER OPTIC
- ⚡ GAS VALVE
- ⚡ GAS METER
- ⚡ GAS WARNING SIGN
- ⚡ STORM MANHOLE
- ⚡ ROUND INLET
- ⚡ SQUARE INLET
- ⚡ STORM SEWER END SECTION
- ⚡ SANITARY MANHOLE
- ⚡ SANITARY CLEANOUT OR SEPTIC VENT
- ⚡ SANITARY INTERCEPTOR MANHOLE
- ⚡ MISCELLANEOUS MANHOLE
- ⚡ WATER VALVE
- ⚡ HYDRANT
- ⚡ WATER SERVICE CURB STOP
- ⚡ WATER MANHOLE
- ⚡ WELL
- ⚡ WATER SURFACE
- ⚡ WETLANDS FLAG
- ⚡ MARSH
- ⚡ CONIFEROUS TREE
- ⚡ DECIDUOUS TREE
- ⚡ SHRUB
- EDGE OF TREES
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- BUREAU ELEC. SERV.
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION

DIGGERS HOTLINE NO. 2016-26-00492

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.



R.A. Smith National, Inc.

*Beyond Surveying
and Engineering*

16745 W. Bluemound Road, Brookfield WI 53005-5598
262.781.1000 Fax 262.797.7373, www.rasmithnational.com
Appleton, WI Irvine, CA Pittsburgh, PA
S:\166850.dwg\AS101D20.dwg\1700 PEWAUKEE RD

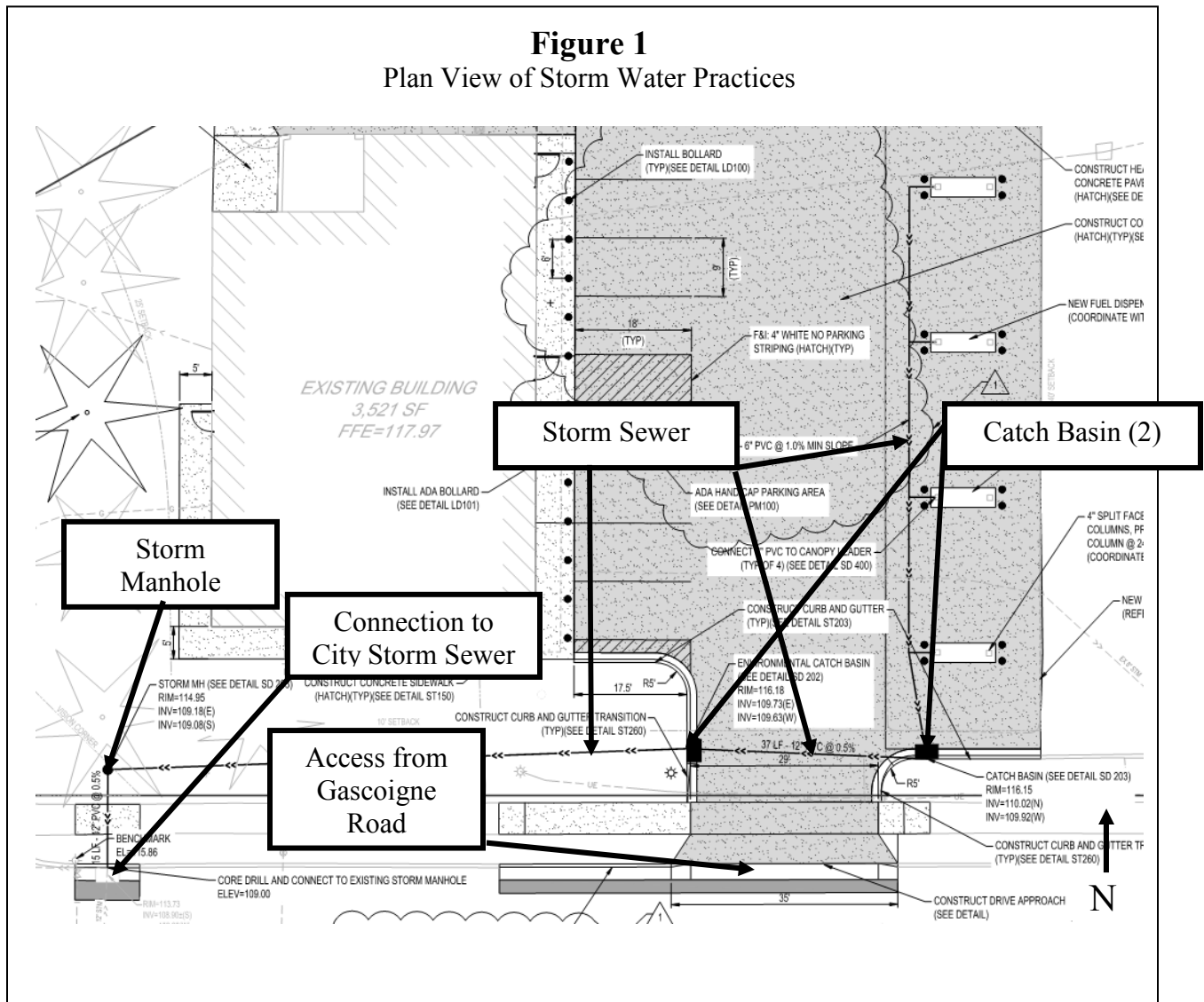
Storm Water Management Practices Covered by this Agreement

The storm water management practices covered by this Agreement are depicted in the reduced copy of a portion of the construction plans, as shown below. The practices include two catch basins, one storm manhole, associated storm sewer and connection to existing City storm sewer. All of the noted storm water management practices are located within the property as noted in Exhibit A. Detailed construction plans are included in the follow pages of Exhibit B.

Project Identifier: **Kwik Trip Express Store 527**

Storm water Practices: Storm Sewer, Catch Basins (2), Storm Manhole

Plan View of Storm Water Practices



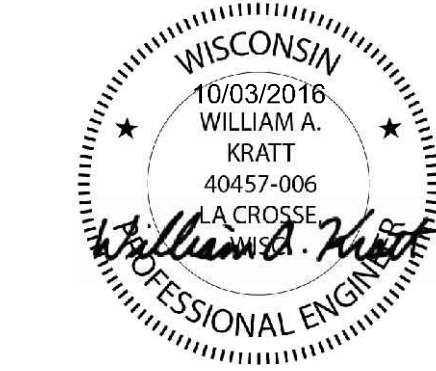
KWIK TRIP EXPRESS #527

1700 PEWAUKEE ROAD WAUKESHA, WI 53188

WAUKESHA, WISCONSIN

CONSTRUCTION PLANS FOR: SITE PAVEMENT REPLACEMENT

ISG PROJECT # 16-19524



FOR PLAN REVIEW ONLY



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PROJECT

**KWIK TRIP
EXPRESS #527**
1700 PEWAUKEE ROAD
WAUKESHA, WI 53188

WAUKESHA WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	16-19524
FILE NAME	19524 T1-TITLE
DRAWN BY	CLF
DESIGNED BY	KBR
REVIEWED BY	WAK
ORIGINAL ISSUE DATE	10/03/2016
CLIENT PROJECT NO.	-

TITLE

TITLE SHEET

SHEET

T-100

LEGEND

EXISTING	
	CITY LIMITS
	SECTION LINE
	QUARTER SECTION LINE
	RIGHT OF WAY LINE
	PROPERTY / LOTLINE
	EASEMENT LINE
	ACCESS CONTROL
	WATER EDGE
	WETLAND BOUNDARY
	WETLAND / MARSH
	FENCE LINE
	CULVERT
	STORM SEWER
	SANITARY SEWER
	SANITARY SEWER FORCEMAIN
	WATER
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND TV
	GAS
	UNDERGROUND FIBER OPTIC
	CONTOUR (MAJOR)
	CONTOUR (MINOR)
	DECIDUOUS TREE
	CONIFEROUS TREE
	TREE LINE
	MANHOLE/STRUCTURE
	CATCH BASIN
	HYDRANT
	VALVE
	CURB STOP
	POWER POLE
	UTILITY PEDESTAL / CABINET
PROPOSED	
	LOT LINE
	RIGHT OF WAY
	EASEMENT
	CULVERT
	STORM SEWER
	STORM SEWER (PIPE WIDTH)
	SANITARY SEWER
	SANITARY SEWER (PIPE WIDTH)
	WATER
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND TV
	GAS
	CONTOUR
	MANHOLE
	CATCH BASIN
	HYDRANT
	VALVE



LOCATION MAP



Sheet List Table

T-100	TITLE SHEET
C-100	EROSION CONTROL PLAN
C-101	EROSION CONTROL NOTES
C-200	EXISTING SITE AND REMOVALS PLAN
C-300	PROPOSED SITE AND UTILITIES PLAN
C-301	TRUCK MOVEMENT PLAN
C-400	GRADING PLAN
C-401	ADA GRADING PLAN
C-500	SITE DETAILS
C-600	RESTORATION PLAN
C-601	PLANTING PLAN
C-602	PLANTING NOTES & DETAILS
E-600	PHOTOMETRIC PLAN

PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED. NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL INPLACE UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS AND ELEVATIONS OF ALL INPLACE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "DIGGER'S HOTLINE" FOR UTILITY LOCATIONS, MINIMUM 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (611 OR 1-800-242-8511).



PROJECT INDEX:

OWNER:

KWIK TRIP, INC
1626 OAK STREET, P.O. BOX 2107
LA CROSSE, WISCONSIN 54602

PROJECT MANAGER: BJORN BERG
EMAIL: BBerg@kwiktrip.com

PROJECT ADDRESS:

1700 PEWAUKEE RD
WAUKESHA, WISCONSIN

SECTION 34 / TOWNSHIP 7N / RANGE 19E

WAUKESHA WISCONSIN

MANAGING OFFICE:



LA CROSSE OFFICE
201 MAIN STREET
SUITE 1020
LA CROSSE, WI 54601
PHONE: 608.789.2034

SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF WAUKESHA REQUIREMENTS, WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2016 EDITION, WISDOT CONSTRUCTION AND MATERIALS MANUAL, 2016 EDITION, AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES STATE PLUMBING CODE, 2016 EDITION UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

BEARINGS ARE BASED ON THE NORTH LINE OF GASCOIGNE ROAD, WHICH IS ASSUMED TO BEAR NORTH 90°00'00" WEST.
ELEVATIONS REFER TO CITY OF WAUKESHA DATUM.
STARTING BENCHMARK: SOUTHEAST CORNER OF NORTHEAST 1/4 OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 19 EAST, FOUND CONCRETE MONUMENT WITH BRASS CAP, EL=113.787

B.M. ELEVATION=115.86
NORTH FLANGE BOLT ON HYDRANT LOCATED BY THE SOUTHWEST PROPERTY CORNER ON THE NORTH SIDE OF GASCOIGNE ROAD

TOPOGRAPHIC SURVEY

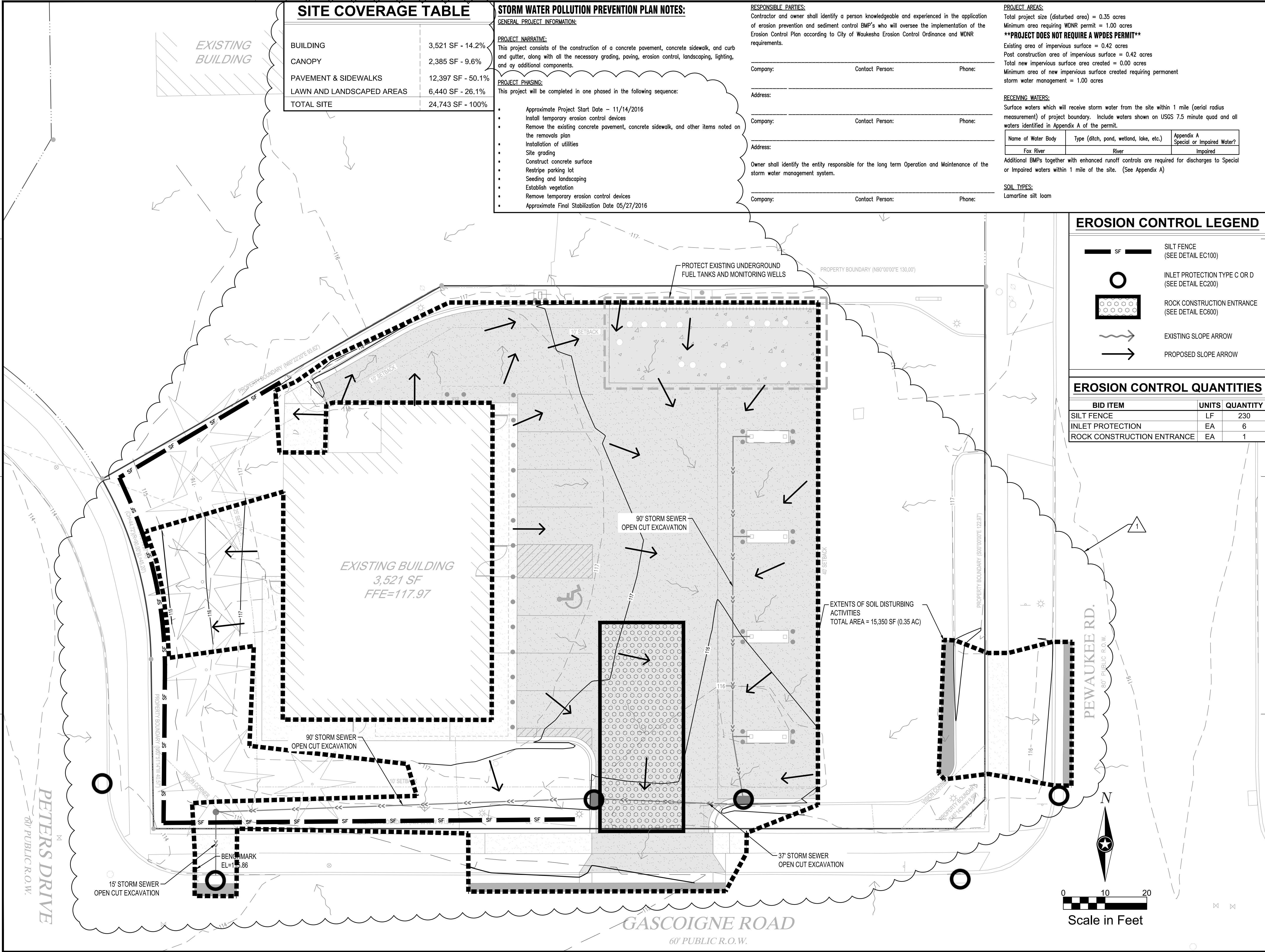
THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED ON JUNE 2016 BY R.A. SMITH NATIONAL, INC.

TITLE

TITLE SHEET

SHEET

T-100



SITE COVERAGE TABLE	
BUILDING	3,521 SF - 14.2%
CANOPY	2,385 SF - 9.6%
PAVEMENT & SIDEWALKS	12,397 SF - 50.1%
LAWN AND LANDSCAPED AREAS	6,440 SF - 26.1%
TOTAL SITE	24,743 SF - 100%

STORM WATER POLLUTION PREVENTION PLAN NOTES:

GENERAL PROJECT INFORMATION:

PROJECT NARRATIVE:
This project consists of the construction of a concrete pavement, concrete sidewalk, and curb and gutter, along with all the necessary grading, paving, erosion control, landscaping, lighting, and any additional components.

PROJECT PHASING:
This project will be completed in one phase in the following sequence:

- Approximate Project Start Date - 11/14/2016
- Install temporary erosion control devices
- Remove the existing concrete pavement, concrete sidewalk, and other items noted on the removals plan
- Installation of utilities
- Site grading
- Construct concrete surface
- Restripe parking lot
- Seeding and landscaping
- Establish vegetation
- Remove temporary erosion control devices
- Approximate Final Stabilization Date 05/27/2016

RESPONSIBLE PARTIES:
Contractor and owner shall identify a person knowledgeable and experienced in the application of erosion prevention and sediment control BMP's who will oversee the implementation of the Erosion Control Plan according to City of Waukesha Erosion Control Ordinance and WDNR requirements.

