

ALTA/NSPS LAND TITLE SURVEY

LOT 1, CERTIFIED SURVEY MAP No. 10663, LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 07 NORTH, RANGE 20 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
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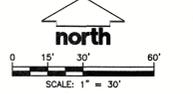
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SUMMIT CREDIT UNION

CLIENT ADDRESS:
**4800 AMERICAN PARKWAY
MADISON, WI 53718-8308**

PROJECT:
WAUKESHA

PROJECT LOCATION:
**CITY OF WAUKESHA
WAUKESHA COUNTY, WISCONSIN**



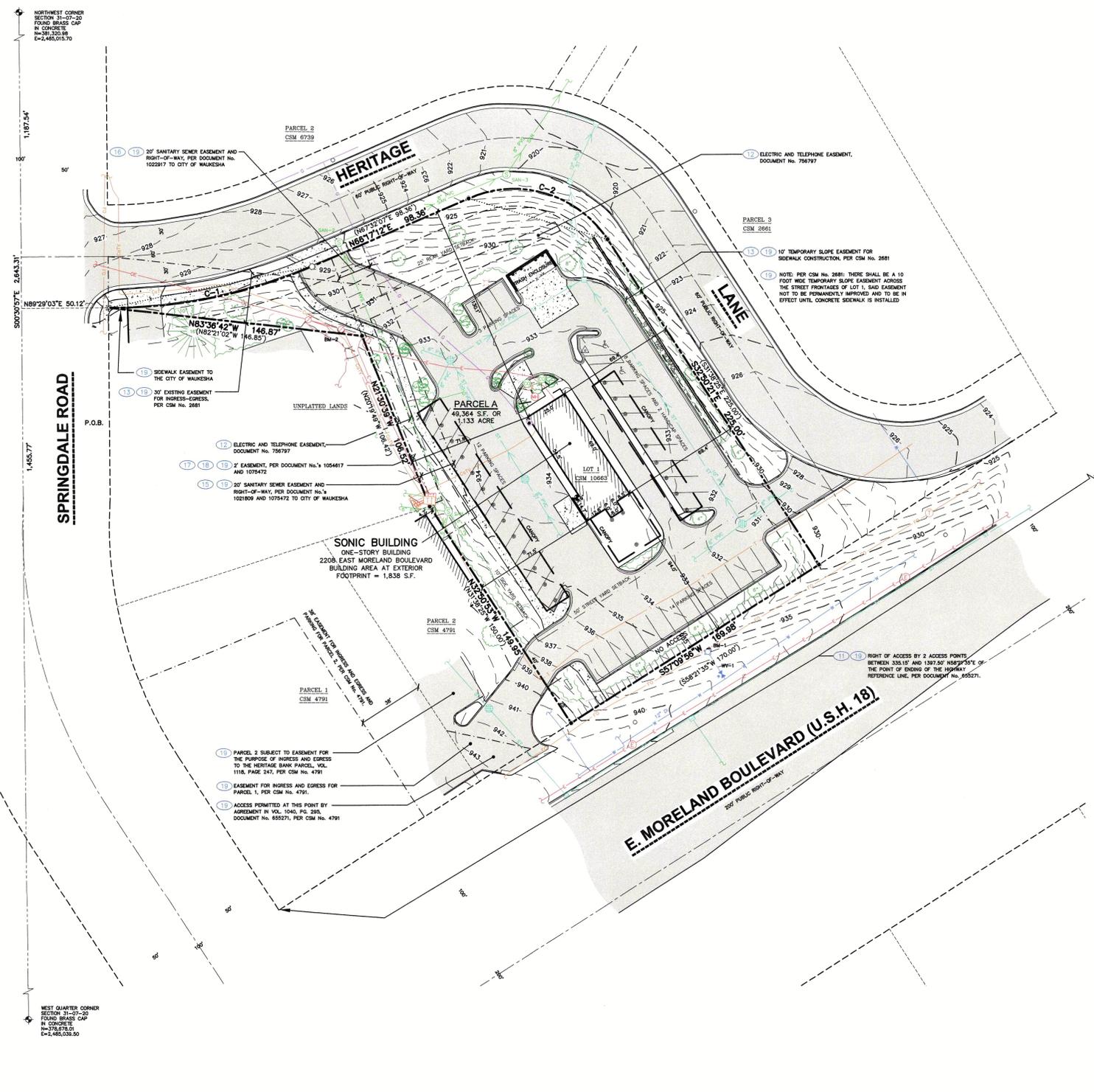
PLAN MODIFICATIONS:

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ALTA/NSPS LAND TITLE SURVEY

MAP No: E-#
SHEET NUMBER:
1 OF 1

JSD PROJECT NO: 18-0460



- LEGEND**
- GOVERNMENT CORNER
 - 1" IRON PIPE FOUND
 - CHISELED 'X' FOUND
 - COTTON SPINDLE SET
 - FINISHED FLOOR SHOT LOCATION
 - SDM
 - SANITARY MANHOLE
 - CLEAN OUT
 - HYDRANT
 - WATER VALVE
 - ROUND CASTED INLET
 - CURB INLET
 - GAS REGULATOR/METER
 - MANHOLE - GREASE TRAP
 - ELECTRIC MANHOLE
 - ELECTRIC PEDESTAL
 - POWER POLE W/GUY
 - LIGHT POLE
 - TELEPHONE PEDESTAL
 - TELEPHONE MANHOLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - BUSH
 - HANDICAP PARKING
 - PARCEL BOUNDARY
 - SECTION LINE
 - RIGHT-OF-WAY LINE
 - CENTERLINE
 - CHORD LINE
 - PLATTED LOT LINE
 - EASEMENT LINE
 - CONCRETE CURB & GUTTER
 - SANITARY SEWER
 - WATER LINE
 - STORM SEWER
 - NATURAL GAS
 - OVERHEAD ELECTRIC DISTRIBUTION
 - UNDERGROUND ELECTRIC
 - FIBER OPTIC
 - UNDERGROUND TELEPHONE
 - UNDERGROUND CABLE
 - EDGE OF WOODS OR BRUSH
 - BUILDING
 - WALL LINE
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - SPOT ELEVATION
 - BITUMINOUS PAVEMENT
 - RETAINING WALL
 - CONCRETE PAVEMENT
 - NO ACCESS
 - PAVEMENT STRIPING
 - END OF FLAGGED UTILITIES
 - DENOTES RECORD DATA DEPICTED THE SAME LINE ON THE GROUND AS RELAYED BY THIS SURVEY
 - CANOPY COLUMN (TYP)
 - EDGE OF CANOPY

