# LEGAL DESCRIPTION PER COMMITMENT FILE NO. 838688

Lot 2 and Outlot 2 of Certified Survey Map No. 10537, recorded April 21, 2008 in Volume 101 of Certified Survey Maps on Pages 1 to 4 as Document No. 3564927, being a redivision of Outlot 1 and Outlot 2 of Certified Survey Map No. 10535, being a part of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4 of Section 12, Township 6 North, Range 19 East, in the City of Waukesha, County of Waukesha, State of Wisconsin. EXCEPTING those lands conveyed by a Quit Claim Deed recorded October 15, 2008 as Document No. 3604407 and those lands conveyed by a Quit Claim Deed recorded October 16, 2008 as Document No.

# **EXCEPTIONS:**

PER COMMITMENT FILE NO. 838688

10. Public or private rights, if any, in such portion of the subject premises as may be presently used, laid out, or dedicated in any manner whatsoever, for street, highway and/or alley purposes. (NOT SHOWN. LOCATION, IF ANY, CANNOT BE DETERMINED)

- 11. Easements, Restrictions and other matters shown on Certified Survey Map No. 10537 recorded April 21, 2008 as Document No. 3564927. (SHOWN-VISION TRIANGLE & SIDEWALK EASEMENT) (NOT SHOWN-TEMP. SLOPE EASEMENT APPEARS RELEASED OR OTHERWISE TERMINATED DUE TO SIDEWALK INSTALLED) (NOT SHOWN-TEMP. CUL-DE-SAC EASEMENT APPEARS RELEASED OR OTHERWISE TERMINATED DUE TO ROAD BEING EXTENDED)
- 12. Access limitations and other matters contained in the instrument recorded as Document No. 574104. (NOT SHOWN-BLANKET RESTRICTIONS FOR LANDS ALONG S.T.H. "164"&"59".)
- 13. Easement and other matters contained in the instrument recorded September 18, 1945 as Document No. 277584. (NOT SHOWN-NOT ON OR TOUCH PROPERTY.)
- 14. Easement and other matters contained in the instrument recorded June 3, 1950 as Document No. 338306. (NOT SHOWN-NOT ON AND DOES NOT TOUCH PROPERTY, EASEMENT AND PROPERTY DESCRIBED ARE IN AND ALONG THE RIGHT-OF-WAY OF S.T.H. "164"&"59")
- 15. Easement and other matters contained in the instrument recorded January 14, 1983 as Document No. 1201883. (NOT SHOWN-NOT ON OR TOUCH PROPERTY.)
- 16. Covenants, conditions, restrictions and other matters contained in the Instrument recorded as Document No. 537523, but omitting any such covenant, condition or restriction based on race, color, religion, sex, handicap, familial status or national origin, unless and only to the extent that said covenant (a) is exempt under Chapter 42, Section 3607 of the United States Code, or (b) relates to handicap but does not discriminate against handicapped persons. (NOT SHOWN-APPEARS RELEASED OR OTHERWISE TERMINATED. CONDITIONAL USE FOR A FOUNDARY THAT NO LONGER EXISTS IN THEN TOWN OF WAUKESHA)
- 17. Easement and other matters contained in the instrument recorded May 4, 1988 as Document No. 1477579. (NOT SHOWN-NOT ON OR TOUCH PROPERTY.)
- 18. NOTICE: County Highway Width Ordinance filed April 18, 1957 as No. 1. (NOT SHOWN-DOCUMENTS PROVIDED ARE ILLEGIBLE. BLACK/WHITE DOCUMENT IS COLOR CODED.)
- 19. Declaration of Covenants and Restrictions and other matters contained in the instrument recorded October 15, 2008 as Document No. 3604405 (NOT SHOWN-BLANKET DESCRIPTION.
- Affidavit of Correction recorded November 13, 2008 as Document No. 3610209. (NOT SHOWN-BLANKET DESCRIPTION.)

Amendment to Declaration of Covenants and Restrictions recorded May 17, 2010 as Document No. 3744678. (NOT SHOWN-BLANKET DESCRIPTION.)

- 20. Storm Water Management Practice Maintenance Agreement and other matters contained in the instrument recorded October 23, 2008 as Document No. 3605974.(NOT SHOWN-BLANKET DESCRIPTION PER EXHIBIT A.)(NOT SHOWN-NOT ON OR TOUCH PROPERTY PER EXHIBIT B. OUTLOT 1 AND LOT 1 OF CSM#10537.)
- 21. Distribution Easement Underground Joint and other matters contained in the instrument recorded November 13, 2008 as Document No. 3610208. (SHOWN)
- 22. Distribution Easement Underground and other matters contained in the instrument recorded July 15, 2009 as Document No. 3677982. (NOT SHOWN-NOT ON AND DOES NOT
- 23. Developer's Agreement Bryce Commercial Center and other matters contained in the instrument recorded April 4, 2012 as Document No. 3906808. (NOT SHOWN-BLANKET
- 24. AT&T Wisconsin Exclusive Easement and other matters contained in the instrument recorded December 1, 2008 as Document No. 3612673. (NOT SHOWN-NOT ON AND DOES NOT
- 25. Easement Agreement and other matters contained in the instrument recorded May 20, 2009 as 25. Document No. 3658720. (NOT SHOWN-NOT ON AND DOES NOT TOUCH PROPERTY)