Company: _____ Contact Person: _____ Phone: _____

Address: _____

Company: _____ Contact Person: _____ Phone: _____

Address: _____

Owner shall identify the entity responsible for the long term Operation and Maintenance of the storm water management system.

Company: _____ Contact Person: _____ Phone: _____

PROJECT AREAS:
Total project size (disturbed area) = 0.35 acres
Minimum area requiring WDNR permit = 1.00 acres
****PROJECT DOES NOT REQUIRE A WPOES PERMIT****
Existing area of impervious surface = 0.42 acres
Post construction area of impervious surface = 0.42 acres
Total new impervious surface area created = 0.00 acres
Minimum area of new impervious surface created requiring permanent storm water management = 1.00 acres

RECEIVING WATERS:
Surface waters which will receive storm water from the site within 1 mile (aerial radius measurement) of project boundary. Include waters shown on USGS 7.5 minute quad and all waters identified in Appendix A of the permit.

Name of Water Body	Type (ditch, pond, wetland, lake, etc.)	Appendix A Special or Impaired Water?
Fox River	River	Impaired

Additional BMPs together with enhanced runoff controls are required for discharges to Special or Impaired waters within 1 mile of the site. (See Appendix A)

SOIL TYPES:
Lamartine silt loam

EROSION CONTROL LEGEND

- SF SILT FENCE (SEE DETAIL EC100)
- INLET PROTECTION TYPE C OR D (SEE DETAIL EC200)
- ROCK CONSTRUCTION ENTRANCE (SEE DETAIL EC600)
- EXISTING SLOPE ARROW
- PROPOSED SLOPE ARROW

EROSION CONTROL QUANTITIES

BID ITEM	UNITS	QUANTITY
SILT FENCE	LF	230
INLET PROTECTION	EA	6
ROCK CONSTRUCTION ENTRANCE	EA	1



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PROJECT

KWIK TRIP EXPRESS #527
1700 PEWAUKEE ROAD
WAUKESHA, WI 53188

WAUKESHA WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
10/06/2016	PLAN REVIEW COMMENTS	KBR

PROJECT NO. 16-19524
FILE NAME 19524 C1-EROSION
DRAWN BY CLF
DESIGNED BY KBR
REVIEWED BY WAK
ORIGINAL ISSUE DATE 10/03/2016
CLIENT PROJECT NO. -

TITLE

EROSION CONTROL PLAN

SHEET

C-100

CONSTRUCTION ACTIVITY NOTES:

EROSION PREVENTION:
Construction of silt fence and all other erosion control measures shall be complete before other construction activity occurs. Use phased construction wherever practical and establish turf as soon as possible to minimize sediment transport.

Turf establishment or temporary seeding and mulching of all exposed soil not being actively worked should be practiced following the table below:

Type of Slope or Disturbance Area	Time Area can Remain Open Without Being Actively Worked
Steeper than 3:1	7 days
10:1 to 3:1	7 days
Flatter 10:1	7 days
Ditches	1 day
Pipe Ends	1 day
Within 200 Feet of Surface Water	1 day

Temporary cover during construction is incidental.

Pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours after connection to a surface water.

All exposed soils shall be seeded or sodded at the earliest possible time to prevent/reduce erosion.

A. Seeding shall be WisDOT seed mixture #40 in accordance with WisDOT Specification Section 630.

B. Sodding shall be applied according to WisDOT Specification Section 631.

C. Temporary mulching shall be applied at a rate of 2 tons/acre. Mulch shall be disc anchored.

Additional erosion prevention measures may be found at the Wisconsin Department of Natural Resources Best Management Practices.

SEDIMENT CONTROL PRACTICES:

Construction of silt fence and all other erosion control measures shall be complete prior to land disturbing activities occur.

Inlet erosion protection shall be installed and maintained until turf or pavement has been established.

The contractor shall be responsible to control erosion from leaving the construction zone. All eroded material that leaves the construction zone shall be collected by the contractor and returned to the site at the contractor's expense.

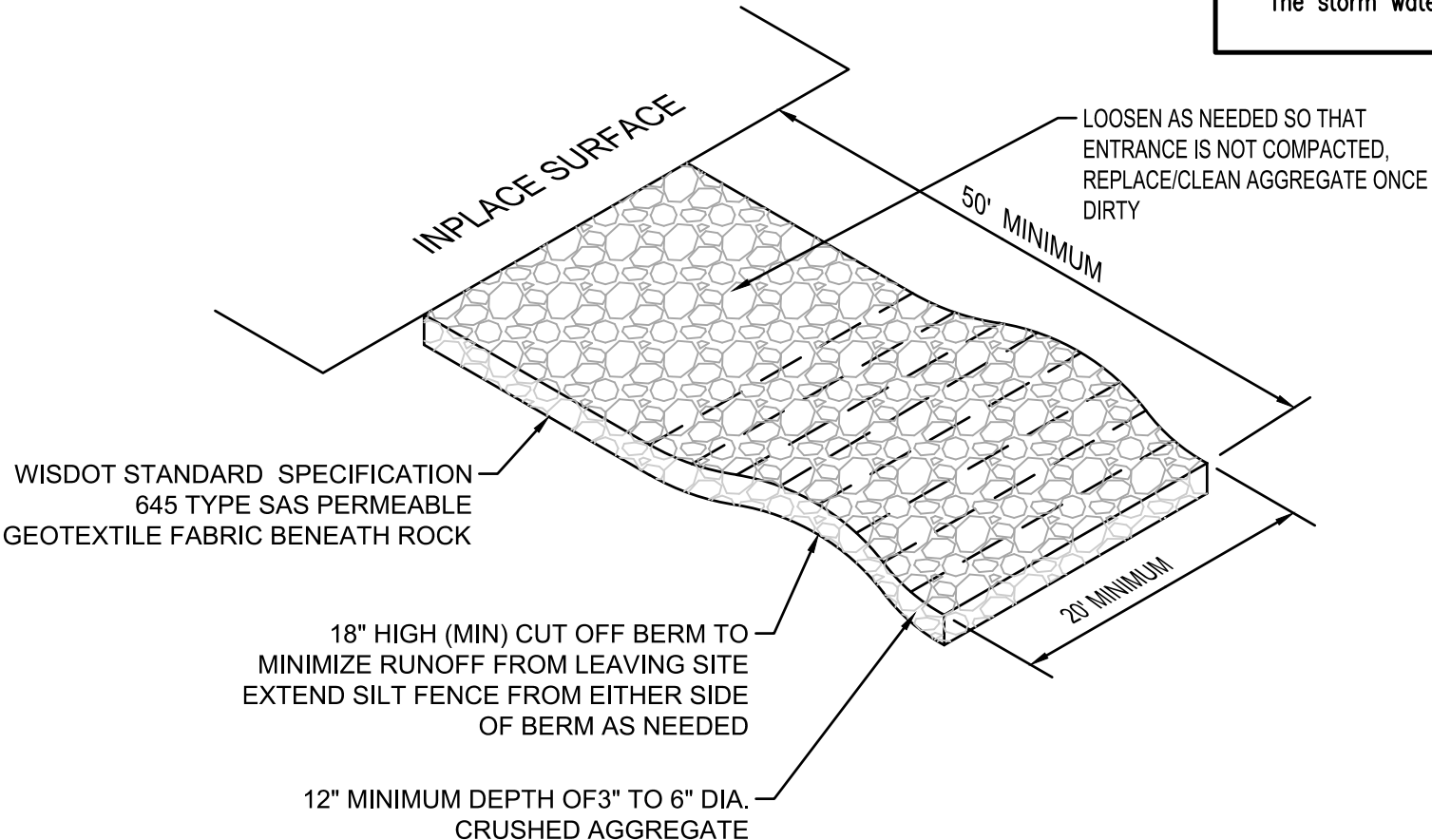
Contractor shall maintain a 50-foot natural buffer or use redundant sediment controls near surface waters if a buffer is not feasible.

Contractor shall take the necessary steps to minimize soil compaction and preserve topsoil on site.

All streets must be swept by the end of the workday when any tracking occurs. Flushing shall not be allowed unless runoff is treated before discharge from the site.

Silt fence or other effective erosion control measures must be installed around the perimeter of any soil stockpiled, including temporary stockpiles, at this location or any other on the project site. Stockpiles cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.

Perimeter control shall be installed along the back of curb immediately following curb installation at all locations with positive drainage to parking lot and/or streets, and remaining until stabilization is achieved. This shall be accomplished through the use of silt fence. (Biorolls, Rock logs, or other methods approved by the engineer prior to installation shall also be placed acceptable)



ROCK CONSTRUCTION ENTRANCE

NTS

EC600

CONSTRUCTION ACTIVITY NOTES:

DEWATERING AND BASIN DRAINING:

Dewater sediment-laden water to sedimentation basins if possible, or use other BMP's such as portable sediment tanks to prevent erosion when discharging to surface waters. Use appropriate energy dissipation measures on all discharges.

Dewatering practices cannot cause nuisance conditions, or erosion in receiving channels or inundation of wetlands resulting in adverse impacts.

POLLUTION PREVENTION:

All solid waste collected from the construction site must be disposed in accordance with all applicable regulations.

All hazardous materials (oil, gasoline, fuel, paint, etc) must be properly stored to prevent spills, leaks, or other discharge. Storage areas shall provide secondary containment and a hazardous materials spill kit. Equipment fueling and maintenance shall occur in a designated, contained area. Storage and disposal of hazardous waste must be in compliance with all applicable regulations. All runoff containing any hazardous material must be properly collected and disposed. No engine degreasing shall be allowed on site.

All sanitary wastes must be collected from portable units on site by a licensed sanitary waste management contractor. The units must be secured and shall be maintained on a regular basis as needed to prevent overfilling.

Emergency Spill Plan – The Contractor is responsible for all construction personnel to be informed of the manufacturers' recommended spill cleanup methods, and the location of that information and cleanup supplies. The Contractor shall modify the SWPPP as required within seven calendar days of knowledge of the release to: provide a description of the release, the circumstances leading to the release, and the date of the release. Plans must identify measures to prevent the reoccurrence of such releases. If a spill occurs, the following steps shall be followed:

1. Observe the safety precautions associated with the spilled material. Stop the source of the spill, if you can do so safely. Call 911 if fire or public safety hazards are created.
2. Contain the spilled material. Dirt, sand, or any semi-impermeable material may be used to create a containment structure to prevent the material from flowing.
3. Report the spill to Wisconsin's Spill Hotline at (800) 943-0003.
4. Clean up the spilled material and dispose of the wastes properly.

The contractor is responsible for monitoring air pollution and ensuring it does not exceed levels set by local, state, or federal regulations. This includes dust created by work being performed on the site. Air pollution and dust control correction is considered incidental to the unit bid prices for which work is being performed. Additional dust control measures may be required by the Engineer.

Concrete washout off site: All liquid and solid wastes generated by concrete washout must be contained and not have the opportunity to come in contact with the surface waters or ground water. This includes ditches, slopes to ditches, curb and gutter, storm sewer systems, and ponds. All excess water and concrete must leave the site within the concrete trucks. Liquid and solid wastes must be disposed of properly.

INSPECTION AND MAINTENANCE:

The Permittees must routinely inspect the construction site once every seven (7) days during active construction and within 24 hours of a rainfall event greater than 0.5 inches in a 24 hour period.

All inspections performed during construction must be recorded and records retained with the erosion plan in accordance with the Permit. Contractor is responsible for keeping a record of all rainfall data & erosion control maintenance until final establishment of turf.

Erosion control and other BMP's must be replaced, repaired, or supplemented when they reach 33% design load.

FINAL STABILIZATION:

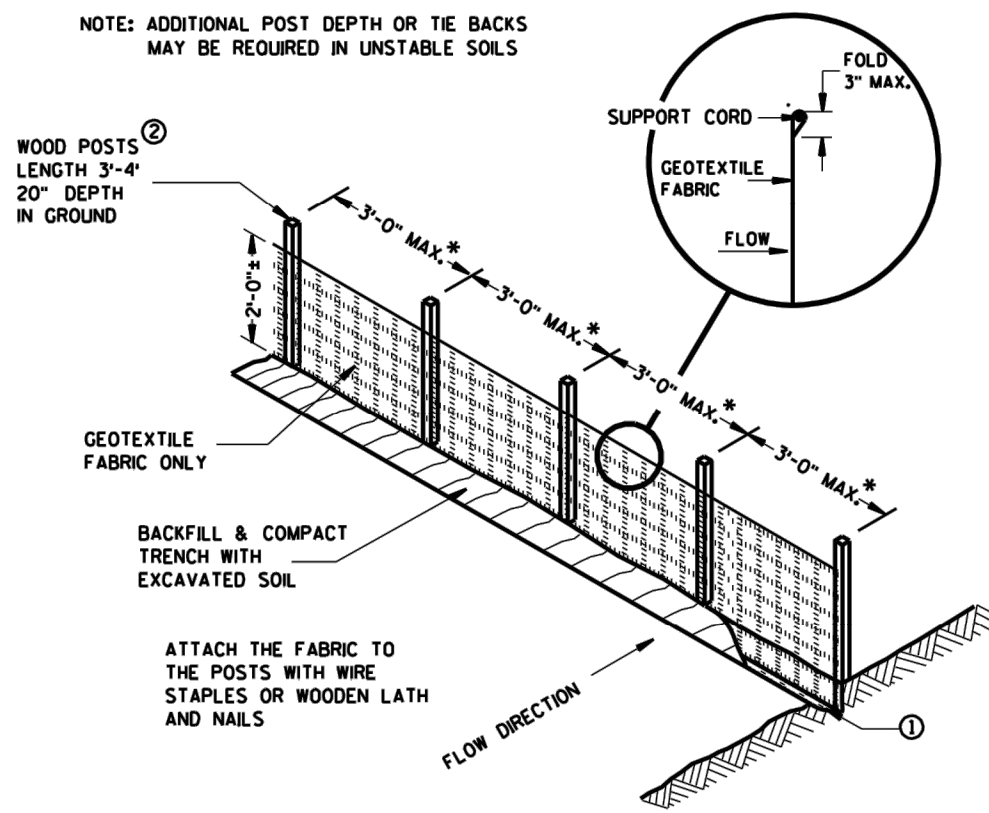
The Contractor must ensure final stabilization of the site. The Contractor must submit a Notice of Termination when the site has undergone final stabilization and all stormwater discharges associated with the construction site activities that require to have WPDES coverage have ceased.

All temporary erosion control measures and BMP's must be removed as part of the final site stabilization.

The storm water permit further defines final stabilization and its requirements.

GENERAL NOTES

- ① TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- ② WOOD POSTS SHALL BE A MINIMUM SIZE OF 1/4" X 1/4" OF OAK OR HICKORY.
- ③ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS; IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST OR ROTATE, AT LEAST 180 DEGREES, B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.