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON MARCH 29, 2018.
 - BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE SOUTHEASTERN WISCONSIN REGIONAL PLANNING COMMISSION (SEWRPC), THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 31-07-20, BEARS 50073057"E.
 - ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29). BENCHMARK IS A BRASS CAP IN CONCRETE MARKING THE NORTHWEST CORNER OF SECTION 31-07-20, ELEVATION = 931.30'
 - CONTOUR INTERVAL IS ONE FOOT.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. BIGGER'S HOTLINE TICKET No.s 20181108335, 20181108347, 20181108366, 20181108372, 20181108416 AND 20181108425, WITH A CLEAR DATE OF MARCH 26, 2018.
 - UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE: CITY OF DELAFIELD, DEPARTMENT OF PUBLIC WORKS WISCONSIN DOT-TS EQUIPMENT AT&T TRANSMISSION WE ENERGIES WISCONSIN DOT SOUTHEAST REGION LEVEL 3 COMMUNICATIONS TIME WARNER CABLE
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
 - JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.
 - SET BACKS ARE BASED ON CHAPTER 22, 22.37(7). THERE ARE NO REFERENCES MADE TO CORNER LOTS. SET BACKS ALONG HERITAGE LANE MAY BE GREATER, CONTACT CITY OF WAUKESHA ZONING DEPARTMENT.
 - SANITARY SEWER AND WATER SERVICE LATERAL SIZE AND LOCATION ARE UNKNOWN.

- NOTES CORRESPONDING TO TABLE A REQUIREMENTS:**
- ITEM 3 THE SUBJECT PROPERTY LIES IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEMA MAP NUMBER 5504790186F, EFFECTIVE DATE OF NOVEMBER 19, 2008.
 - ITEM 6(b) CURRENT ZONING CLASSIFICATION IS B-5, COMMUNITY BUSINESS, FROM CITY WEB SITE.
 - ITEM 9 THERE ARE 10 REGULAR PARKING SPACES AND 1 HANDICAP SPACE FOR A TOTAL OF 11 PARKING SPACES.
 - ITEM 10(a) THERE ARE NO DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES.
 - ITEM 11 SOURCE INFORMATION FROM PLANS AND MARKING WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 9.6.IV, TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. IN WHICH CASE, THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
 - ITEM 16 THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
 - ITEM 17 THERE ARE NO PROPOSED CHANGES IN THE STREET RIGHT-OF-WAY LINES PER CITY OF DELAFIELD. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
 - ITEM 18 THERE HAS BEEN NO FIELD DELINEATION OF WETLANDS CONDUCTED FOR THIS SITE.
 - ITEM 19 ANY OFFSITE EASEMENT FOR THE SUBJECT PROPERTY IS SHOWN IN ITS ENTIRETY.

- NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS**
(CHICAGO TITLE INSURANCE COMPANY, COMMITMENT No.: CO-7333, COMMITMENT DATE: MARCH 6, 2018)
- (10) EASEMENT(S) FOR THE PURPOSE(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT, GRANTED TO WISCONSIN TELEPHONE COMPANY AND WISCONSIN ELECTRIC POWER COMPANY, FOR UTILITY PURPOSES, RECORDED ON APRIL 6, 1960, AS DOCUMENT No. 520795. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON. (S IN CURRENT HIGHWAY RIGHT-OF-WAY).
 - (11) ACCESS LIMITATIONS AND DEVELOPMENT RESTRICTIONS SET FORTH IN INDENTURE RECORDED FEBRUARY 9, 1966 AS DOCUMENT No. 655271. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - (12) EASEMENT(S) FOR THE PURPOSE(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT, GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY, FOR UTILITY PURPOSES, RECORDED ON MARCH 13, 1976, AS DOCUMENT No. 756797. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - (13) RECITALS AS SHOWN ON CERTIFIED SURVEY MAP No. 2681 RECORDED ON SEPTEMBER 1, 1976, AS DOCUMENT No. 965499, WHICH AMONG OTHER THINGS RECITES EASEMENT FOR INGRESS AND EGRESS, RESTRICTIONS AND NOTES. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - (14) MEMORANDUM OF AGREEMENT RECORDED MARCH 8, 1977 AS DOCUMENT No. 987077. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
 - (15) EASEMENT(S) FOR THE PURPOSE(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT, GRANTED TO THE CITY OF WAUKESHA, FOR SANITARY SEWER PURPOSES, RECORDED ON OCTOBER 25, 1977, AS DOCUMENT No. 1021809. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - (16) EASEMENT(S) FOR THE PURPOSE(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT, GRANTED TO THE CITY OF WAUKESHA, FOR SANITARY SEWER PURPOSES, RECORDED ON NOVEMBER 2, 1977, AS DOCUMENT No. 1022917. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - (17) EASEMENT(S) FOR THE PURPOSE(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT, GRANTED TO THE CITY OF WAUKESHA, FOR SANITARY SEWER PURPOSES, RECORDED ON JUNE 30, 1978, AS DOCUMENT No. 1054817. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - (18) SANITARY SEWER EASEMENT RECORDED DECEMBER 7, 1978 AS DOCUMENT No. 1075472. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - (19) RECITALS AS SHOWN ON CERTIFIED SURVEY MAP No. 10663 RECORDED ON MARCH 31, 2009, AS DOCUMENT No. 3641473, WHICH AMONG OTHER THINGS RECITES SIDEWALK EASEMENT, RESTRICTIONS, NOTES, INGRESS/EGRESS EASEMENT, CROSS ACCESS EASEMENT, TEMPORARY SLOPE EASEMENT FOR SIDEWALK CONSTRUCTION AND ACCESS LIMITATIONS. THIS ITEM MAY AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

LEGAL DESCRIPTION (AS FURNISHED)
(CHICAGO TITLE INSURANCE COMPANY, COMMITMENT No.: CO-7333, COMMITMENT DATE: MARCH 6, 2018)

LOT 1 OF CERTIFIED SURVEY MAP No. 10663, RECORDED MARCH 31, 2009, IN VOLUME 102 OF CERTIFIED SURVEY MAPS ON PAGES 309 TO 313 AS DOCUMENT No. 3641473, A DIVISION OF PARCEL 6 OF CERTIFIED SURVEY MAP No. 2681 AND LANDS IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWN 7 NORTH, RANGE 20 EAST, IN THE CITY OF WAUKESHA, COUNTY OF WAUKESHA, STATE OF WISCONSIN.