Memorandum of Assignment of Easements and other matters contained in the instrument recorded February 24, 2016 as Document No. 4192835. (NOT SHOWN-NOT ON AND DOES NOT

26. Distribution Easement Underground and other matters contained in the instrument recorded June 30, 2009 as Document No. 3673422. (NOT SHOWN-NOT ON AND DOES NOT

- 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)

(SXX'XX'XX"W)\_ RECORDED AS

— UTILITY POLE

E - ELECTRIC BOX

S - SANITARY MANHOLE

DRAINAGE MANHOLE

GV − GAS VALVE ₩ – WATER VALVE

y - HYDRANT

ANNOTATION

- CONCRETE

ALTA/NSPS LAND TITLE SURVEY 15'X15' SIDEWALK BEING A PART LOT 2 & OUTLOT 2 OF C.S.M. #10537, AND PART OF FASFMENT PER THE NORTH 1/2 OF THE SW. 1/4 OF SECTION 12, T.6N., R.19E., CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN VISION CORNER (A) "I" ANGLE: 11°45'40"

LENGTH: 42.84'

RADIUS: 120.00'

CHORD: 42.61'

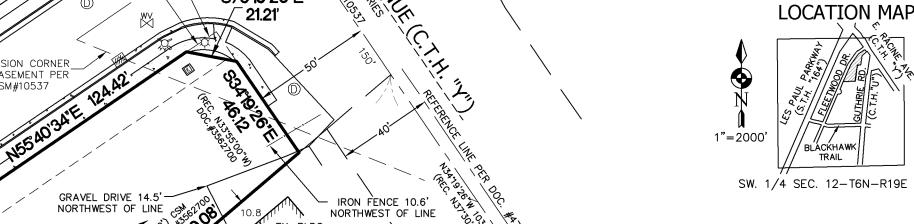
BEARING: N45°26'54"E

RADIUS: 120.00'

CHORD: 24.59'

BEARING: N29°20'24"E

ANGLE: 20°27'20"



14,59

UNPLATTED\_LANDS

N87°02'21"E 161.92'

SOUTHEAST OF LINE

- LOT LINE EXTENDED TO

UNPLATTED LANDS V.515 P.415

WESTERLY LINE OF LANDS DESCRIBED IN V.515 P.415

S86°54'51"W 264.50' (REC. S86°W) V.811 P.231

UNPLATTED LANDS

- NORTHERLY LINE OF LANDS DESCRIBED IN V.811 P.231

(REC. N89°57'40"E 260') V.811 P.231

N89\*04<sup>'</sup>34"E 209.71' (REC. N89\*28'00"E 209.58') CSM#8388

- WESTERLY LINE OF LANDS DESCRIBED IN V.348 P.123 & V.464 P.288 & CSM#8388

<u>LOT 2</u> <u>CSM #8388</u>

(REC. N89°28'00"E) CSM#8388

N89°04'34"E 209.58'

N89°04'34"E 262.49'

CSM #8388

(REC. N86°E) V.515 P.415

N86 54'11"E 193.00'

DERELICT CARS

487°02'21'

3/4"REBAR -

STORM INLET -

UNDETERMINED EXTENTS)

\S87'26'54'W\\71.50'

S86°54'51'W 71.50'

- WESTERLY LINE OF LANDS DESCRIBED IN V.811 P.231

OVERLAP

-3/4" REBAR FND

-SOUTHWEST CORNER OF LAND DESCRIBED IN V.348 P.123 & CSM#8388

<u>LOT 1</u> <u>CSM\_#10608</u>

LOT 2

CSM #10537

EASTERLY LINE OF LANDS DESCRIBED IN DOC.#3562700

SOUTHERLY LINE OF LANDS DESCRIBED IN DOC.#3562700 -SOUTHERLY LINE OF LANDS DESCRIBED IN CSM#10537

EASTERLY LINE OF LANDS DESCRIBED IN CSM#10537 -

REMNANT SNOW FENCE-

EASTERLY LINE OF LANDS DESCRIBED IN DOC.#3562700 -

EASTERLY LINE OF LANDS DESCRIBED IN CSM#10537 -

EASTERLY LINE OF LANDS DESCRIBED IN DOC.#3562700

EASTERLY LINE OF LANDS DESCRIBED IN CSM#10537 -

N613'14"E 2.40'

S89°04'34"W 6.50'-

OUTLOT 2

CSM #10537

S89'08'59'W 244.00'