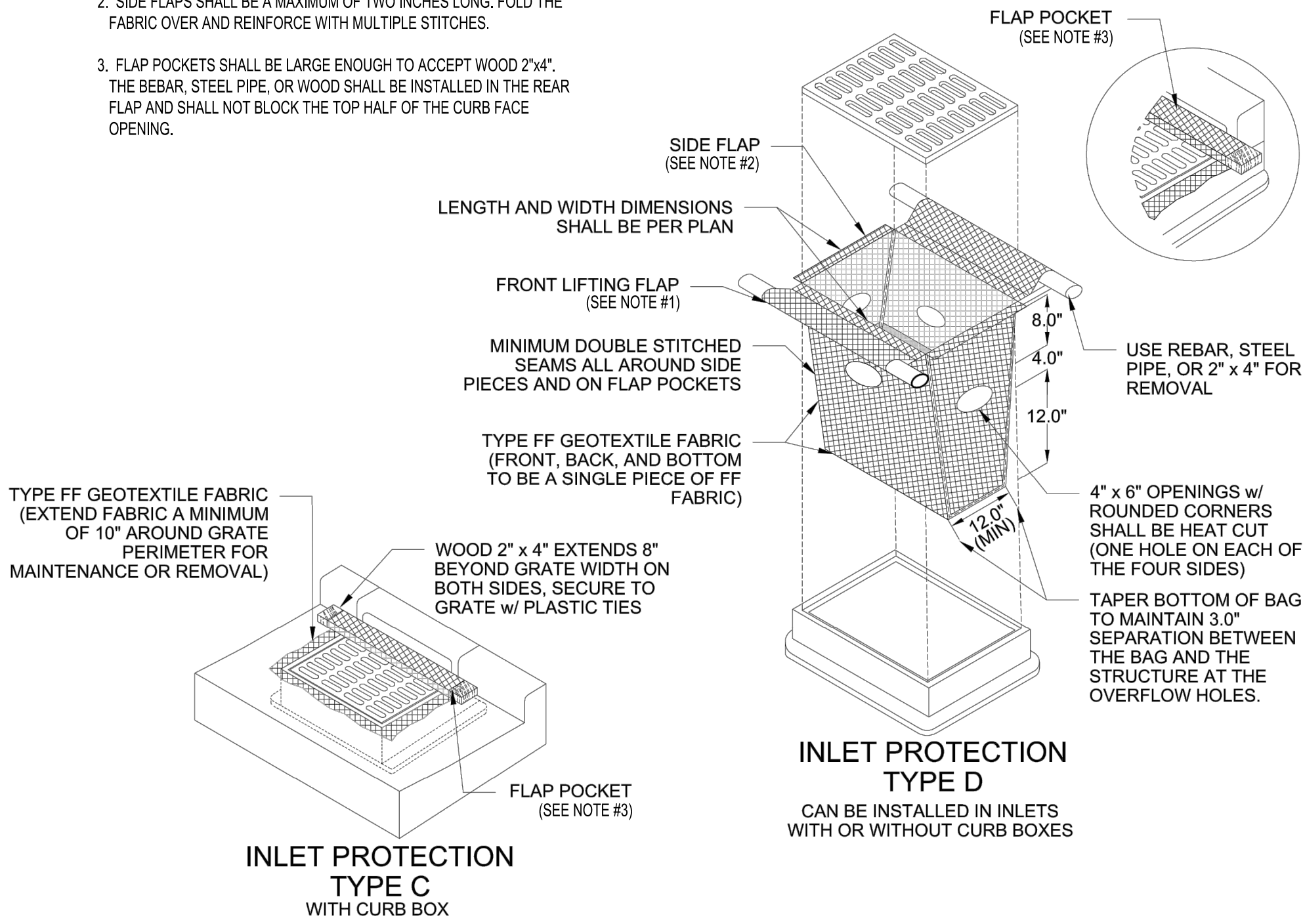
SILT FENCE

INLET PROTECTION

NTS

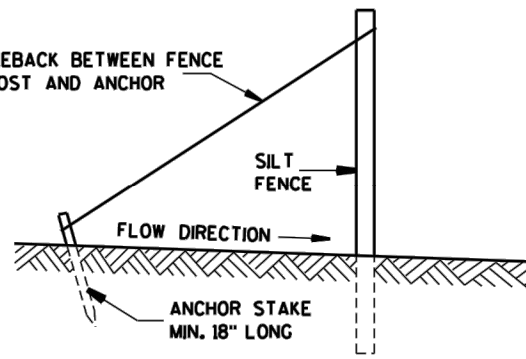
EC200

- NOTES:
1. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
 2. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
 3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE BEBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

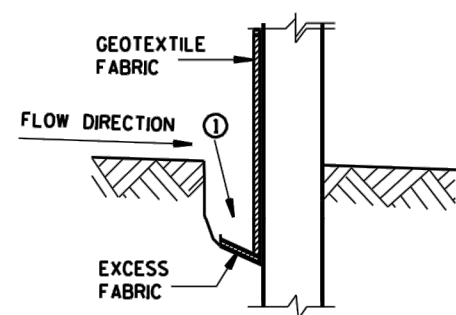


MAINTENANCE NOTES:

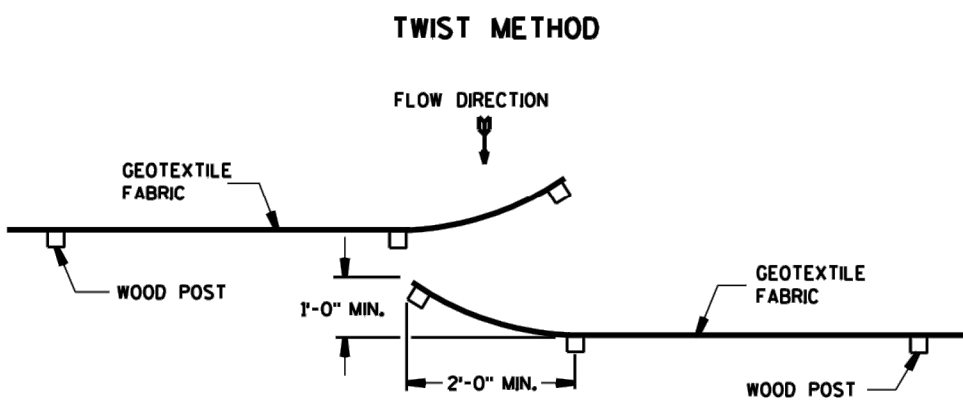
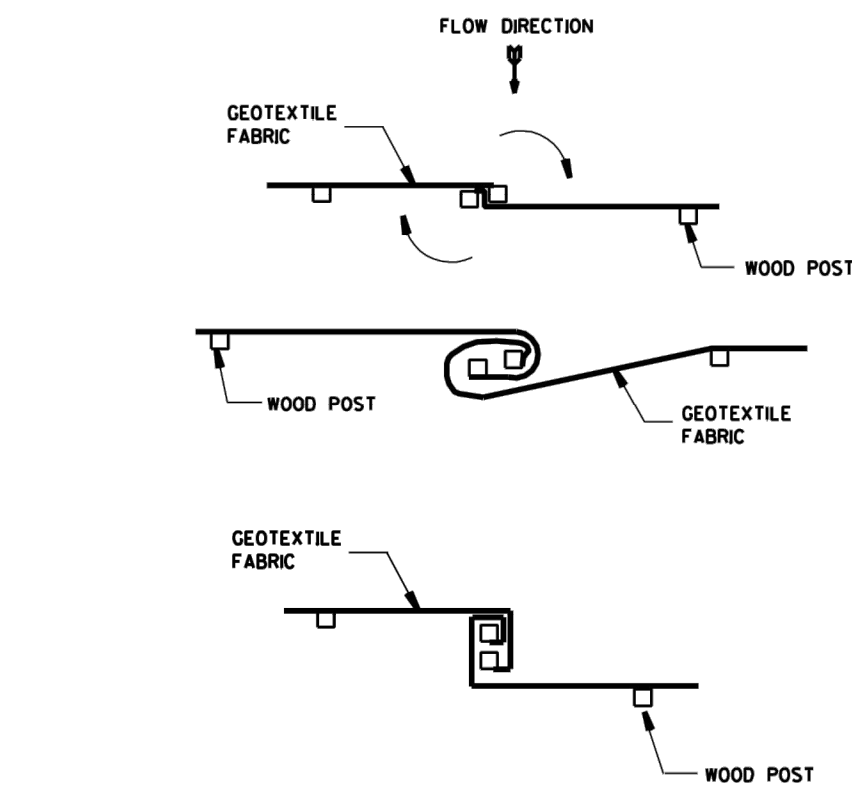
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)



TRENCH DETAIL



JOINING TWO LENGTHS OF SILT FENCE ④



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PROJECT

KWIK TRIP EXPRESS #527

1700 PEWAUKEE ROAD
WAUKESHA, WI 53188

WAUKESHA

WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 16-19524
FILE NAME 19524 C1-EROSION
DRAWN BY CLF
DESIGNED BY KBR
REVIEWED BY WAK
ORIGINAL ISSUE DATE 10/03/2016
CLIENT PROJECT NO. -

TITLE

EROSION CONTROL NOTES

SHEET

C-101

SETBACK DATA

(M-3 LIMITED BUSINESS AND INDUSTRIAL PARK DISTRICT)	
FRONT YARD SETBACK	= 40'
REAR YARD SETBACK	= 25'
SIDE YARD SETBACK	= 10'
LOT CURB SETBACK	= 4'

SITE HATCH LEGEND

	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE WALK
	ASPHALT PAVEMENT

PARKING DATA

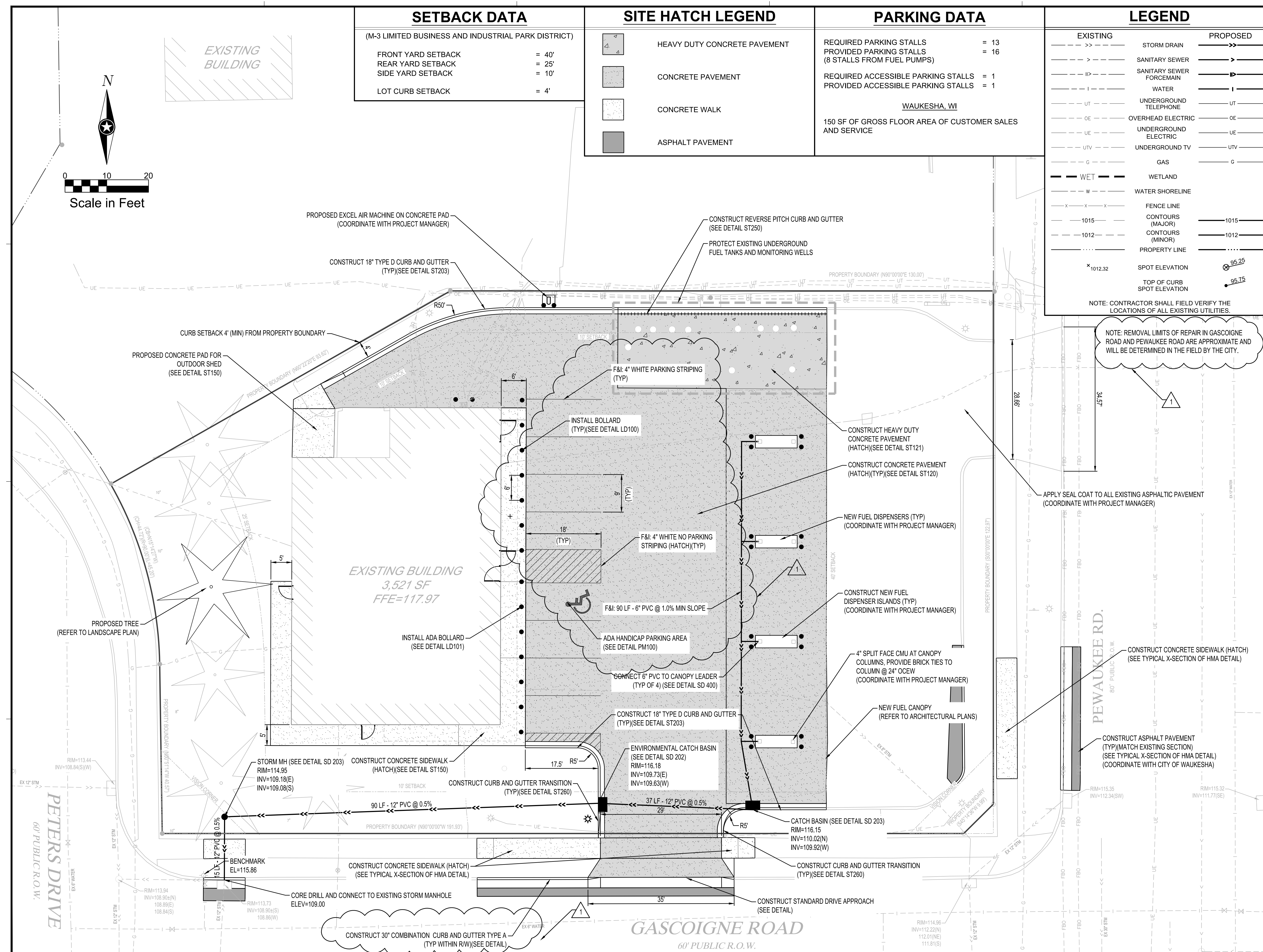
REQUIRED PARKING STALLS	= 13
PROVIDED PARKING STALLS (8 STALLS FROM FUEL PUMPS)	= 16
REQUIRED ACCESSIBLE PARKING STALLS	= 1
PROVIDED ACCESSIBLE PARKING STALLS	= 1
WAUKESHA, WI	
150 SF OF GROSS FLOOR AREA OF CUSTOMER SALES AND SERVICE	

LEGEND

EXISTING	PROPOSED
	STORM DRAIN
	SANITARY SEWER
	SANITARY SEWER FORCE MAIN
	WATER
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND TV
	GAS
	WETLAND
	WATER SHORELINE
	FENCE LINE
	CONTOURS (MAJOR)
	CONTOURS (MINOR)
	PROPERTY LINE
	SPOT ELEVATION
	TOP OF CURB SPOT ELEVATION

NOTE: CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

NOTE: REMOVAL LIMITS OF REPAIR IN GASCOIGNE ROAD AND PEWAUKEE ROAD ARE APPROXIMATE AND WILL BE DETERMINED IN THE FIELD BY THE CITY.



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PROJECT

KWIK TRIP EXPRESS #527
1700 PEWAUKEE ROAD
WAUKESHA, WI 53188

WAUKESHA WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
10/06/2016	PLAN REVIEW COMMENTS	KBR

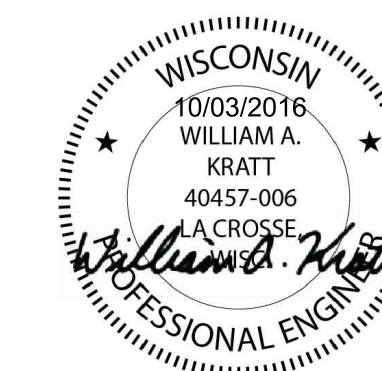
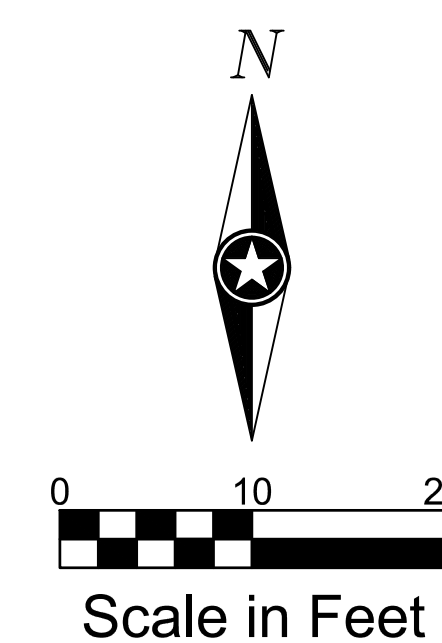
PROJECT NO.	16-19524
FILE NAME	19524 C2-PROPOSED SITE
DRAWN BY	CLF
DESIGNED BY	KBR
REVIEWED BY	WAK
ORIGINAL ISSUE DATE	10/03/2016
CLIENT PROJECT NO.	-

TITLE

PROPOSED SITE AND UTILITIES PLAN

SHEET

C-300



**KWIK
TRIP
KWIK
STAR**

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PROJECT

**KWIK TRIP
EXPRESS #527**

**1700 PEWAUKEE ROAD
WAUKESHA, WI 53188**

Waukesha

WISCONSIN

[illegible]