TAX KEY No.: WAC 1130.115.001
ADDRESS: 2208 E. MORELAND BLVD.

SURVEYOR'S CERTIFICATE

- TO:
- PINNACLE WAUKESHA BURGERS, LLC, A WISCONSIN LIMITED LIABILITY COMPANY,
 - BANK MUTUAL,
 - CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(f), 7(c), 7(d)(1), 7(c), 8, 9, 10(c), 11, 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 28, 2018.

John Krebs 4/14/18
JOHN KREBS, S-1878
PROFESSIONAL LAND SURVEYOR DATE



STORM SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	930.77	NE	928.67	10"	PVC
		SW	928.68	6"	PVC
		NW	928.17	10"	PVC
STM-2	933.33	SE	930.98	6"	PVC
		NW	930.38	10"	PVC
		SE	929.62	10"	PVC
STM-3	932.92	SW	929.59	6"	PVC
		NW	930.29	6"	PVC
		NE	927.87	10"	PVC

STORM SEWER INLETS

INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	931.90	SW	928.12	10"	PVC
		SE	928.28	10"	PVC
		NE	924.22	10"	PVC
INL-2	918.30	SW	918.73	10"	PVC
		NE	915.75	12"	RCP
		SW	915.47	12"	RCP
INL-3	919.32	SW	915.47	12"	RCP
		NW	915.47	12"	RCP
		NE	915.47	12"	RCP

SANITARY SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	936.92	SE	930.66	6"	PVC
		SW	930.51	6"	PVC
		NW	930.58	6"	PVC
SAN-2	927.79	SE	922.65	8"	PVC
		NE	922.55	8"	PVC
		SW	913.99	8"	PVC
SAN-3	920.49	NE	913.79	8"	PVC
		SW	913.99	8"	PVC
		NE	913.79	8"	PVC

WATER VALVES

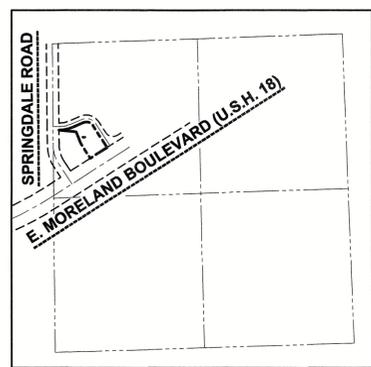
VALVE No.	SIZE	RIM ELEVATION	INVERT	TOP NUT ELEVATION	PIPE INVERT
WV-1	10"	938.75	TN	932.45	930.70

BENCHMARKS

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	938.42	ARROW ON HYDRANT IN FRONT OF SITE
BM-2	935.18	RR SPIKE IN UTILITY POLE NORTHWEST CORNER OF SITE

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C-1	120.51'	286.55'	24°05'43"	119.62'	N78°24'32"E
()	120.51'	286.55'	24°05'43"	119.62'	N79°34'58"E
C-2	90.85'	63.96'	81°22'52"	83.40'	S73°24'58"E
()	90.80'	63.96'	81°20'08"	83.36'	S72°10'24"E



VICINITY MAP
SCALE 1" = 600'

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF WAUKESHA REQUIREMENTS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
- THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR WRAPP PERMIT APPLICATION STANDARDS.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF WAUKESHA SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF WAUKESHA SPECIFICATIONS.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
- WELL ABANDONMENT SHALL BE IN ACCORDANCE WITH WDNR AND LOCAL REGULATIONS. PROVIDE A COMPLETE RECORD OF CLOSURE (WDNR PERMIT 3300-005) COMPLETED BY A CONTRACTOR LICENSED TO PERFORM THAT WORK. CONTRACTOR SHALL SUBMIT DOCUMENTATION TO THE CITY OF WAUKESHA FOR CITY RECORDS.
- THIS SITE WAS IDENTIFIED AS A CLOSED LEAKING UNDERGROUND STORAGE TANK (LUST) SITE. IF THE CONTRACTOR IDENTIFIES POTENTIALLY CONTAMINATED SOILS, THEY SHALL STOP WORK AND NOTIFY THE OWNER'S CONSTRUCTION REPRESENTATIVE. CONTAMINATED SOIL, IF ENCOUNTERED, SHALL BE MANAGED AND REMOVED IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS. COPIES OF ALL DISPOSABLE MANIFESTS SHALL BE PROVIDED TO THE OWNER.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SUMMIT CREDIT UNION

CLIENT ADDRESS:
**4800 American Parkway
MADISON, WI 53718**

PROJECT:
SUMMIT CREDIT UNION - WAUKESHA BRANCH

PROJECT LOCATION:
**2208 E MORELAND BOULEVARD
WAUKESHA COUNTY**

PLAN MODIFICATIONS:

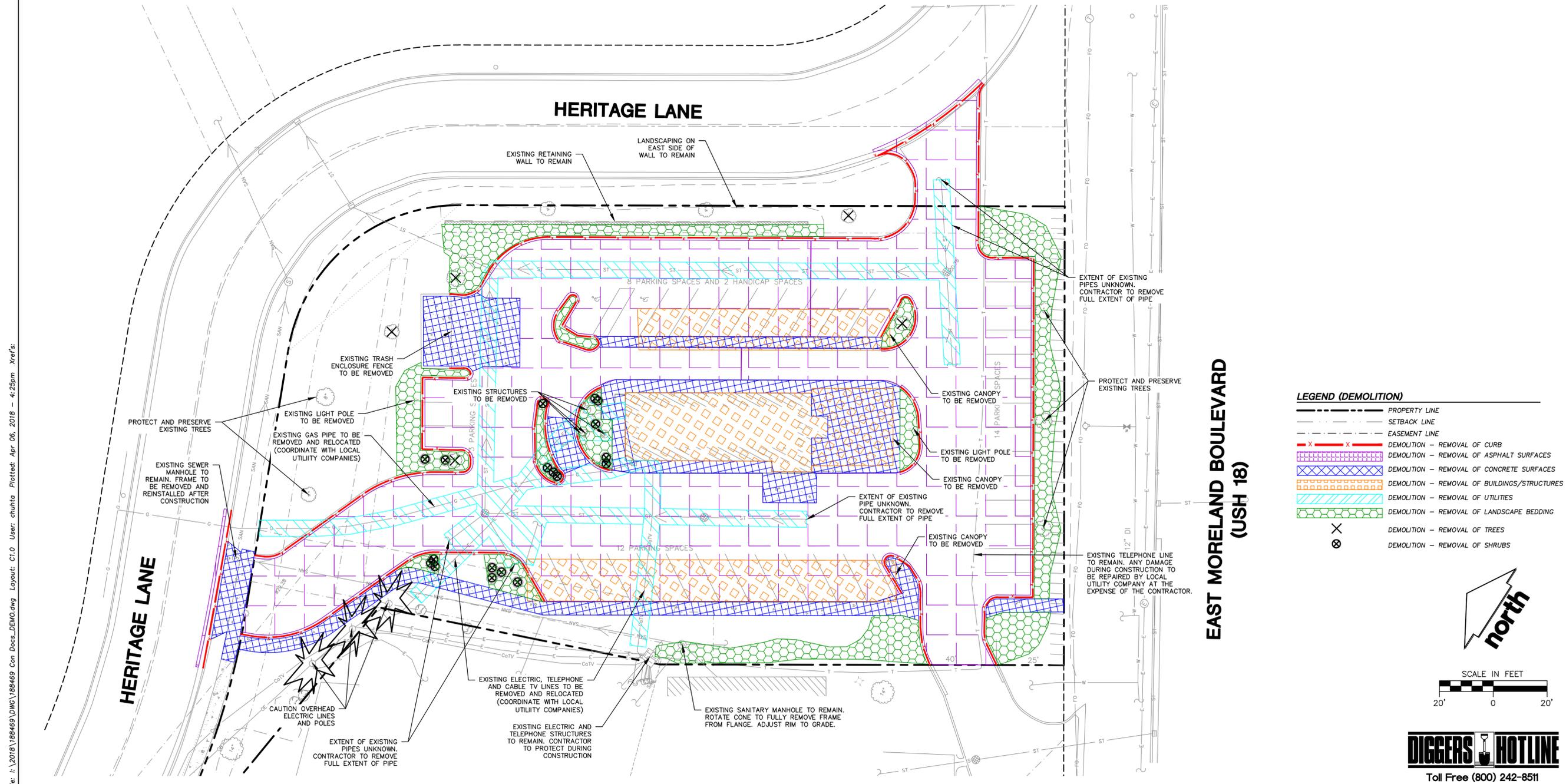
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Design/Drawn: KWH
Approved: WHD

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C1.0

JSD PROJECT NO: 18-8469



File: I:\2018\188469\DWG\188469.dwg Con Des_DEMO.dwg Layout: C1.0 User: chuhla Plotted: Apr 06, 2018 - 4:25pm Xref's:

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GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF WAUKESHA REQUIREMENTS.
3. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
4. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDR WRAPP PERMIT APPLICATION STANDARDS.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

SITE PLAN NOTES

1. ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
2. ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
3. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF WAUKESHA.
4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
8. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
9. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
10. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMP.
11. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER MUNICIPALITY SPECIFICATIONS.

SITE INFORMATION BLOCK	
Owner Information:	SUMMIT CREDIT UNION 4800 AMERICAN PARKWAY MADISON, WI 53718
Site Address	LOT 1 OF CSM #10663 2208 EAST MORELAND, WAUKESHA, WI
Site Acreage (total)	1.133 ACRES
Number of Building Stories (above grade)	1
Total Square Footage of Building	3,900 S.F.
Number of parking stalls:	
Large car	19
Accessible	1
Total	20
Existing vs. Proposed Site Coverage:	
Existing Impervious Surface Area	32,752
Existing Pervious Surface Area	16,601
Proposed Impervious Surface Area	30,820
Proposed Pervious Surface Area	18,533
Proposed Impervious Surface Area Ratio	0.624

LEGEND (PROPOSED)

- PROPERTY LINE
- - - SETBACK LINE
- - - EASEMENT LINE
- ===== BUILDING LINE
- BUILDING OVERHANG LINE
- ===== EDGE OF CONCRETE
- ===== STANDARD CURB AND GUTTER
- ===== REJECT CURB AND GUTTER
- ===== PROPOSED CONCRETE PAVEMENT
- ===== PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- ===== PROPOSED ASPHALT PAVEMENT
- ===== PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- LIGHT POLE
- BOLLARD



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**4800 American Parkway
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PROJECT:
SUMMIT CREDIT UNION - WAUKESHA BRANCH