<u>LOT 2</u> <u>CSM\_#10608</u>

(POSSIBLE EASEMENT OF

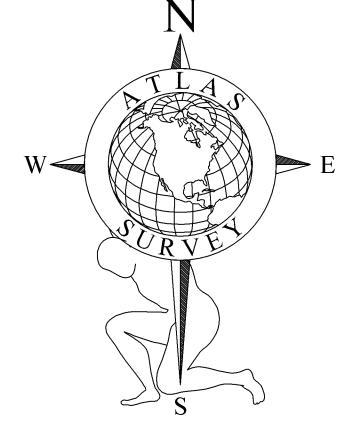
# **ATLAS SURVEY**

2826 SAINT ANDREWS COURT WAUKESHA, WI 53188 (262) 901-5256 WWW.ATLASSURVEYWI.COM INFO@ATLASSURVEYWI.COM SURVEYOR: BRYCE KACZOR, PLS S-2803 **SURVEY FOR:** 

MAD DOG PROPERTIES LLC 1177 QUAIL COURT, SUITE 100 PEWAUKEE, WI 53072 414-719-2769 PROPERTY:

FLEETWOOD DRIVE WAUKESHA, WI 53186 SCALE: 1'' = 40'

BEARINGS ARE REFERENCED TO NAD27, WISCONSIN STATE PLANE, SOUTH ZONE, GRID NORTH ON THE WEST LINE OF THE SW 1/4 OF SECTION 12-6-19 AS S0°23'29"E.



1. EASEMENT LOCATIONS BASED ON INFORMATION FURNISHED BY KNIGHT BARRY TITLE, INC., TITLE POLICY FILE NO. 838688, DATED

2. THE SURVEYOR TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS. UTILITIES. HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION. THE SURVEYOR WILL NOT ENTER ANY BUILDINGS ON

3. THE FIELD WORK WAS COMPLETED ON NOV. 7, 2016.

4. NO BUILDINGS ON SITE.

# **SURVEYORS NOTES:**

1. DEEDED AND MONUMENTED OVERLAPS AND GAPS HAVE BEEN FOUND BETWEEN CSM #10537 AND PROPERTIES TO EAST.

2. THE CURRENT LEGAL DESCRIPTION OF THIS PROPERTY'S EASTERLY BOUNDARY LINE PER CSM#10537 DOES NOT AGREE WITH THE OLD LEGAL DESCRIPTION OF THIS PROPERTY'S EASTERLY BOUNDARY LINE DESCRIPTION PER DOC. #3562700.

3. THE OLD LEGAL DESCRIPTION OF THIS PROPERTY'S EASTERLY BOUNDARY LINE DESCRIBED IN DOC. #3562700, HAS NO GAPS OR OVERLAPS WITH THE PROPERTIES TO THE EAST. THE PROPERTY'S OLD BOUNDARY LINE PER DOC. #3562700 CALLS OUT THE EASTERLY PROPERTIES' BOUNDARY.

4. IT IS THE OPINION OF THIS SURVEYOR THAT THE DEEDED AND MONUMENTED GAPS AND OVERLAPS SHOULD BE RESOLVED BY QUIT-CLAIM DEEDS OR OTHER ACCEPTABLE METHODS TO RESOLVE THE EASTERLY BOUNDARY. THIS IS DUE TO THAT THE CSM BOUNDARY HAS CHANGED OWNERS AND SAID BOUNDARY GAPS AND OVERLAPS ARE BOTH DEEDED AND MONUMENTED. THUS A SURVEY MAY BE INADEQUATE TO PERMANENTLY RESOLVE SAID GAPS AND OVERLAPS.

IN ACCORDANCE WITH AE 7.01(2)(a) OF WISCONSIN ADMINISTRATIVE CODE, THE MISSING LOT CORNER MONUMENTS WERE NOT RESET AT THIS TIME AS AGREED BY PROFESSIONAL LAND SURVEYOR AND CLIENT.



TO: MAD DOG PROPERTIES LLC FIRST FEDERAL BANK OF WISCONSIN KNIGHT BARRY TITLE, INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES NO ITEMS OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED

ON NOVEMBER 7, 2016. DATED THIS 9TH DAY OF FEBRUA

PROJECT #17391



LAND MARK ENGINEERING SCIENCES, INC

AD DOG PROPERTIES, LLC 900 & 1000 BLOCK OF FLEETFOOT DRIVE

PROJECT # 2404.05

DATE 19 FEB 2017

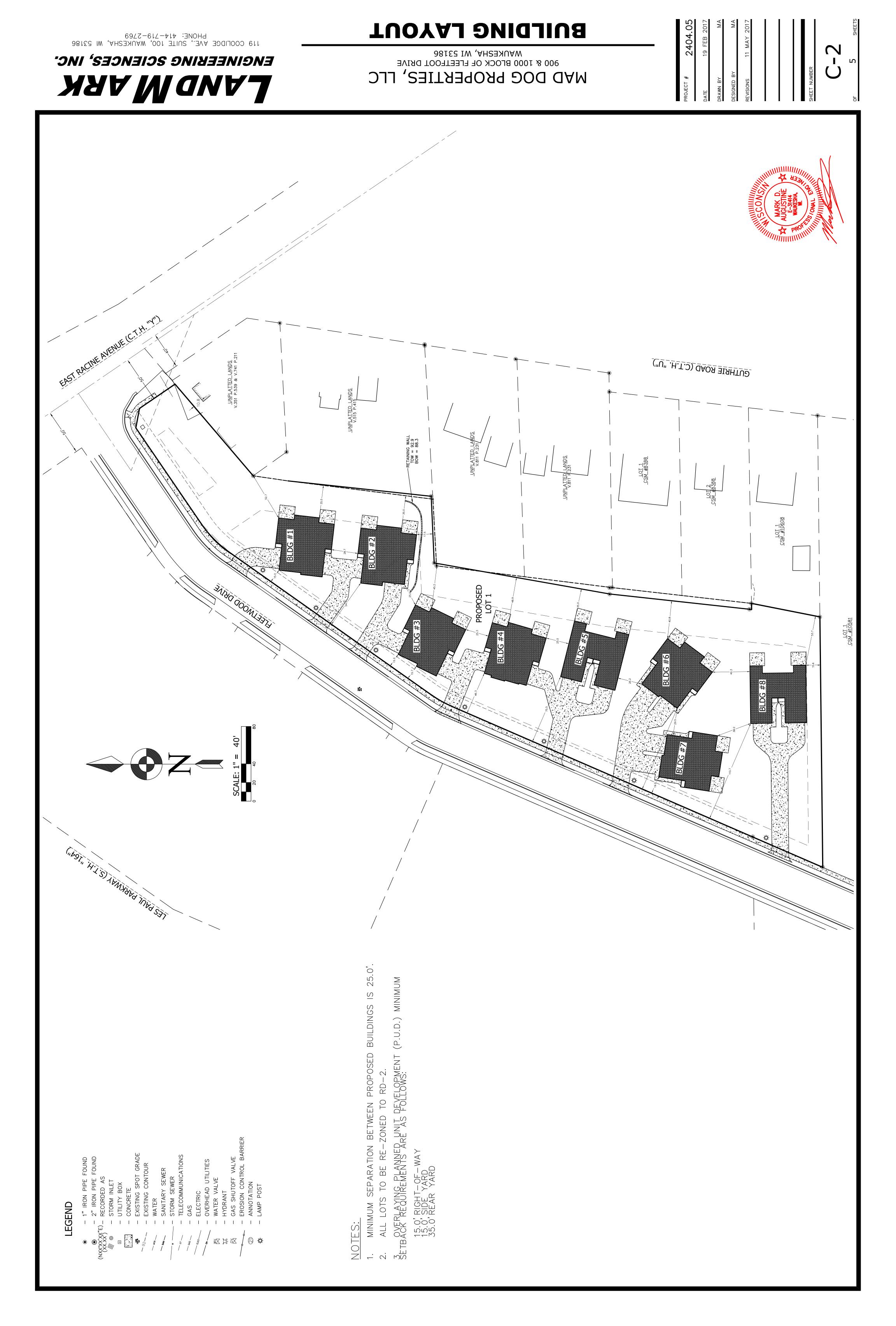
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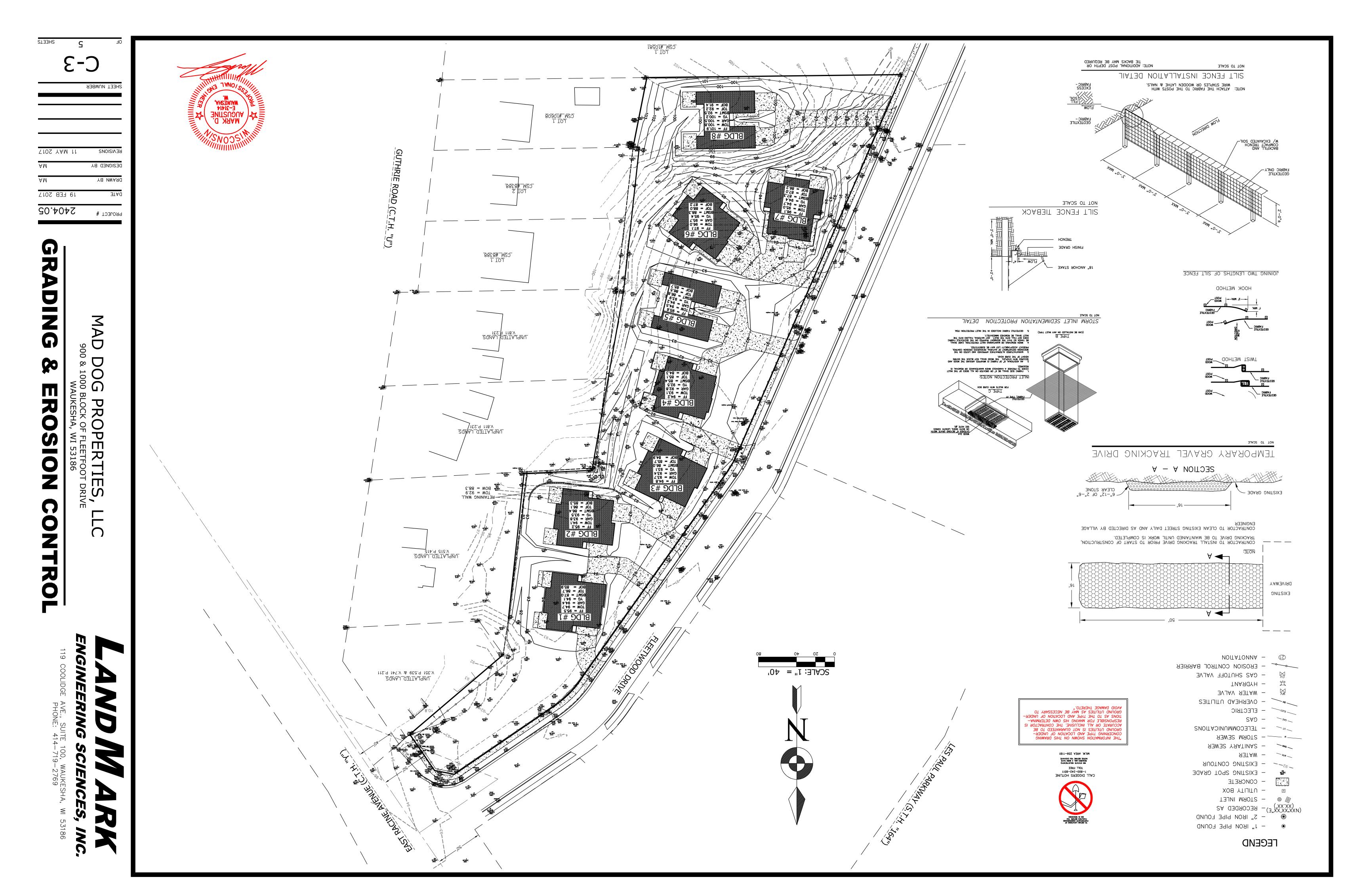
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- AND SLOPES  $\stackrel{\square}{\square}$ MAXIMUM, UNLE SS  $\bigcirc$ THERWISE NOTED
- TABILIZE ALL DIS 5TH. DEADLINES F SEPTEMBER 15 OCTOBER 15 NOVEMBER 15 ISTURBED AREAS W/POLYA FOR SEEDING ARE: 15 -COOL GRASS SEEDING. -TEMPORARY SEEDING. 5 -DORMANT SEEDING. TABILIZ  $\bigcirc$
- PORARY SNOIL SEEDING ONS FOR AUGUST HIGHWAY 3IST.) CONFORM AND WITH SE( ) BRIDGE  $\bigcirc$ CONS TRUC 0 30. .2.1.5.1.2 OF THE CTION. (ANNUA  $\overset{\bigcirc}{\wedge}$  $\bigcirc$  $\preceq$  $\overset{\square}{\square}$ 9 WISCONSIN STANDARD ORE AUGUST 31ST, WINTER
- ANY 7 PT F AND (S
- $\dot{\Omega}$ SOIL SHALL NO N-STRUCT FOR WHE RUCTURAL FILL MATERI WHERE CLEAN STONE ALL BE IMPORTED TO AND AND USED AS FILL EXCAVATION SP BACKFILL IS S
  THE SITE, AS SPECIFIED.