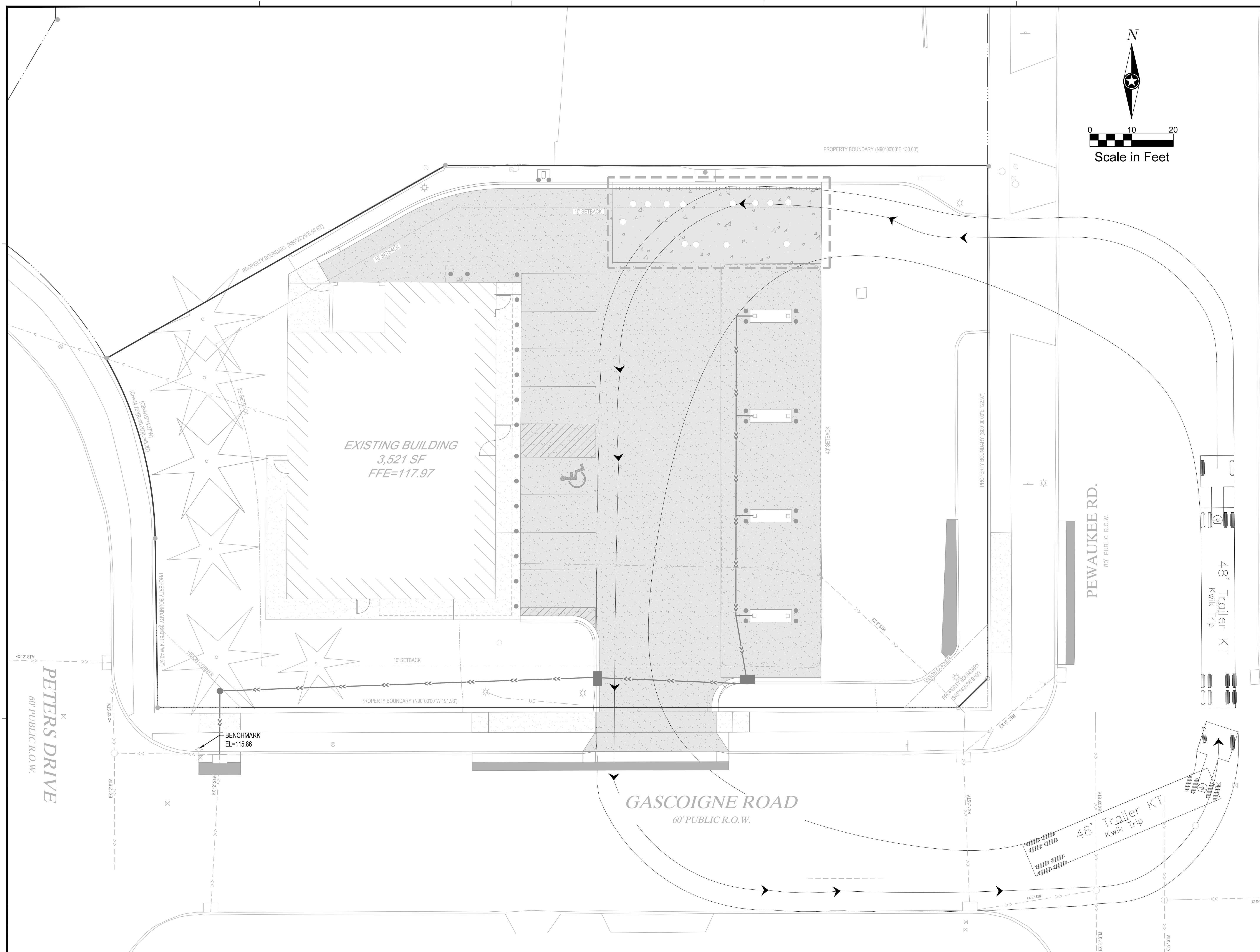
PROJECT NO.	16-19524
FILE NAME	19524 C2-PROPOSED SITE
DRAWN BY	CLF
DESIGNED BY	KBR
REVIEWED BY	WAK
ORIGINAL ISSUE DATE	10/03/2016
CLIENT PROJECT NO.	-

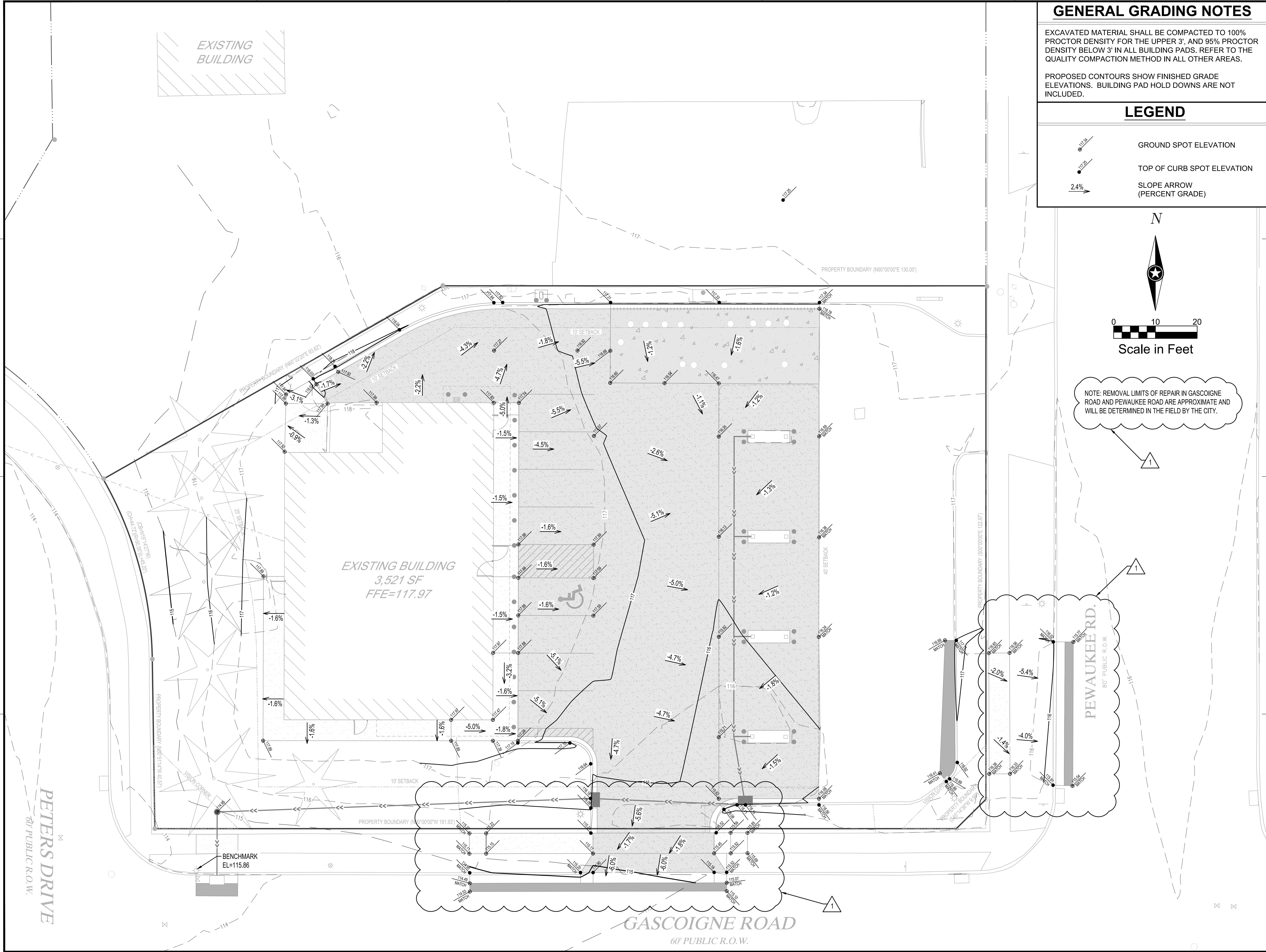
TITLE

TRUCK MOVEMENT PLAN

SHEET

C-301





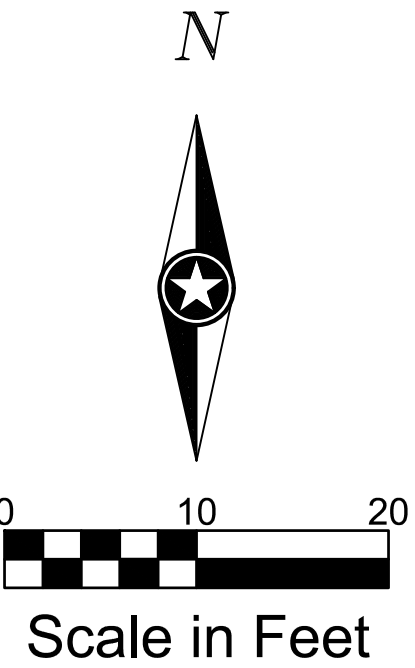
GENERAL GRADING NOTES

EXCAVATED MATERIAL SHALL BE COMPACTED TO 100% PROCTOR DENSITY FOR THE UPPER 3', AND 95% PROCTOR DENSITY BELOW 3' IN ALL BUILDING PADS. REFER TO THE QUALITY COMPACTION METHOD IN ALL OTHER AREAS.

PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD HOLD DOWNS ARE NOT INCLUDED.

LEGEND

- GROUND SPOT ELEVATION
- TOP OF CURB SPOT ELEVATION
- SLOPE ARROW (PERCENT GRADE)



NOTE: REMOVAL LIMITS OF REPAIR IN GASCOIGNE ROAD AND PEWAUKEE ROAD ARE APPROXIMATE AND WILL BE DETERMINED IN THE FIELD BY THE CITY.



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PROJECT

KWIK TRIP EXPRESS #527

1700 PEWAUKEE ROAD

WAUKESHA, WI 53188

WAUKESHA WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
10/06/2016	PLAN REVIEW COMMENTS	KBR

PROJECT NO. 16-19524

FILE NAME 19524 C4-GRADE

DRAWN BY CLF

DESIGNED BY KBR

REVIEWED BY WAK

ORIGINAL ISSUE DATE 10/03/2016

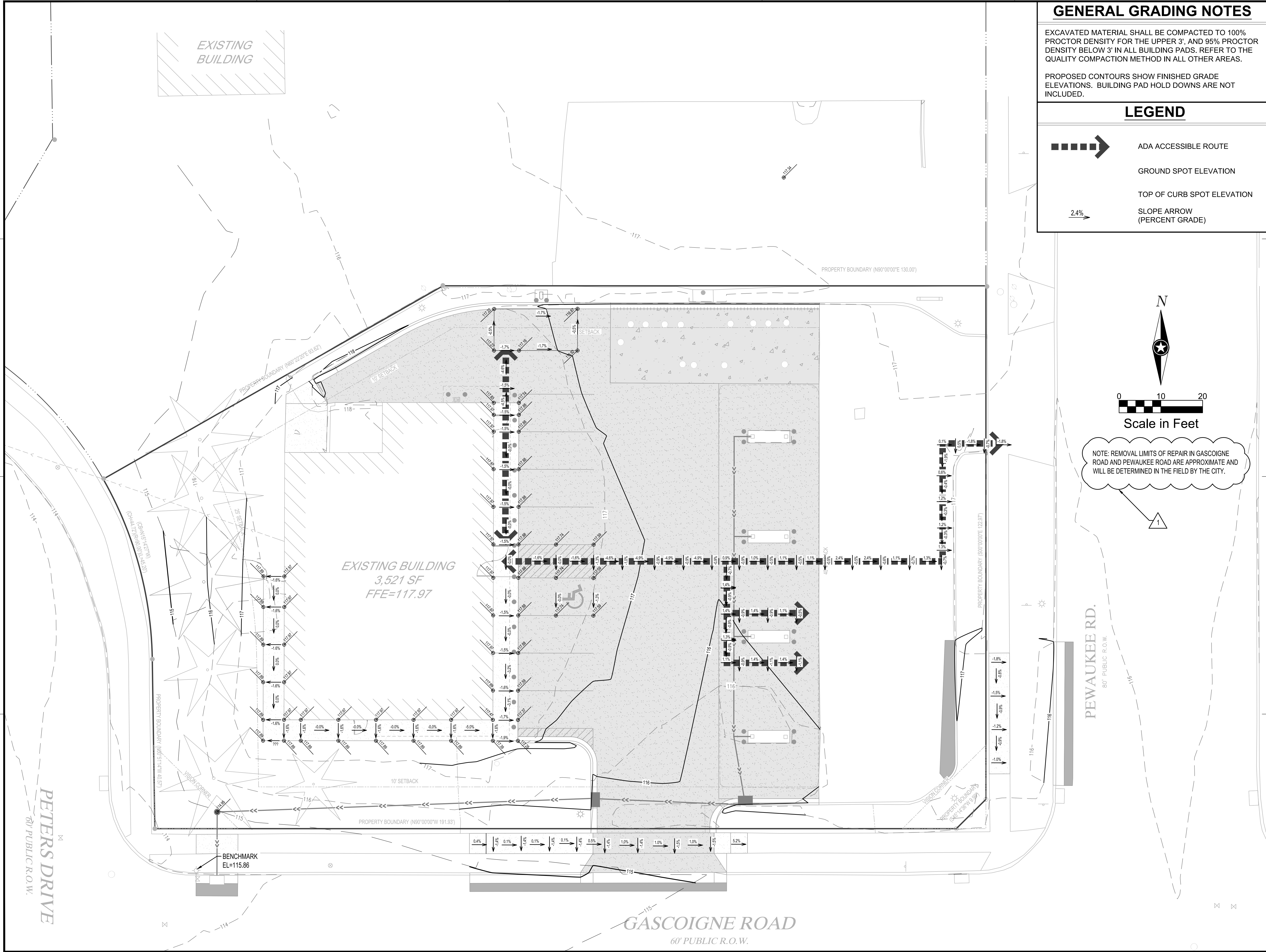
CLIENT PROJECT NO. -

TITLE

GRADING PLAN

SHEET

C-400



GENERAL GRADING NOTES

EXCAVATED MATERIAL SHALL BE COMPACTED TO 100% PROCTOR DENSITY FOR THE UPPER 3', AND 95% PROCTOR DENSITY BELOW 3' IN ALL BUILDING PADS. REFER TO THE QUALITY COMPACTION METHOD IN ALL OTHER AREAS.

PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD HOLD DOWNS ARE NOT INCLUDED.

LEGEND

- > ADA ACCESSIBLE ROUTE
- GROUND SPOT ELEVATION
- TOP OF CURB SPOT ELEVATION
- 2.4%> SLOPE ARROW (PERCENT GRADE)



N

0 10 20

Scale in Feet

NOTE: REMOVAL LIMITS OF REPAIR IN GASCOIGNE ROAD AND PEWAUKEE ROAD ARE APPROXIMATE AND WILL BE DETERMINED IN THE FIELD BY THE CITY.