PROJECT LOCATION:
**2208 E MORELAND BOULEVARD
WAUKESHA COUNTY**

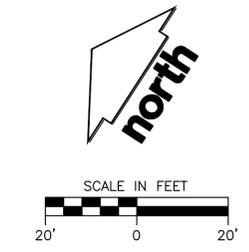
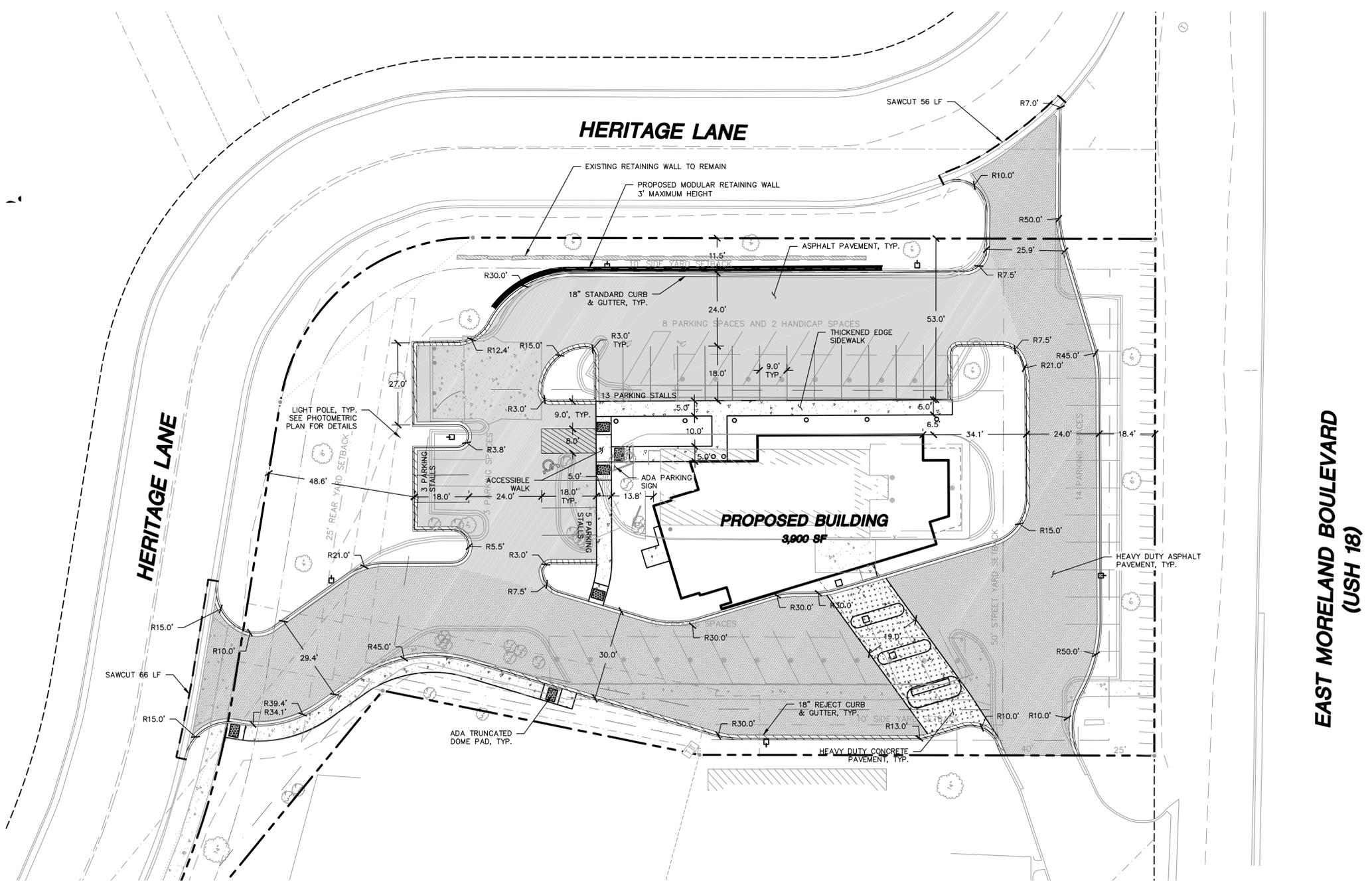
PLAN MODIFICATIONS:		
#	Date:	Description:
1	04.09.18	CITY PLAN REVIEW
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Design/Drawn: CLH
Approved: WHD

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C2.0

JSD PROJECT NO: 18-8469



File: I:\2018\188469\DWG\188469 Con Docs.dwg Layout: C2.0 User: chuhta Plotted: Apr 06, 2018 - 4:21pm Xref's:

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LEGEND (GRADING AND EROSION CONTROL PLAN)

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 - FG --- FINISH GRADE
 - EC --- EDGE OF CONCRETE
 - BC --- BACK OF CURB
 - TW --- TOP OF WALL
 - BW --- BOTTOM OF WALL
 - RIM --- RIM ELEVATION
- SILT FENCE
- SILT SOCK
- DISTURBANCE LIMITS
- INLET PROTECTION, TYPE D



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SUMMIT CREDIT UNION - WAUKESHA BRANCH

PROJECT LOCATION:
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PLAN MODIFICATIONS:

#	Date:	Description:
1	04.09.18	CITY PLAN REVIEW
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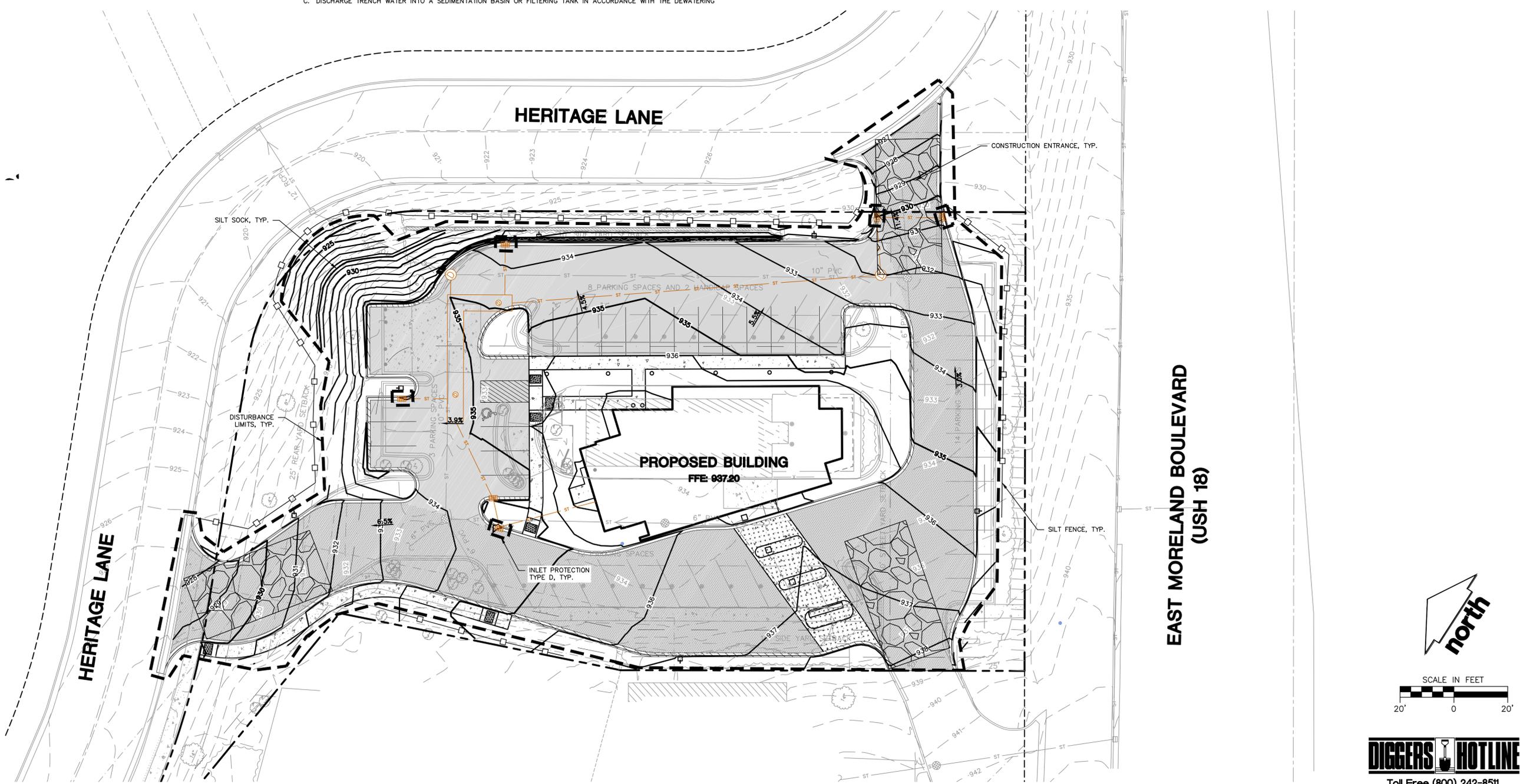
Design/Drawn: CLH
Approved: WHD