  S NECESSAF NON-S A. FURNISHED VIA ). CLEAN STONE ARY.  $\Box$ TUR  $\;\; \geq \;\;$ ARE.  $\mathcal{O}$  $\bigcup$ N= 1
- TYPICAL RESTORATION SHALL BE 6" TOPSOIL (REASONABLY FREE OF STONES, STONES, STONES). ONCE TOPSOIL HAS BEEN SPREAD, THE AND DEBRIS). ONCE TOPSOIL HAS BEEN SPREAD, THE AND MIXTURE NO. 10, IN ACCORDANCE WITH SECTION 630 OF THE "STATE CONTRACTOR SHALL APPLY A FERTILIZER (20-0-0) OVER THE SEEDED AREA AS IOOO SQUARE FEET. THIS AREA SHALL BE MAINTAINED BY THE CONTRACTOR. STONED WITH METHOD "B OR C" AS DESCRIBED IN SECTION 627 OF THE STATE THAT MULCH SHALL BE PLACED WITHIN ONE (1) DAY AFTER THE SEEDING HAS ESHALL BE ANCHORED OR CRIMPED IMMEDIATELY AFTER APPLICATION. EROSION WAS SPECIFIED ON THE GRADING AND EROSION CONTROL PLANS. STICKS, ROOTS, AND OTHER E AREA SHALL BE SEEDED ATE SPECIFICATIONS". THE STRAW MULCH SHALL RE SPECIFICATIONS, EXCEPT S BEEN COMPLETED. MULCH MATTING SHALL BE PLACED
- DEP II THE EVENT E
  TEMPORARY
  EPARTMENT O EXCAVATION DE-WATERING IS SETTLING BASIN, FILTER BAG OF NATURAL RESOURCES FOR REQUIRED DURING CONSTOR ALTERNATE PROCESS SEDIMENT REMOVAL. TRUCTION. CONTRACTOR TO PROVIDE APPROVED BY THE WISCONSIN

- FENCE FOR DIVE R COMPLETION.  $\mathcal{J}$ SION

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- AUTHORITIES, AND THE THE START OF CONSTRUCTIONS A MINIMUM OF AINAGE PROJEC  $\leq$ CO $\geq$  $\supset$  $\bigcirc$ AND
- 1. PRE-CONSTRUCTION ACTIVITIES

  \*\*A. INSTALL ALL EROSION CONTROL SILT FENCE. SILT FENCE FOR

  STOCKPILES TO BE INSTALLED IMMEDIATELY AFTER COMPLETIO

  \*\*B. INSTALL TEMPORARY TRACKING DRIVE.