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PROJECT

KWIK TRIP EXPRESS #527

1700 PEWAUKEE ROAD

WAUKESHA, WI 53188

WAUKESHA WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	16-19524
FILE NAME	19524 C4-GRADE
DRAWN BY	CLF
DESIGNED BY	KBR
REVIEWED BY	WAK
ORIGINAL ISSUE DATE	10/06/2016
CLIENT PROJECT NO.	-

TITLE

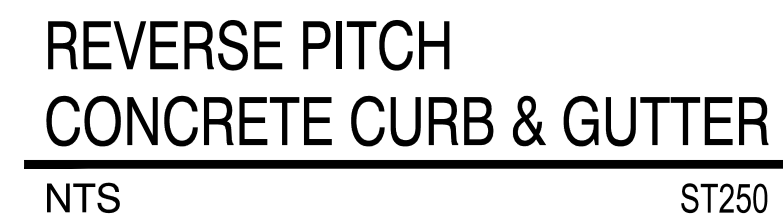
ADA GRADING PLAN

SHEET

C-401



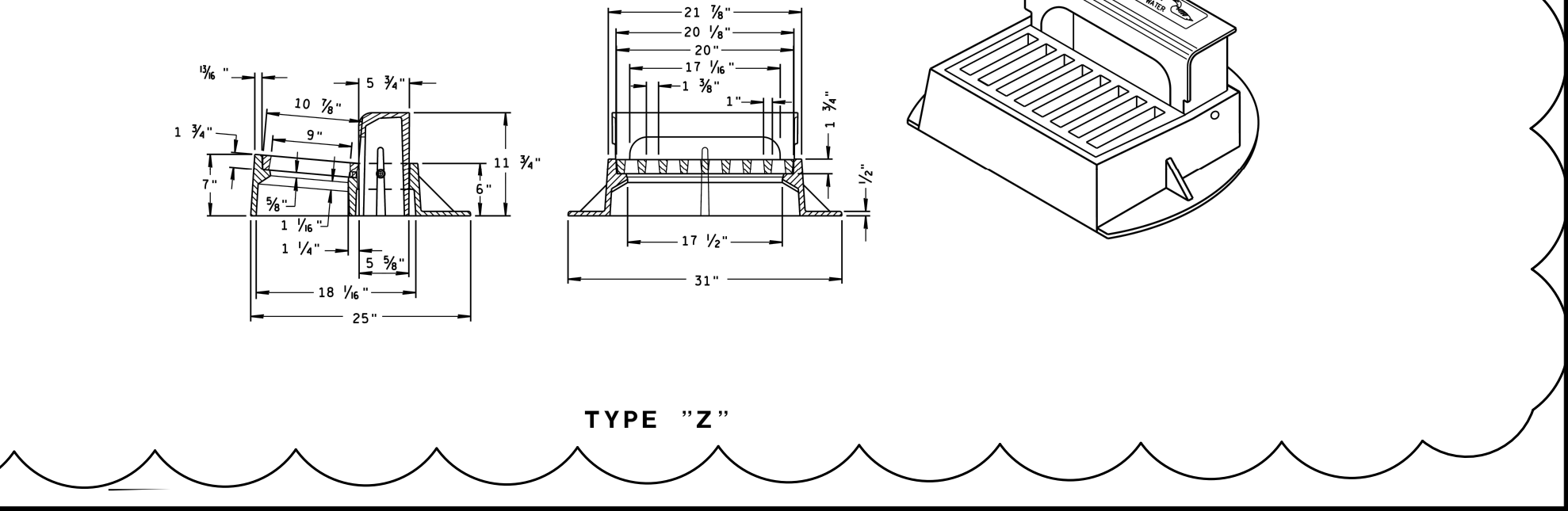