SHEET TITLE:
GRADING AND EROSION CONTROL PLAN

SHEET NUMBER:
C3.0

JSD PROJECT NO: 18-8469

File: I:\2018\188469\DWG\188469 Con Docs.dwg Layout: C3.0 User: chuhta Plotted: Apr 06, 2018 - 4:22pm Xrefs:



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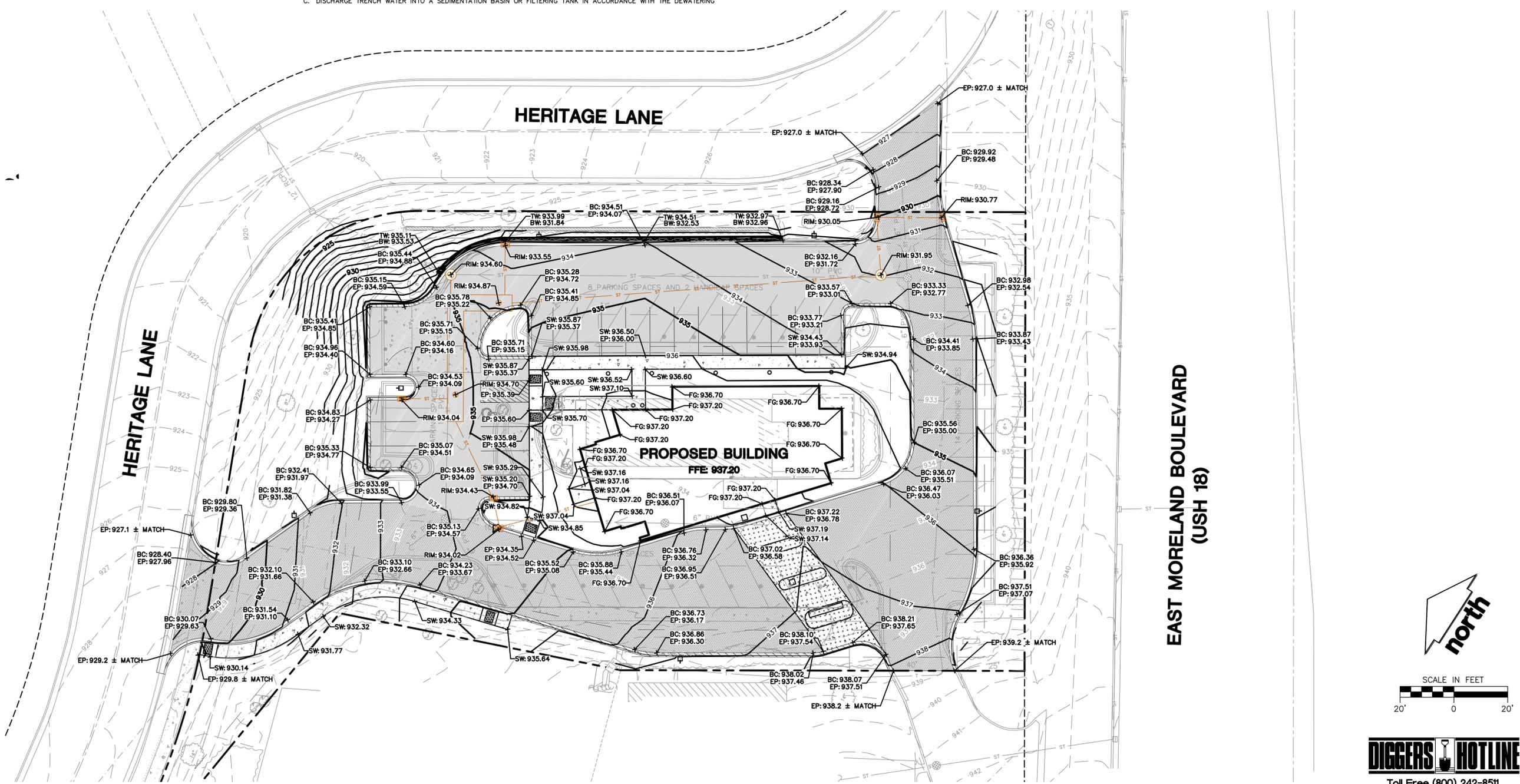
Design/Drawn: CLH
Approved: WHD