  C. DEMOLISH EXISTING STRUCTURE AND REMOVE FOUNDATION.

  D. PERFORM CONSTRUCTION STAKING OF DRAINAGE WAYS, DRAIN.

  BUILDING LOCATIONS.

  E. CONTACT ALL APPROPRIATE AGENCIES, AUTHORITIES, AND THE WORKING DAYS, (72 HOURS) PRIOR TO THE START OF CONST.

  F. CONTRACTOR MUST CONTACT DIGGERS HOTLINE A MINIMUM OF TO START OF CONSTRUCTION. T OF CONSTRUCTION. DAYS PRIOR

- A. SELECTIVELY CLEAR AND GRUB TREES PER GRADING PLAN.
  A. SELECTIVELY CLEAR AND GRUB TREES PER GRADING PLAN.
  A. SELECTIVELY CLEAR AND GRUB TREES PER GRADING PLAN.
  A. SELECTIVELY CLEAR AND GRUB TREES ON SITE.
  C. STRIP TOPSOIL AND STOCKPILE FOR RE—USE ON SITE.
  C. STRIP/REMOVE UNSUITABLE LOAD—BEARING SURFACE MATERIAL FROM PROPOSED BUILDING AND PAVEMENT AREAS. UNSUITABLE LOAD—BE INCLUDED SUCH AS: VEGETATION, ROOT—BALLS OF TREES AND SHRIP EXISTING/DEMOLISHED BUILDINGS AND PAVEMENT, DELETERIOUS DEBIED.
  COMPLETE ROUGH GRADING.
  E. EXCAVATE BUILDING BASEMENT AND FOUNDATION AREA. STOCKPILE FOR LATER USE AS NON—STRUCTURAL FILL MATERIAL.
  \*F. INSTALL SILT FENCE OR OTHER PERIMETER BMP AROUND STOCKPILES.
  \*ALL DISTURBED AREAS THAT REMAIN INACTIVE FOR LONGER THEN 7 ACCORDINGLY.
  A SHRU BRIS, JBS, NON-MUM OF 5' BEYOND URFACE MATERIALS N—ENGINEERED FILL,
- \* \* \* \* D STOCKPILES -UP. TOCKPILE  $\bigcirc$ EXC WITHIN 7 9  $\supset$ . P
  - Z 7  $\bigcup$ AYS
  - ADS. CONNECT  $\overset{-}{\bigcirc}$ TING  $\overline{\mathcal{J}}$
- . INSTALL FLOOR SLAB, DRAINA PER THE DETAIL SHEETS. . INSTALL NO. I CLEAN STONE . BACKFILL FOUNDATION WITH N LOAM, THEN USE TOPSOIL TO TO BRING MINIMUM
  .1 CLEAN
  BRING TO STONE TO GR/ O WITHIN 18" CRADE. 9 SE  $\Box$ AREAS. AL GRAI
- \*. \*.  $\preceq$ COVER  $\overline{S}$ WELL ESTABLISHED, REMOVE  $\frac{1}{2}$ FEZ  $\subseteq$
- $\dot{\mathbb{m}}$ PROJECT WR
  AFTER VEO
  BMPS.
  RESTORE I
  RESTORA1 AS. REFER  $\frac{1}{0}$ GR ADING AND Z
- DISTURBED AREATIONS DETAILS.
  ENGINEER WILL F PREP. ARE AND VERIFIC TIONS FOR  $\mathcal{O}$  $\mathcal{O}$
- NOTE: CONTRACTOR REQUIRED DU \* ACTIVITY \*\*ACTIVITY HOURS NOTIC  $\overset{\wedge}{\times} \overset{\vee}{\times}$ INSPECTION
- FOR MUST DURING C OR AFTER COR BE INSPECT 3 WOF CONSTED E WORKING DAYS
  ONSTRUCTION.
  ED BY PROJECT
  ED BY EROSION
- NSP

# SPECIFICATIONS:

WORK IN ACCORDANCE OF THESE DE THE PROVISIONS PRIOR TO THE S SPECIFIED IN THESE DETAILS.
ART OF CONSTRUCTION. ALLCONTRACTORS