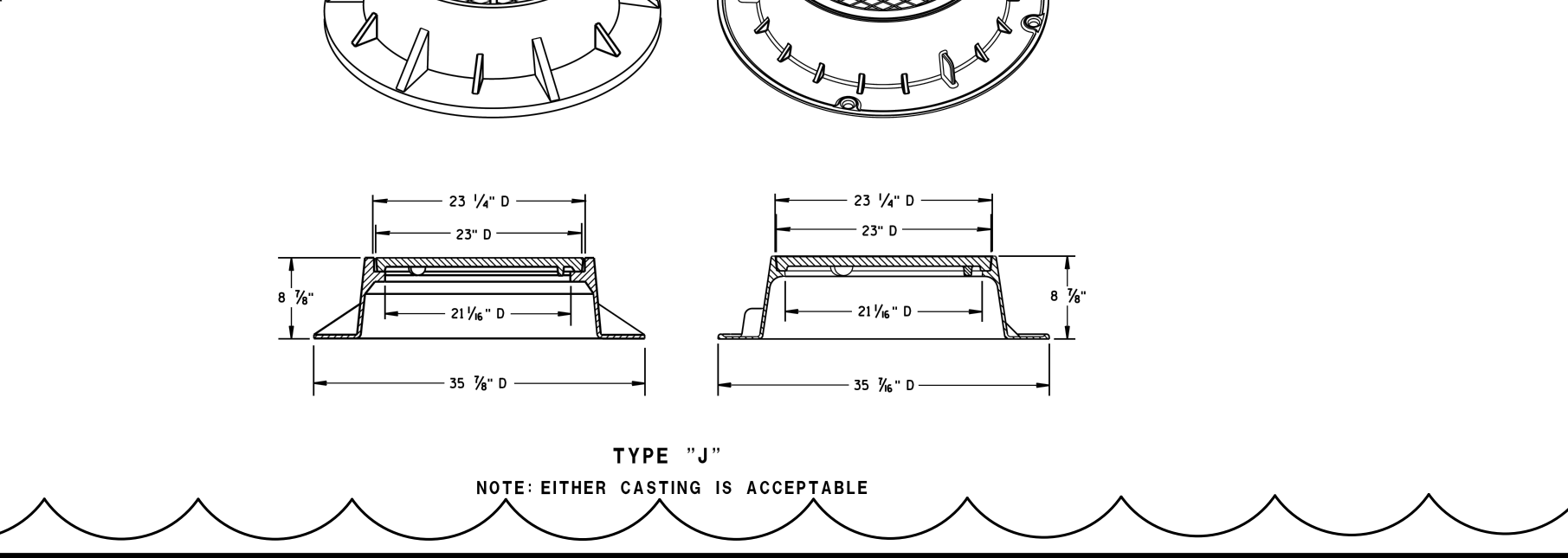
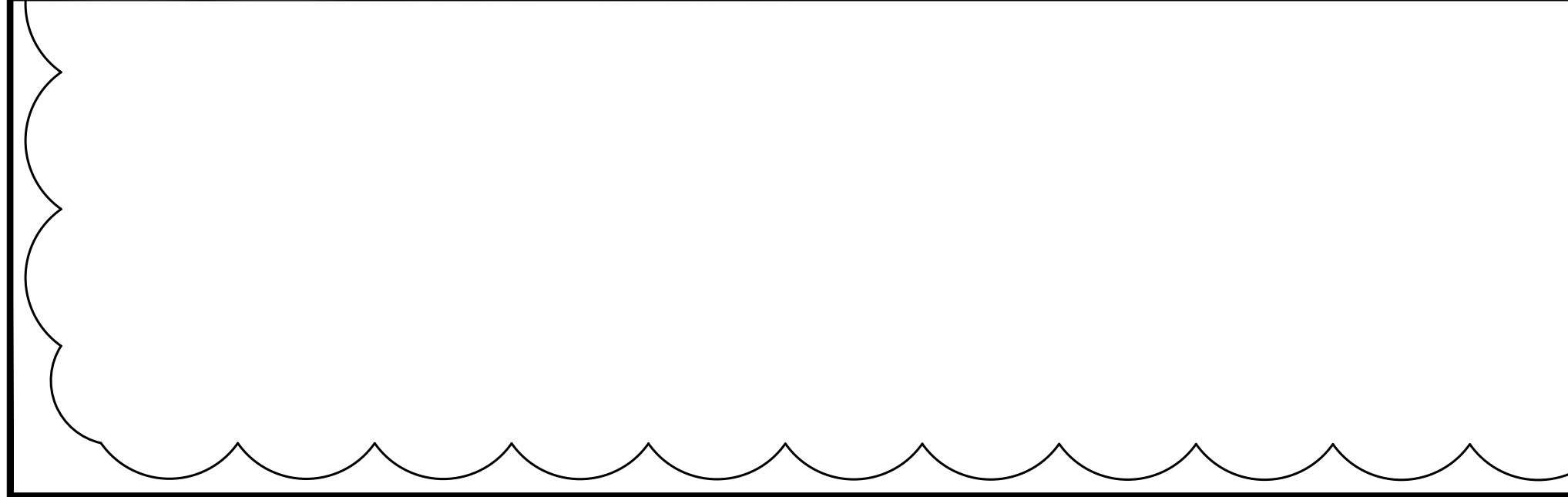
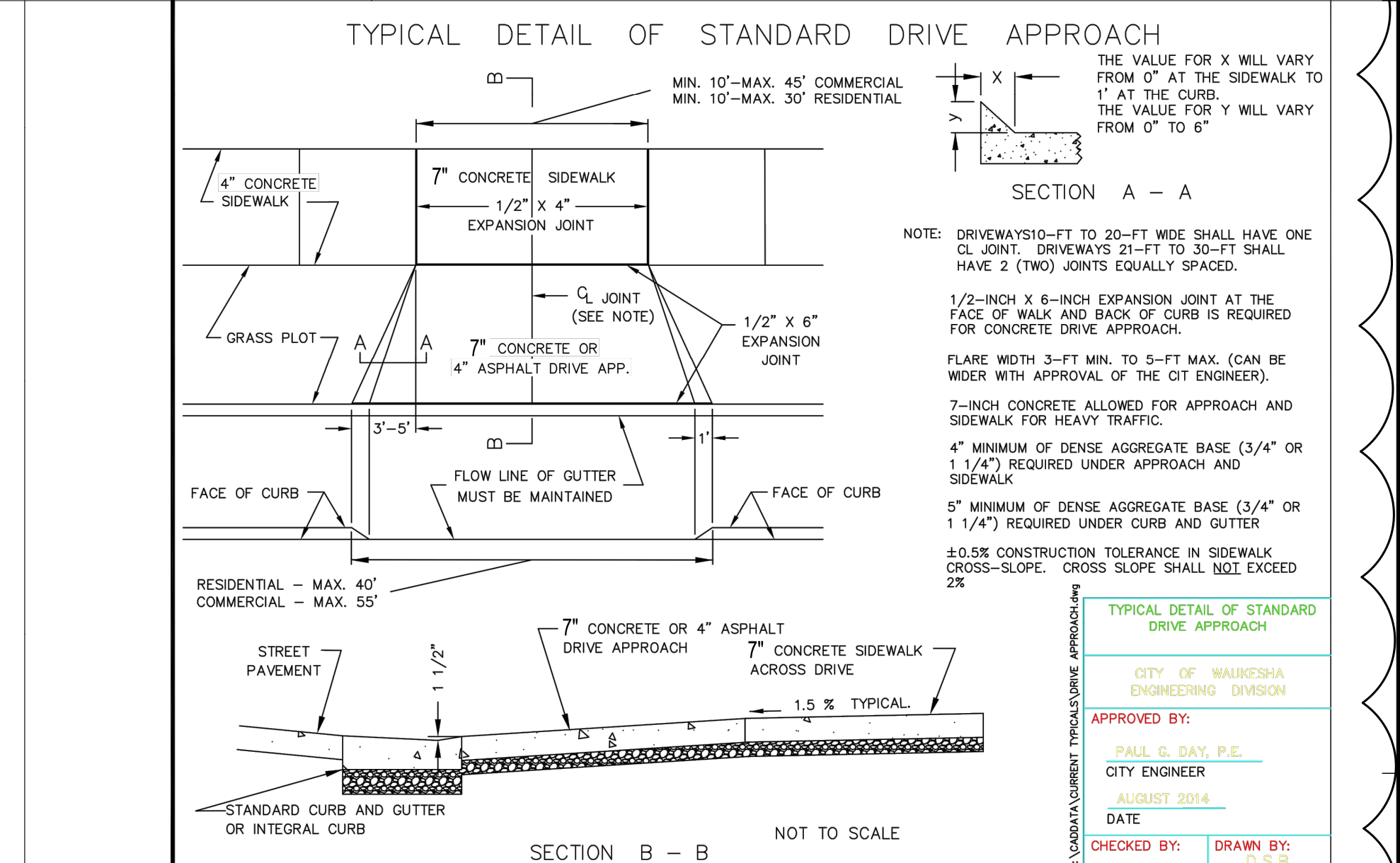
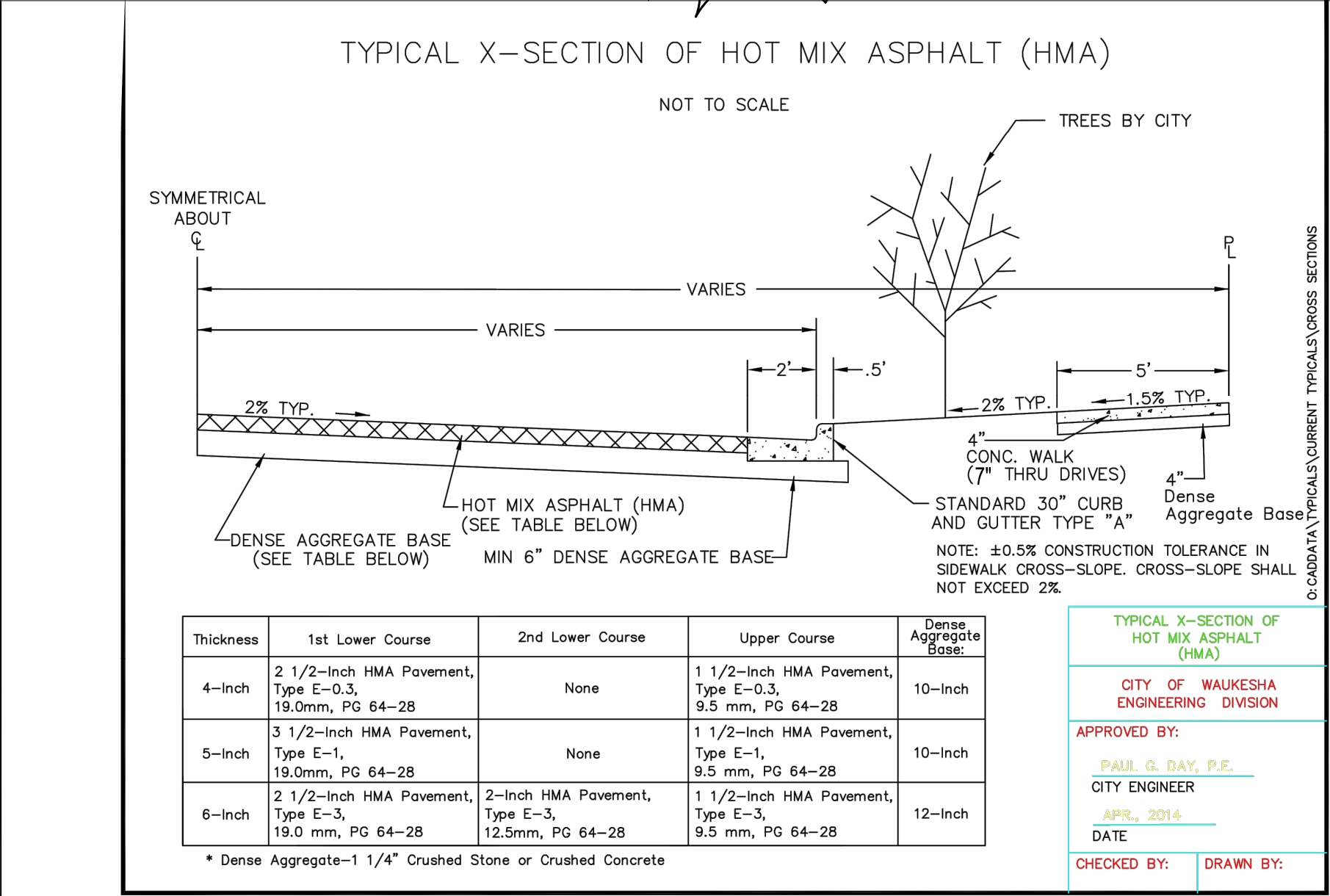
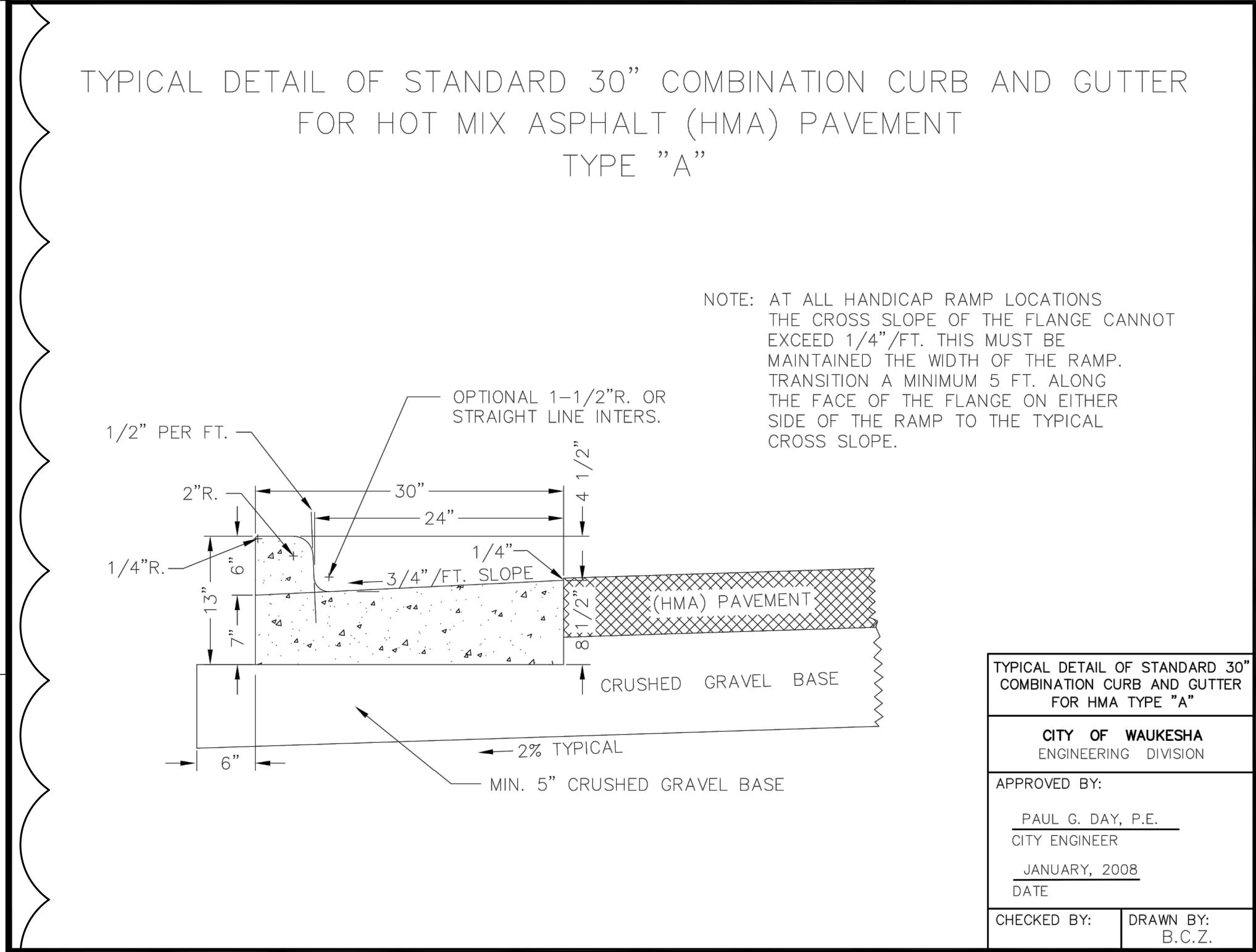
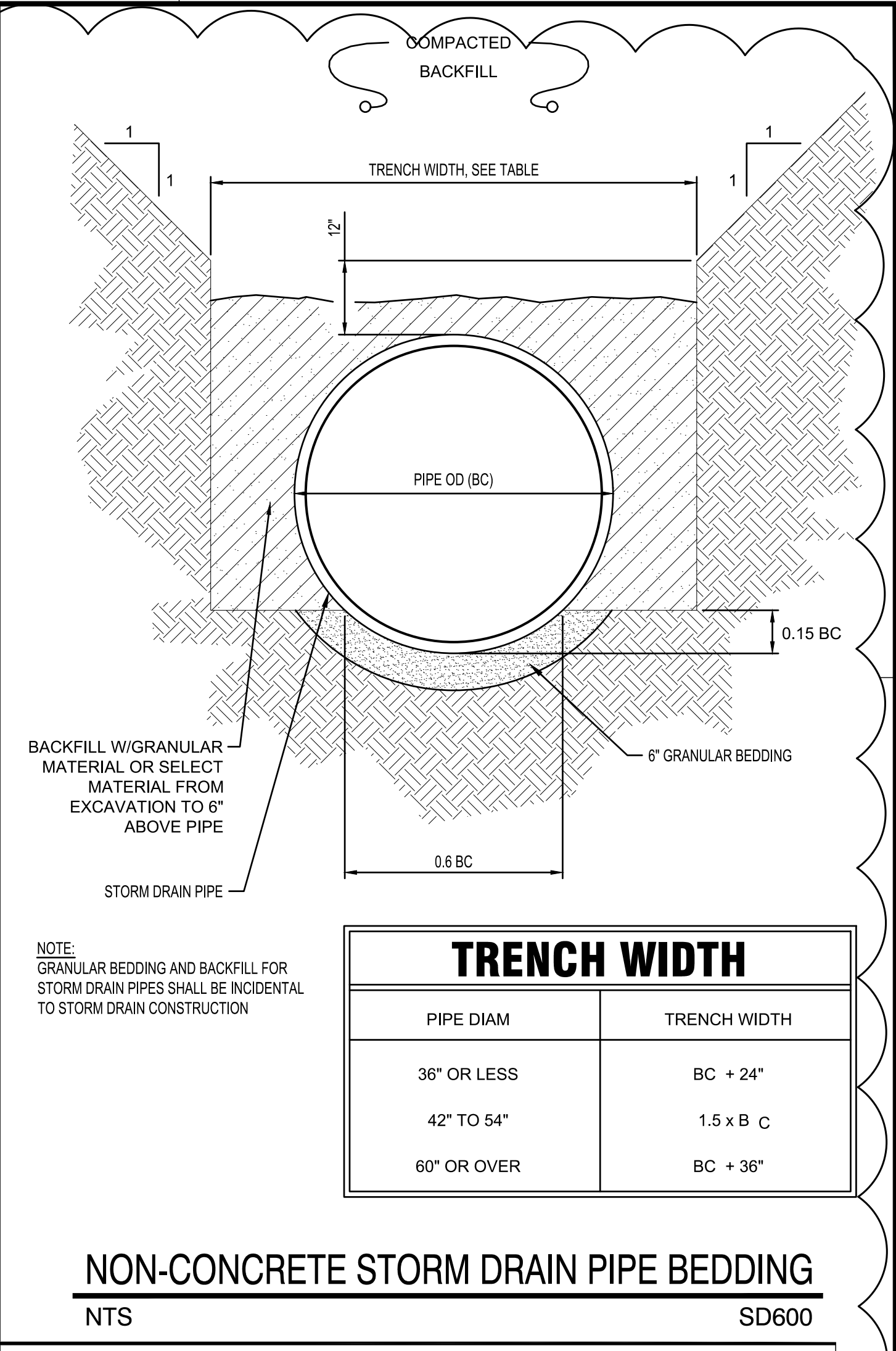
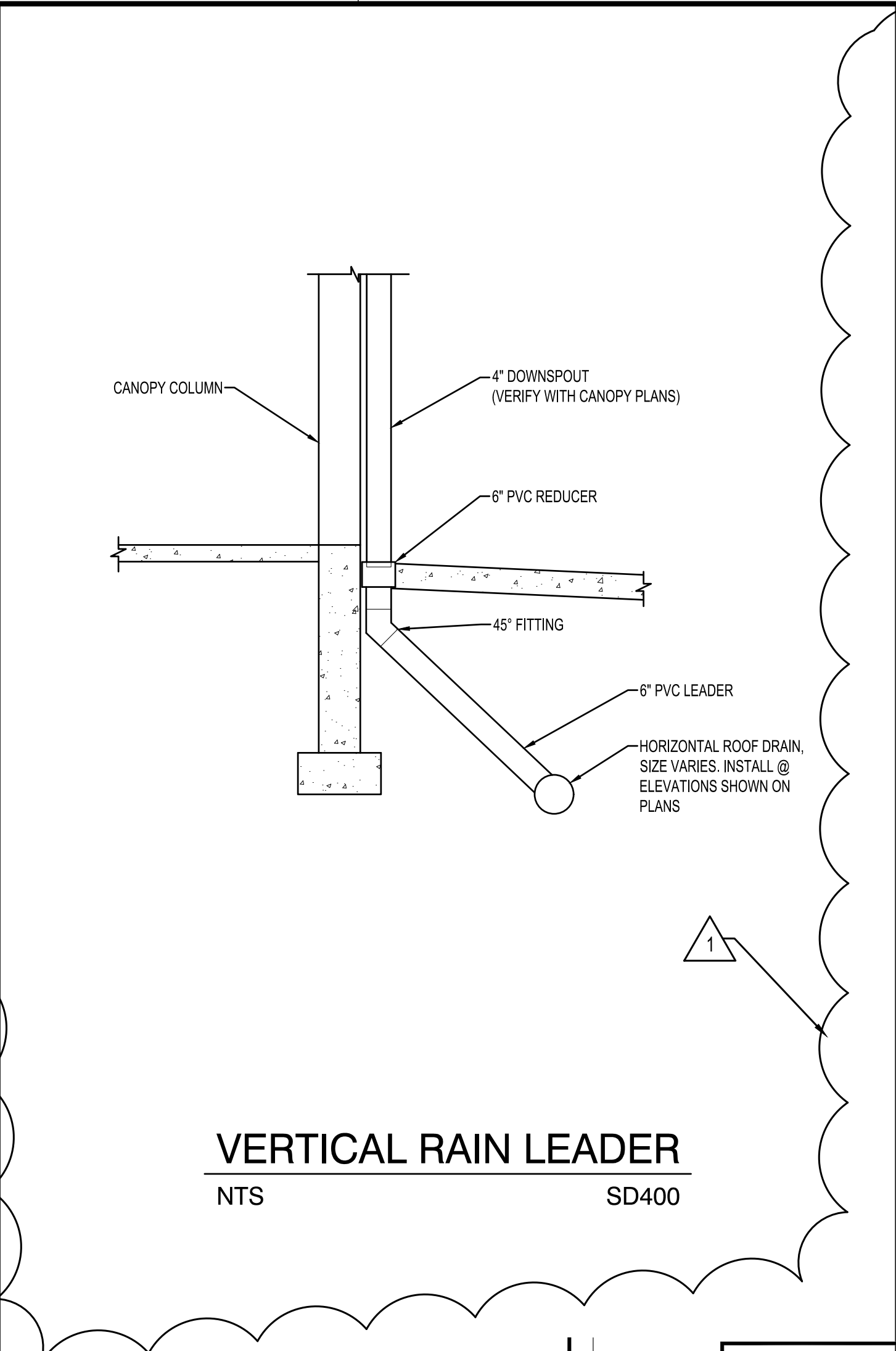
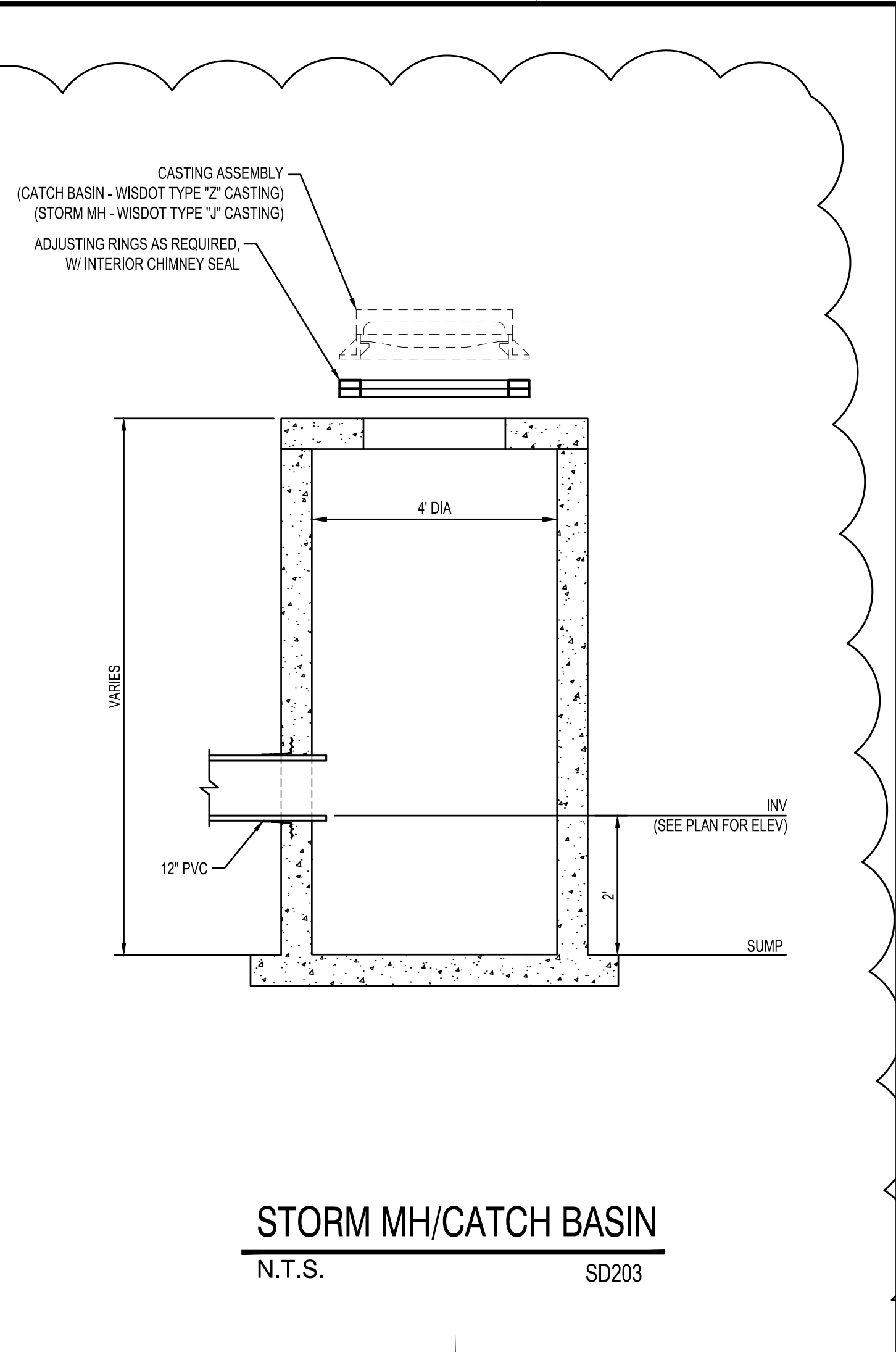
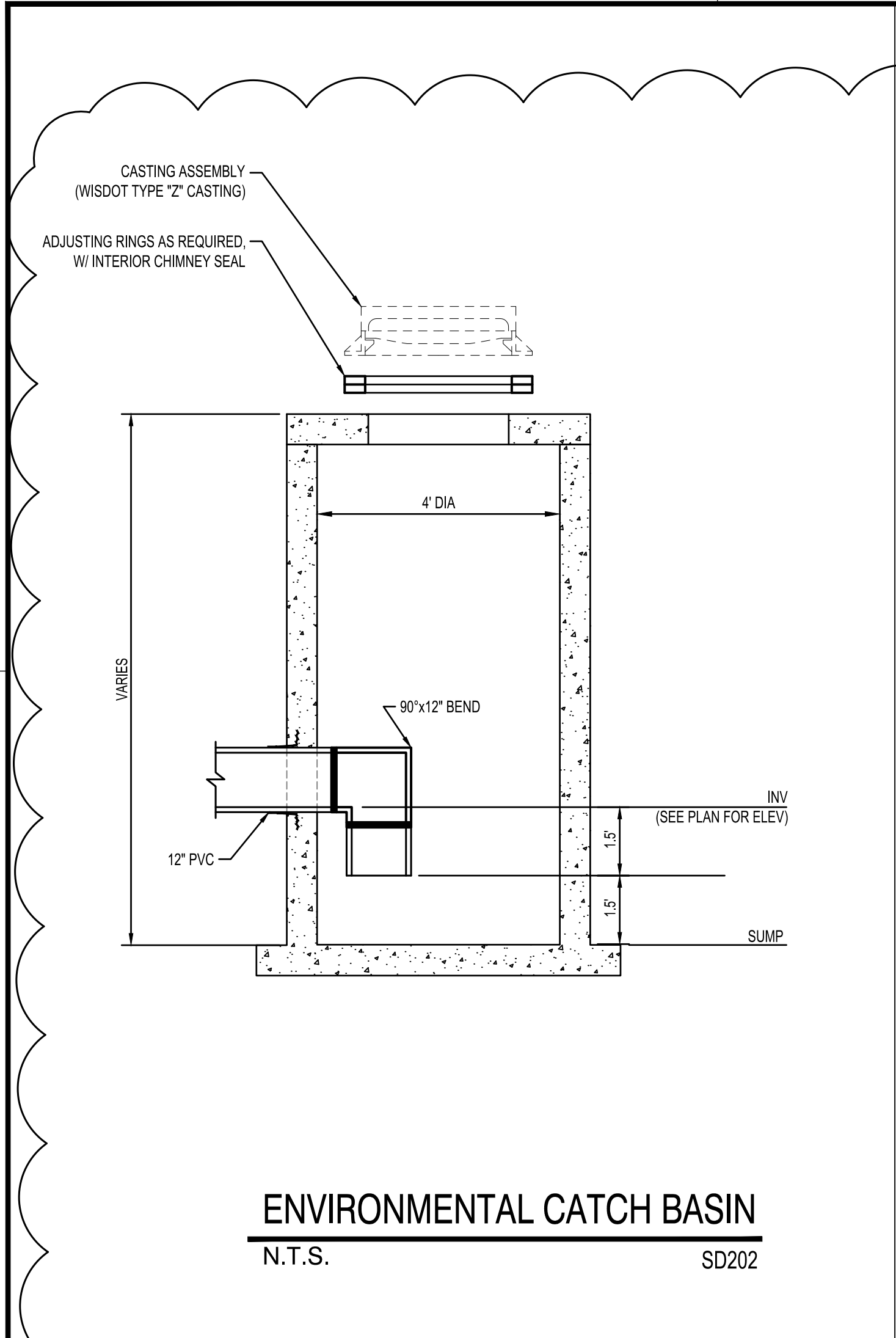
1. CONCRETE REINFORCEMENT SHALL BE #4 BAR AT 4' OC BOTH WAYS.



1. ALL EXPOSED EDGES OF CONCRETE SHALL BE FINISHED WITH AN EDGING TOOL HAVING A RADIUS OF 1/4" INCH UNLESS OTHERWISE NOTED.
2. CURB SHALL BE TIED INTO EXISTING PAVEMENT.



C-500



Kwik Trip
EXPRESS #527
1700 PEWAUKEE ROAD
WAUKESHA, WI 53188

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
10/06/2016	PLAN REVIEW COMMENTS	KBR

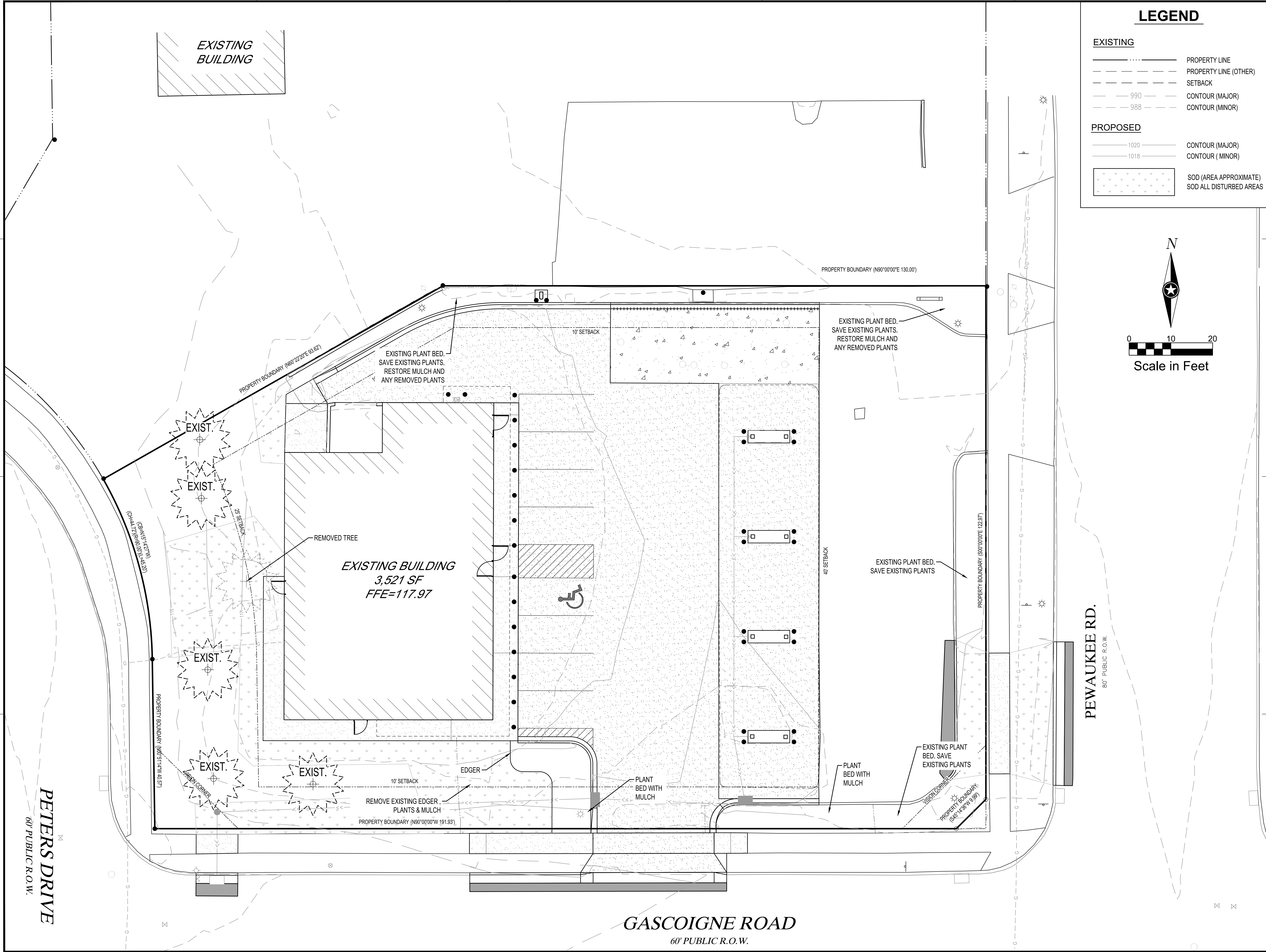
PROJECT NO.	16-19524
FILE NAME	19524 C5-DETAILS
DRAWN BY	CLF
DESIGNED BY	KBR
REVIEWED BY	WAK
ORIGINAL ISSUE DATE	10/03/2016
CLIENT PROJECT NO.	-

TITLE

SITE DETAILS

SHEET

C-501



LEGEND

EXISTING

.....

PROPERTY LINE

PROPERTY LINE (OTHER)

SETBACK

CONTOUR (MAJOR)

CONTOUR (MINOR)

PROPOSED

1020

1018

SOD (AREA APPROXIMATE)

SOD ALL DISTURBED AREAS

CONTOUR (MAJOR)

CONTOUR (MINOR)

ISG

WISCONSIN
10/03/2016
WILLIAM A. KRATT
40457-006
A.CROSSE
Professional Engineer

Kwik Trip
Kwik Star

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PROJECT

1700 PEWAUKEE ROAD WAUKESHA, WI 53188

WAUKESHA WISCONSIN

REVISION SCHEDULE

DATE	DESCRIPTION	BY

PROJECT NO. 16-19524

FILE NAME 19524 C6-LANDSCAPE

DRAWN BY CWT

DESIGNED BY CWT

REVIEWED BY WAK

ORIGINAL ISSUE DATE 10/03/2016

CLIENT PROJECT NO. -

TITLE

RESTORATION PLAN

SHEET

C-600

EXISTING
BUILDING

PLANT SCHEDULE

QTY	KEY	COMMON NAME / Latin name	SIZE	ROOT	NOTE
1	BS	BLACK HILLS SPRUCE <i>Picea glauca</i>	8' HT.	B.B.	
5	FDD	FIRE DANCE DOGWOOD <i>Cornus sericea 'Bailadeline'</i>	24" HT.	CONT.	
12	FRG	FEATHER REED GRASS <i>Calamagrostis x acutiflora 'Karl Foerster'</i>	4"	POT	
11	GMS	GOLD MOUND SPIREA <i>Spiraea x bumalda 'goldmound'</i>	16" HT.	CONT.	
6	TGA	TECHNY GLOBE ARBORVITAE <i>Thuja occidentalis 'Techny Globe'</i>	24" HT.	CONT.	

EXISTING

PROPERTY LINE
PROPERTY LINE (OTHER)
SETBACK
CONTOUR (MAJOR)
CONTOUR (MINOR)

PROPOSED

CONTOUR (MAJOR)
CONTOUR (MINOR)

LEGEND

EXISTING PLANTS

CONIFEROUS TREE

PROPOSED PLANTS

CONIFEROUS TREE

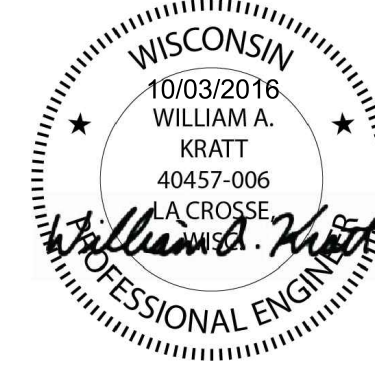
DECIDUOUS SHRUB

CONIFEROUS SHRUB

PLANT LABELS

PLANT KEY
NUMBER OF PLANTS

PLANT KEY



Kwik
TRIP
Kwik
STAR

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PROJECT

1700 PEWAUKEE
ROAD WAUKESHA,
WI 53188

WAUKESHA

WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

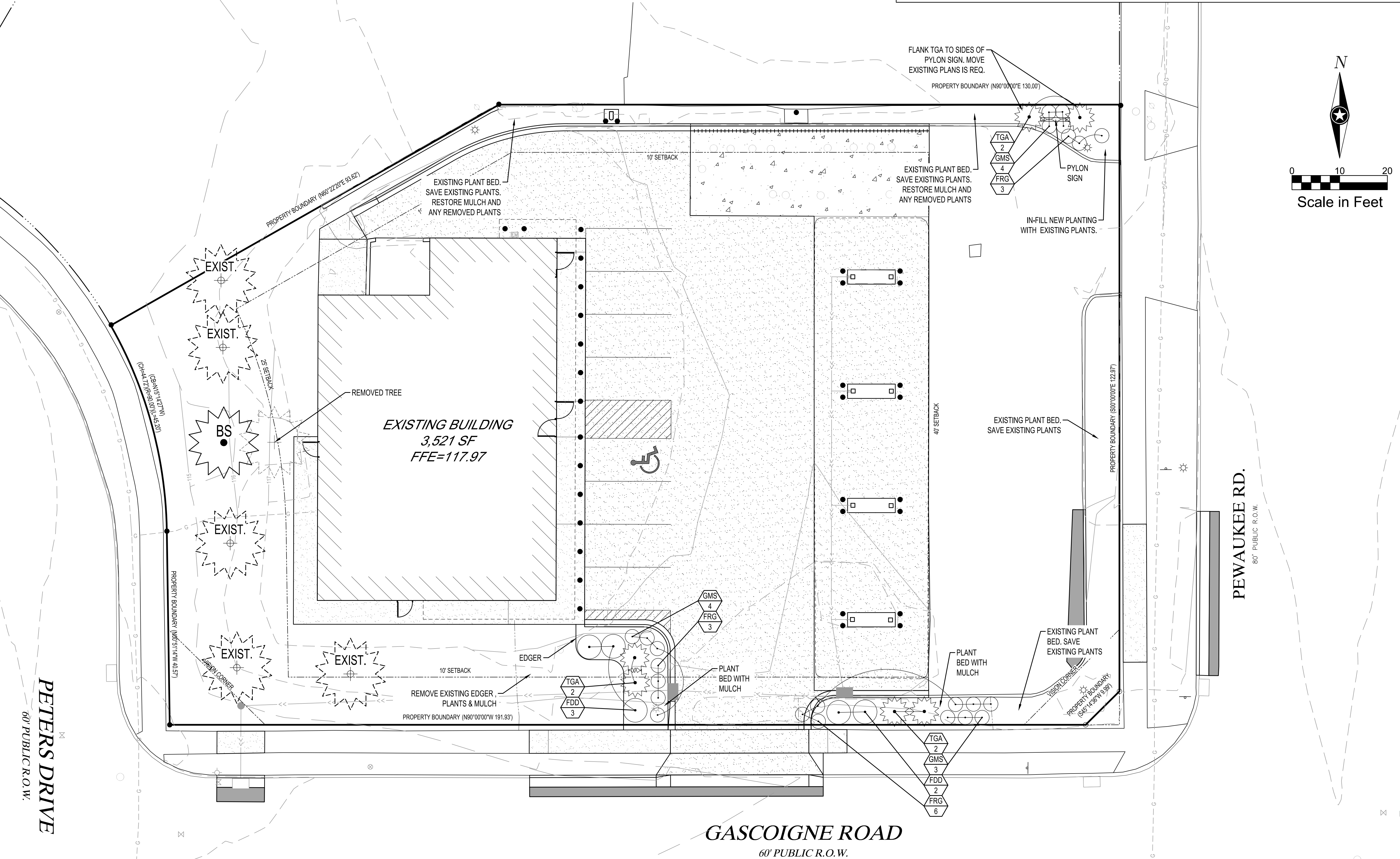
PROJECT NO.	16-19524
FILE NAME	19524 C6-LANDSCAPE
DRAWN BY	CWT
DESIGNED BY	CWT
REVIEWED BY	WAK
ORIGINAL ISSUE DATE	10/03/2016
CLIENT PROJECT NO.	-

TITLE

PLANTING PLAN

SHEET

C-601



TREE PLANTING NOTES

1. PRIOR TO DELIVERY TO THE SITE, THE CONTRACTOR SHALL LOCATE THE BUTTRESS ROOTS OR TRUNK FLARE OF EACH TREE. IF FLARE IS LOCATED MORE THAN 2" DOWN FROM THE TOP OF THE ROOTBALL, THE TREE IS REJECTED AND SHALL NOT BE DELIVERED TO THE SITE.
2. ONCE THE PROPERLY GROWN TREE IS DELIVERED TO THE SITE, MEASURE DISTANCE BETWEEN TOP OF THE BUTTRESS ROOTS AND THE BOTTOM OF THE ROOTBALL. SUBTRACT 2" TO DETERMINE DEPTH OF PLANTING PIT.
3. DIG PIT TO DEPTH DETERMINED ABOVE. PIT SHALL BE DISHED WITH SIDEWALLS AS SHOWN BELOW. SCARIFY WALLS AND BOTTOM OF PIT.
4. SET TREE IN PIT SO THAT THE FLARE IS ONE-TWO INCHES ABOVE SURROUNDING GRADE. IN ALL AREAS WITH HEAVY CLAY OR POORLY DRAINED SOILS (MOTTLING), CONTACT LANDSCAPE ARCHITECT. TREE MAY BE RELOCATED OR THE ROOTBALL FURTHER ELEVATED.
5. REMOVE ANY SOIL FROM TOP OF ROOTBALL TO EXPOSE TOP OF FLARE. THE LANDSCAPE ARCHITECT WILL NOT ACCEPT ANY TREE UNLESS THE FLARE IS VISIBLE.
6. BACKFILL PLANTING PIT TO WITHIN 12" OF GRADE AND THOROUGHLY WATER.
7. REMOVE BURLAP, WIRE, AND ALL ROPE FROM THE TOP 12" OF THE ROOTBALL
8. BACKFILL TO THE TOP OF THE ROOTBALL
9. DO NOT CREATE WATERING RING
10. CONTACT OWNER'S REPRESENTATIVE TO INSPECT PLANTING PRIOR TO PLACING ANY MULCH OVER THE ROOT BALL.

GENERAL PLANTING NOTES

1. COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
2. SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
3. REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
4. LAWN AREAS SHALL HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL BE COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
5. REFER TO PLANTING DETAILS PLAN FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES. REFER TO SPECIFICATIONS FOR MIX TYPE.
6. FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
7. ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
8. IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
9. OWNER RESERVES THE RIGHT TO REVISE QUANTITIES TO SUIT BUDGET LIMITATIONS. CONTRACTOR'S UNIT BID PRICES SHALL PREVAIL FOR ANY CHANGES IN QUANTITIES.
10. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE AND OWNER.
11. ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.N.S.I.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.N.S.I.