- LOCATION OF STRUCTURES AND OBSTACLES SHALL NOT SATISFACTION OF THE CONTRACTOR SHALL BE ASSUMED CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL I BE TAKEN AS CONCLUDIAS A CONDITION OF HUMBER RESULTING F USIVE. VERIFICATION
  HIS BID; THEREFORE
  FROM HIS ACTIVITIES
- PROPOSED GRADES SHOWN ON THE GRADING PLAN ARE FINISHED GRADES
- CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATED MATERIAL
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BARRICADING PROTECT AGAINST PERSONAL INJURY AS WELL AS WARN TRAFFIC OF THE SIGNS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC AREAS OF CONSTRUC CONSTRUCTION SITE. CONTROL DEVICES. WARNING
- CONTRACTOR SHALL ANTICIPATED NEED BEING ON SITE OR PROVIDE 72 HOURS (3 WORKDAYS) NOTICE FOR INSPECTION SERVICES. NO WORK SHALL WITHOUT THE PERMISSION OF THE OWNER. TO ENGINEER OF RECORD OF THE BE UNDERTAKEN WITHOUT AN INSPECTOR
- THE CONTRACTOR SHALL CONTROL DEVICES SHALL EROSION CONTROL IS NO INSTALL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION. EROSION BE REMOVED FROM THE SITE AFTER THE SITE HAS BEEN RE-VEGETATED LONGER NECESSARY. AND

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- THE CONTRACTOR SHALL ALL APPLICABLE STATE HELD HARMLESS IN ALL BE SOLELY RESPONSIBLE FOR PROVIDING TRENCH SUPPORT IN ACCORDANCE AND FEDERAL REGULATIONS. THE ENGINEER, OWNER, AND INSPECTOR SHALL MATTERS REGARDING SHORING AND BRACING. BE MITH
- THE CONTRACTOR SHALL BE CLEAN AT ALL TIMES. THE ( CONTRACTOR S SHALL KEEPING -THE ROAD ADJACENT TO THE ONSIBLE FOR DUST CONTROL. CONSTRUCTION SITE
- WHERE CONNECTING POINT SO THAT ELE ADJUSTMENTS TO T 3 TO EXISTING UTILITY SERVICES, THE EVATIONS OF THE EXISTING SERVICES THE DESIGN BE MADE. CONTRACTOR SHALL EXCAVATE THE CONNECTION CAN RE VERIFIED AND ANY NECESSARY

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- CONSTRUCT AND THE "WISCONSIN AND MAINTAIN ALL STORMWATER CONSTRUC-STRUCTION SED! AND DIMENT POST CONTROL MEASURES IN ACCORDANCE WITH - CONSTRUCTION TECHNICAL STANDARDS"
- CONTROL MEASURES CONSTRUCTION. AMNEED  $\overset{-}{\circ}$ 77  $\frac{1}{0}$ MEET FIELD CONDITIONS  $\nearrow$
- PROVIDE PERIODIC INSPECTION ENSURE INTENDED PURPOSE INTEN N AND MAINTENANCE OF ALI IS ACCOMPLISHED. SEDIMEN END OF EACH DAY. EROSION CONTROL CONTROL STRUC MEASURES ARE TURES TO BE

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- ALL EROSION CONTROL PRACTICES MUST BE WITHIN 24 HOURS OF EVERY RAINFALL (1/2" ANY DAMAGED STRUCTURES IMMEDIATELY. OR MORE) OR STABILITY AND OPERATION WEEKLY AND, AND AT LEAST ONCE PER WEEK. CORRECT
- DO NOT REMOVE ANY SEDIMENT CONTROL MEASURES MORE ESTABLISHED CONTINUOUS VEGETATIVE COVER. HH. AREAS SERVED HAVE 70%
- ALL TRACKED DAILY BASIS. THE SITE. SOIL ON ADJACENT STREETS FROM THIS CONTRACTORS ARE REQUIRED TO ONLY PROJECT MUST BE CLEANED AT LEAST DRIVE FOR ACCESS 78  $\triangleright$

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- DISCHARGE ALL FILTER BAG OR TRENCH WATER, IF ENCOUNTERED, ALTERNATIVE PROCESS APPROVED WDNR PRIOR TO SETTLING RELEASE BASIN, SEDIMENT INTO SWALE.
- PREVENT OVERLAND FENCE PARALLEL TO SET. PROTECT SILT F FENCE SENCE FROM LEAVING ANY PORTION SLOPE DOWNHILL FROM THE OR STRAW BALES WITH A SY ON OF THE
  E WORK AR
  SMALL EAF THE WORK :
  AREA OR
  EARTHEN ! SITE BY INSTALLING SII AS SHOWN ON THE PL BERM WHERE FEASIBLE

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7.

EDIMENT CONTROL FOR UTILITY

A. PLACE EXCAVATED TRENCH

B. BACKFILL COMPACT, AND ST CONSTRUCTION:
MATERIAL ON HIGH SIDE OF THE TRENCH.
TABILIZE THE TRENCH IMMEDIATELY AFTER PIPE INSTALLATION.