CONTAINER GROWN TREES

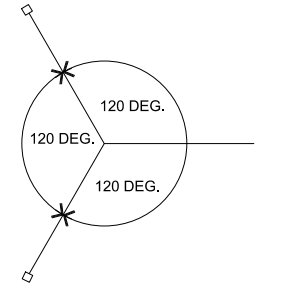
1. LOCATE BUTTRESS ROOTS (SEE NOTES ABOVE).
2. REMOVE EXCESS SOIL FROM TOP OF ROOT BALL TO EXPOSE TRUNK FLARE. MEASURE DEPTH OF ROOTBALL TO DETERMINE DEPTH OF PLANTING PIT.
3. TO ELIMINATE ENCIRCLING ROOTS, MAKE SEVERAL VERTICAL SLITS AROUND PERIMETER OF ROOT MASS FROM TOP TO BOTTOM OF THE ROOTBALL. DEPTH OF SLITS INTO THE ROOTBALL SHALL BE AT LEAST 2".

STAKING

GUY ASSEMBLY: 16" POLYPROPYLENE OR POLYETHYLENE (40 MIL) 1-1/2" WIDE STRIP- (TYP.) DOUBLE STRAND 14 GA WIRE & 3 STEEL STAKES OR SIGN POSTS @ 120 DEG. O.C. (SEE STAKING DIAGRAM).

CONTRACTOR SHALL STAKE TREES ONLY IF THE TREE(S) BEGIN TO LEAN WITHIN THE GUARANTEE PERIOD.

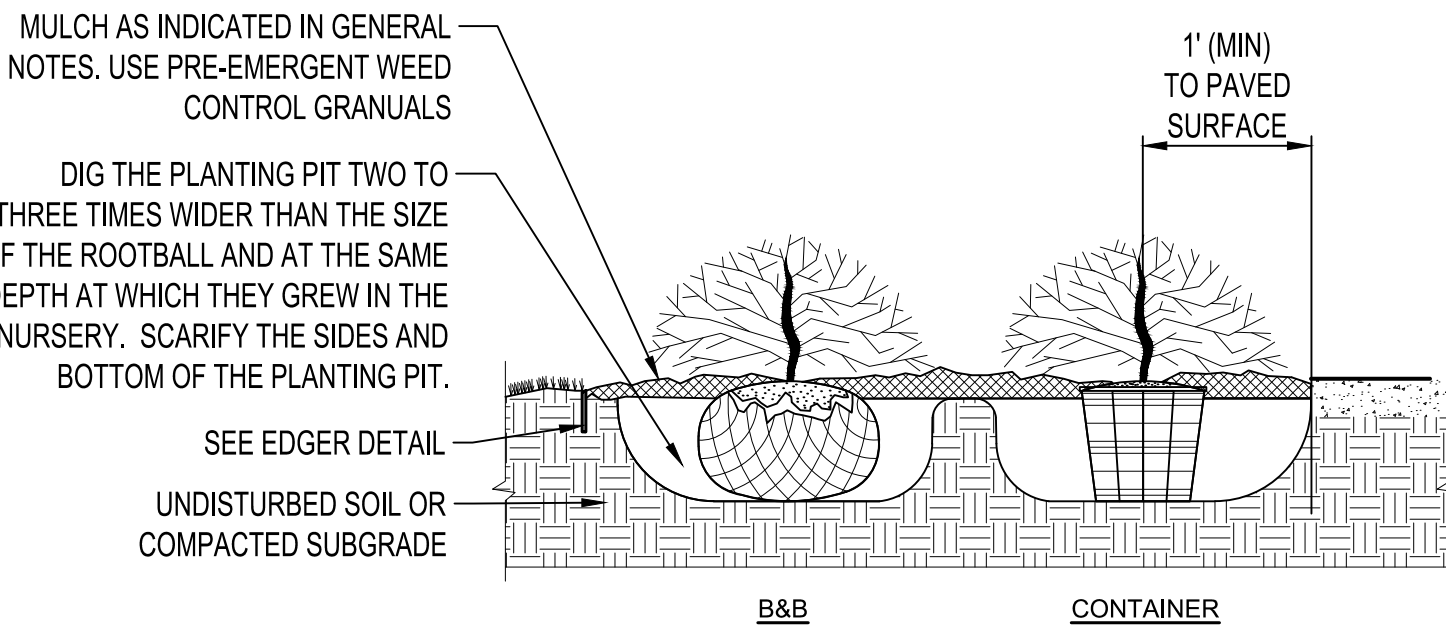
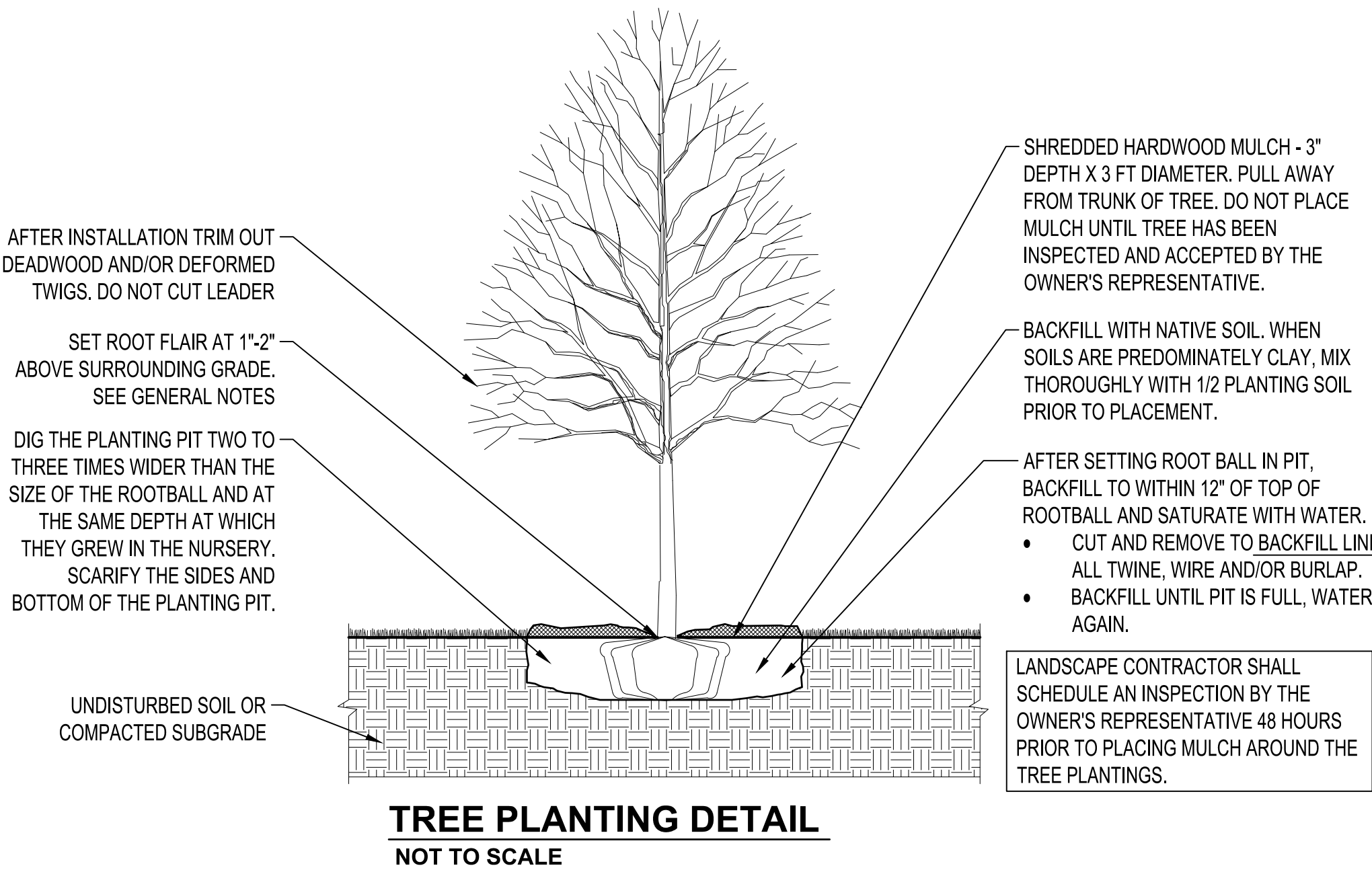
COORDINATE STAKING TO INSURE UNIFORM ORIENTATION OF GUY LINES AND STAKES.



STAKING DIAGRAM

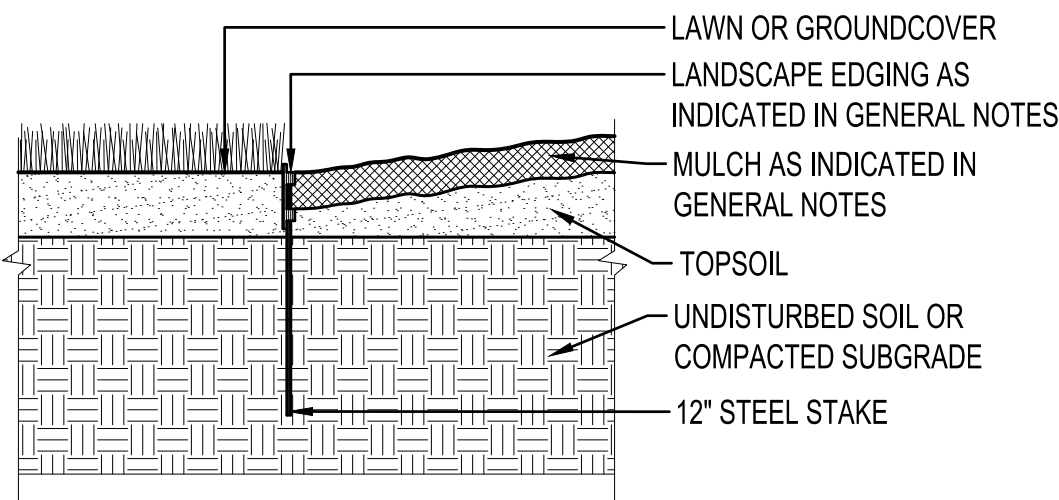
TREES WITH BE REJECTED FOR THE FOLLOWING REASONS:

- POOR FORM
- DAMAGED TRUNK
- BURIED ROOT FLARES
- ENCIRCLING TRANSPORT ROOTS
- UNCONSOLIDATED ROOTBALL SOIL (DUE TO EXCESSIVE HANDLING)



INSTALLATION NOTES:

1. REMOVE CONTAINER (BY CUTTING IF NCCCESSARY)
2. IF ROOTS ARE GROWING IN A SPIRAL AROUND THE SOIL MASS, USE A SHARP KNIFE TO SCORE THE OUTSIDE OF SOIL MASS VERTICALLY, JUST DEEP ENOUGH TO CUT THE NET OF THE ROOTS, AND MAKE A CRISS-CROSS CUT ACROSS THE BOTTOM OF THE SOIL MASS.
3. BACKFILL PLANTING BED WITH ORIGINAL SOIL. BREAK UP CLODS OF SOIL. IF SOILS ARE POOR (IE: HEAVY CLAYS, SAND, OR COMPACTED), BACKFILL CAN BE A MIXTURE OF 1/3 SOIL AMENDMENT WITH 2/3 ORIGINAL SOIL. DO NOT USE PEAT AS PART OF BACKFILL IN CLAY SOILS. REMOVE ALL ROCKS AND DEBRIS FROM BACKFILL.
4. THOROUGHLY WATER TO SETTLE THE PLANTS AND FILL VOIDS WITHIN TWO HOURS OF PLANTING. INSTALL MULCH WITHIN 48 HOURS OF WATERING.



EDGER DETAIL
NOT TO SCALE



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PROJECT

1700 PEWAUKEE ROAD WAUKESHA, WI 53188

WAUKESHA

WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	16-19524
FILE NAME	19524 C6-LANDSCAPE
DRAWN BY	CWT
DESIGNED BY	CWT
REVIEWED BY	WAK
ORIGINAL ISSUE DATE	10/03/2016
CLIENT PROJECT NO.	-

TITLE

PLANTING NOTES & DETAILS

SHEET

C-602

Exhibit C

Storm Water Practice Maintenance Plan

This exhibit explains the basic function of each of the storm water practices listed in Exhibit B and prescribes the minimum maintenance requirements to remain compliant with this Agreement. The maintenance activities listed below are aimed to ensure these practices continue serving their intended functions in perpetuity. The list of activities is not all inclusive, but rather indicates the minimum type of maintenance that can be expected for this particular site. Access to the stormwater practices for maintenance vehicles is shown in Exhibit B. Any failure of a storm water practice that is caused by a lack of maintenance will subject the Owner(s) to enforcement of the provisions listed on page 1 of this Agreement by the City of Waukesha.

System Description:

The onsite stormwater management provides treatment for stormwater prior to discharging to the City storm sewer. The system consists of two catch basins and a manhole with sumps to settle out sediment in the stormwater. One catch basin on site also incorporates an inverted 90° bend to prevent petroleum products from flowing off site. The stormwater management system serves approximately 0.33 acres of the site consisting of paved areas and the gas canopy.

Construction drawings of the catch basin, showing dimensions, elevations and locations are provided as part of Exhibit B.

Minimum Maintenance Requirements:

To ensure the proper long-term function of the storm water management practices described above, the following activities must be completed using the inspection checklist on the following pages:

1. Catch basin inlets and outlets must be checked after heavy rains (minimum of annually) for excessive trash, debris or sediment accumulation at inlet as well as signs of erosion at or around the inlet.
2. When sediment in the sumps has accumulated to an elevation of foot below the outlet elevation, it must be removed. All removed sediment must be disposed of according to applicable regulations.
3. Any other repair or maintenance needed to ensure the continued function of the storm water practices or as ordered by the City of Waukesha under the provisions listed on page 1 of this Agreement.
4. The titleholder(s) or their designee must document all inspections as specified above. Documentation shall include as a minimum: (a) Inspectors Name, Address and Telephone Number, (b) Date of Inspections, (c) Condition Report of the Storm Water Management Practice, (d) Corrective Actions to be Taken and Time Frame for Completion, (e) Follow-up Documentation after Completion of the Maintenance Activities. All documentation is to be delivered to the attention of the City Engineer at the City of Waukesha Engineering Department on January 10th and July 10th each year.

BMP Inspection Schedule and Checklist



Inspection Date:

Inspector

Name:

Address:

Phone Number:

Corrective Actions Needed:

Time Frame for Completing Corrective Actions:

A. Inlets

- 1 = Good Condition
- 2 = Acceptable, Item on Watch
- 3 = Item Requires Maintenance Within the Year
- 4 = Failed Item, Requires Immediate Maintenance

Note: All items associated with Pretreatment shall be inspected twice a year.
Once in early Spring and once in late Fall.

- 1. Inlets provide stable conveyance into facility
- 2. Excessive trash/debris/sediment accumulation at inlet
- 3. Evidence of erosion at/around inlet

2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036

BMP Inspection Schedule and Checklist

B. Outlets

- 1 = Good Condition
- 2 = Acceptable, Item on Watch
- 3 = Item Requires Maintenance Within the Year
- 4 = Failed Item, Requires Immediate Maintenance

Note: All items associated with Outlets shall be inspected twice a year.
Once in the early Spring and once in late Fall.

- 1. Outlets provide stable conveyance into facility
- 2. Excessive trash/debris/sediment accumulation at outlet
- 3. Evidence of erosion at/around outlet

2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036

C. Miscellaneous

- 1 = Good Condition
- 2 = Acceptable, Item on Watch
- 3 = Item Requires Maintenance Within the Year
- 4 = Failed Item, Requires Immediate Maintenance

Note: All miscellaneous items shall be inspected annually or as otherwise noted.

- 1. Complaints from local residents
- 2. Pest problems

2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036

BMP Inspection Schedule and Checklist

[illegible]

BMP Inspection Schedule and Checklist



Photographs	
Photo ID	Description
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2.	
3.	
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Sketch of Facility