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# NOTES:

- TRENCH SHALL BE A MINIMUM OF 4" GEOTEXTILE FABRIC. FOLD MATERIAL WITH EXCAVATED SOIL. WIDE -BURY AND BACKFILL ANCHOR THE & COMPACT TRENCH
- WOOD SHALL BE A MINIMUM SIZE 0AK HICKORY.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE (A) TWIST METHOD: OVERLAP THE END POST AND DEGREES, OR

  B) HOOK METHOD: HOOK THE END OF EACH SILT POSSIBLE BY CUTTING LENGTHS OF THE FOLLOWING METHODS: TWIST, OR ROTATE, AT LEAST 18 180 7

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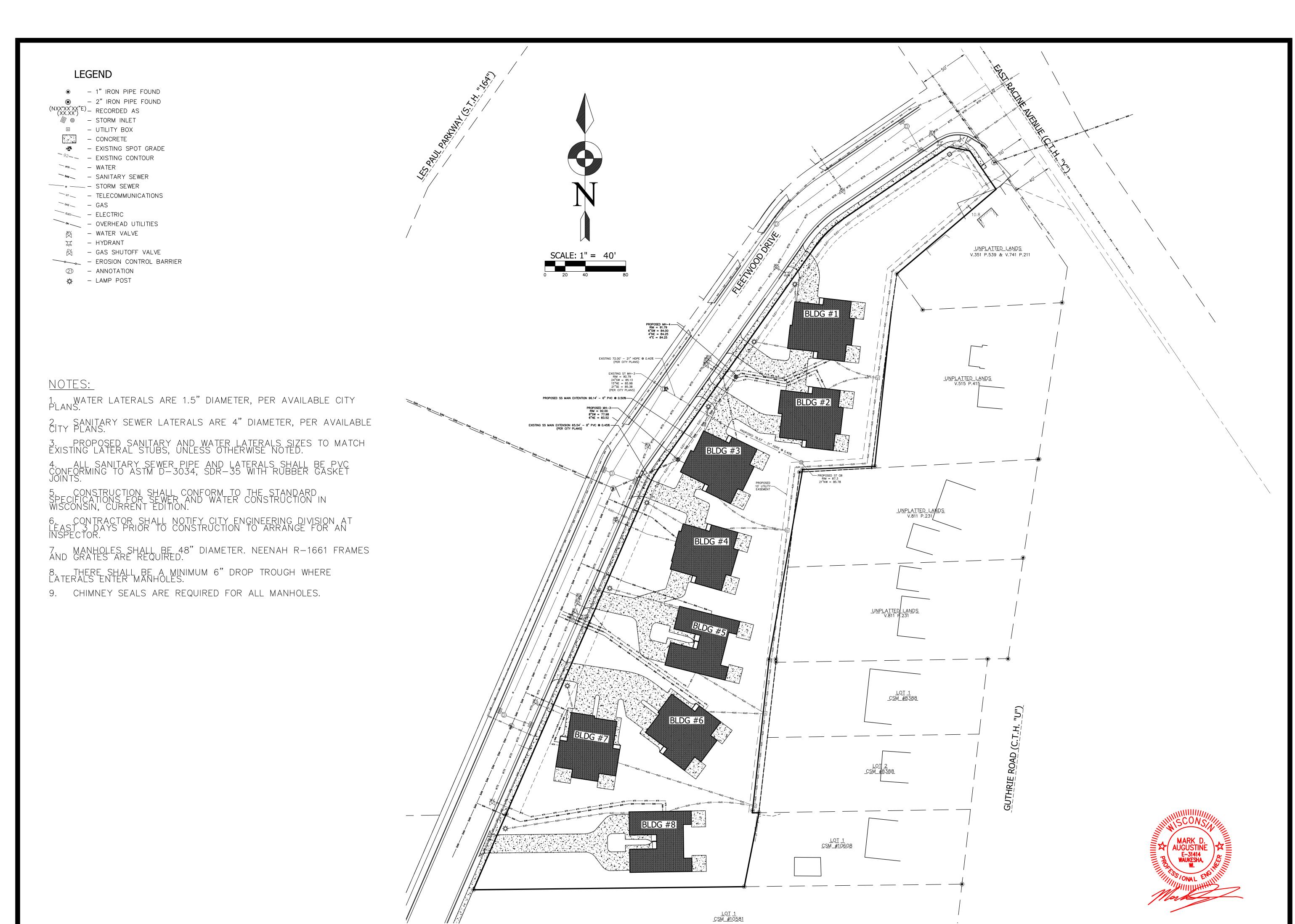
- EACH SILT FENCE LENGTH
- THE EROSION TIMES. NO DENGINEER, MC ON CONTROL
  O DEVIATION I
  MUNICIPALITY METHODS AND SCHEDULES MUST BE IS TO BE ALLOWED WITHOUT PRIOR / Y OR WDNR. E STRICTLY APPROVAL FOLLOWED FROM THE AT ALL DESIGN

# LANDMARK ENGINEERING SCIENCES, INC.

119 COOLIDGE AVE., SUITE 100, WAUKESHA, WI 53186

PHONE: 414-719-2769

MAD DOG PROPERTIES, LLC 900 & 1000 BLOCK OF FLEETFOOT DRIVE



LANDIN ARK ENGINEERING SCIENCES, INC.

AD DOG PROPERTIES, LLC 900 & 1000 BLOCK OF FLEETFOOT DRIVE WAUKESHA, WI 53186

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