SHEET TITLE:
DETAILED GRADING PLAN

SHEET NUMBER:
C3.1

JSD PROJECT NO: 18-8469

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PROPOSED STORM SEWER STRUCTURES SCHEDULE					
LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE
STO INL-1	927.94	930.77	2.83	2'X3' INLET BOX	R-3067, CURB INLET FRAME, GRATE, CURB BOX - TYPE L GRATE
STO INL-2	927.78	930.05	2.27	2'X3' INLET BOX	R-3067, CURB INLET FRAME, GRATE, CURB BOX - TYPE L GRATE
STO INL-3	929.70	933.55	3.85	2'X3' INLET BOX	R-3067, CURB INLET FRAME, GRATE, CURB BOX - TYPE L GRATE
STO INL-4	929.50	934.04	4.54	2'X3' INLET BOX	R-3067, CURB INLET FRAME, GRATE, CURB BOX - TYPE L GRATE
STO INL-5	930.35	934.43	4.08	2'X3' INLET BOX	R-3067, CURB INLET FRAME, GRATE, CURB BOX - TYPE L GRATE
STO INL-6	930.95	934.02	3.07	2'X3' INLET BOX	R-3067, CURB INLET FRAME, GRATE, CURB BOX - TYPE L GRATE
STO MH 1	927.60	931.95	4.35	36" DIA. MANHOLE	R-1550A MANHOLE FRAME - SOLID LID NON-ROCKING
STM MH 2	924.22	934.51	10.29	36" DIA. MANHOLE	R-1550A MANHOLE FRAME - SOLID LID NON-ROCKING
WQ Chamber	926.25	934.87	8.62	2 - ACCESS RISERS	R-1550A MANHOLE FRAME - SOLID LID NON-ROCKING

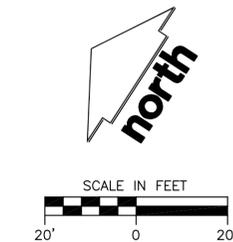
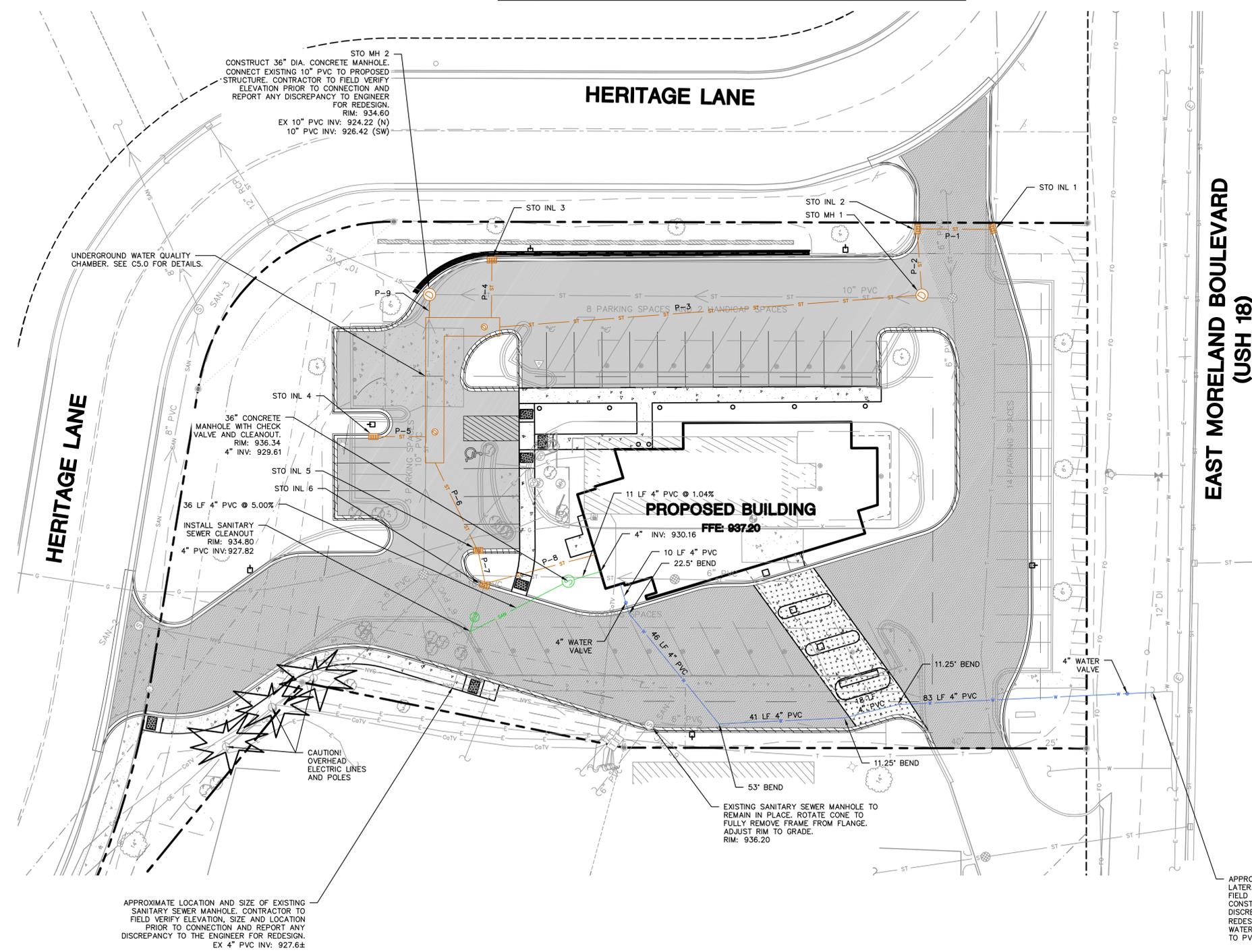
PROPOSED STORM SEWER PIPE SCHEDULE							
PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE
P-1	STO INL-1	STO INL-2	23.00	927.88	927.94	0.25	10" PVC
P-2	STO INL-2	STO MH 1	20.00	927.70	927.78	0.40	12" PVC
P-3	STO MH 1	WQ Chamber	137.00	926.25	927.60	0.98	12" PVC
P-4	STO INL-3	WQ Chamber	19.00	928.75	929.70	5.00	6" PVC
P-5	STO INL-4	WQ Chamber	15.00	928.75	929.50	5.00	6" PVC
P-6	STO INL-5	WQ Chamber	32.00	928.75	930.35	5.00	6" PVC
P-7	STO INL-6	STO INL-5	10.00	930.45	930.95	5.00	6" PVC
P-8	RD	STO INL-6	37.00	931.05	932.90	5.00	8" PVC
P-9	WQ Chamber	STO MH 2	8.00	926.17	926.25	1.00	12" PVC

LEGEND (UTILITY PLAN)

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- BUILDING LINE
- BUILDING OVERHANG LINE
- SAN - SANITARY SEWER
- W - WATERMAIN
- ST - STORM SEWER

UTILITY NOTES:

- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WSDOT, WDSPS, AND WDNR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL CONTACT THE CITY OF WAUKESHA PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
- CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE CITY OF WAUKESHA WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
- ALL WATER MAIN MUST BE GAPPED AT EVERY 2,000 FOOT INTERVAL. WATER MAIN MUST BE FILLED AND SAFE WATER TESTED PRIOR TO FILLING AND FLUSHING ANY ADDITIONAL 2,000 FOOT PIPE SEGMENTS, PER VILLAGE OF COTTAGE GROVE WATER & SEWER UTILITY. WATER MAIN INSTALLATION SEQUENCE:
 - INSTALL WATER MAIN - MUST LEAVE A GAP AT THE EXISTING MAIN.
 - FILL WATER MAIN (PRESSURE TEST THE WATER MAIN. CONTRACTOR OPTION)
 - OBTAIN A SAFE WATER SAMPLE
 - TAP SERVICES. TAPS MUST BE MADE UNDER SYSTEM PRESSURE
 - PRESSURE TEST MAIN
 - MAKE WET CONNECTION TO EXISTING WATER MAIN
 - CONNECTION WILL ALSO BE REQUIRED WHEN THE FOLLOWING CONDITIONS ARE MET: WATER MAIN INSTALLATION UP TO 2000' AND/OR 30 DAYS OF INACTIVITY OF WATER MAIN INSTALLATION, WHICH EVER COMES FIRST.
- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(B)(4).
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6' OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
- ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSED THE TOP AND SIDES OF WATER MAIN.
- ADJUST ALL EXISTING PUBLIC WATER VALVE BOXES, HYDRANTS, MANHOLE CASTINGS, AND INLET CASTINGS TO GRADE WITH ACCORDANCE WITH THE STANDARDS OF THE MUNICIPALITY. REPLACE VALVE BOXES, HYDRANT SHOES, AND MANHOLE/INLET SECTIONS AS REQUIRED.
- SEE ELECTRICAL AND LIGHTING PLANS FOR SITE ELECTRIC, CABLE AND FIBER OPTICS FOR DETAILS AND ROUTING.



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P. 608.848.5060

CLIENT:
SUMMIT CREDIT UNION

CLIENT ADDRESS:
**4800 American Parkway
MADISON, WI 53718**

PROJECT:
SUMMIT CREDIT UNION - WAUKESHA BRANCH

PROJECT LOCATION:
**2208 E MORELAND BOULEVARD
WAUKESHA COUNTY**

PLAN MODIFICATIONS:

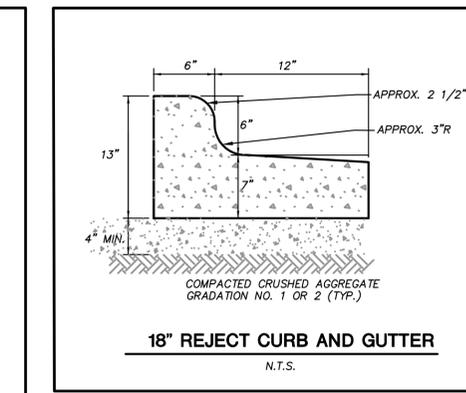
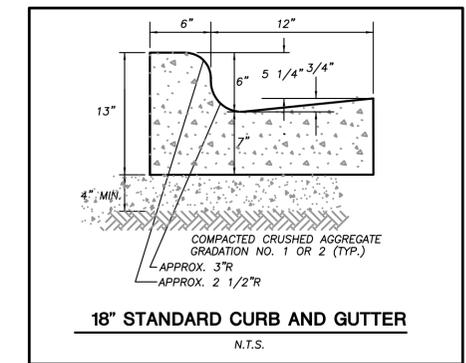
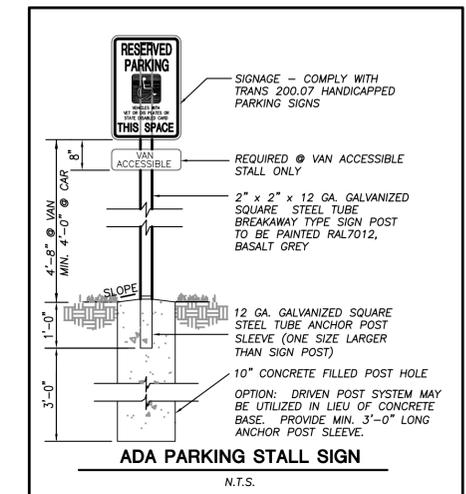
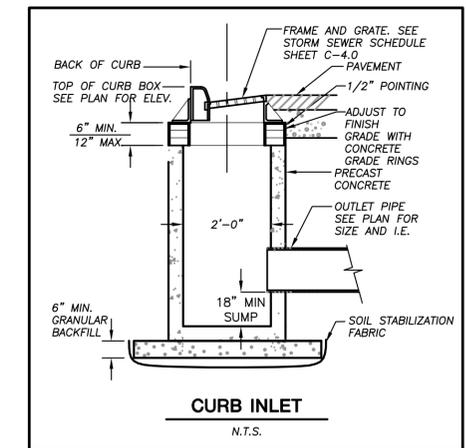
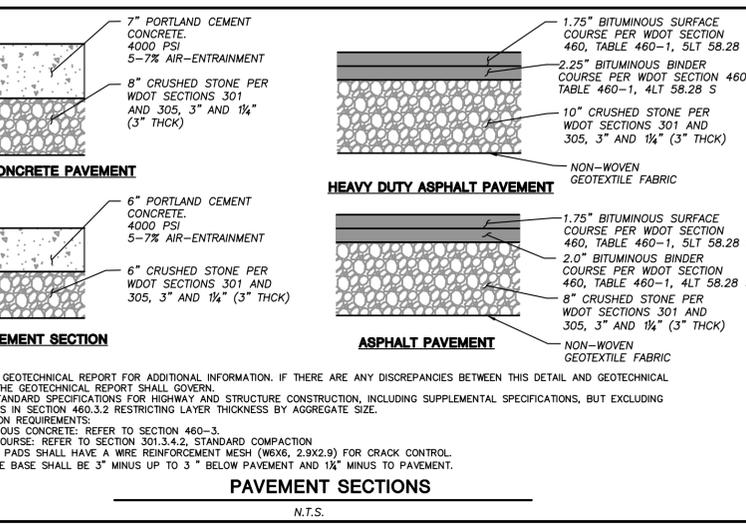
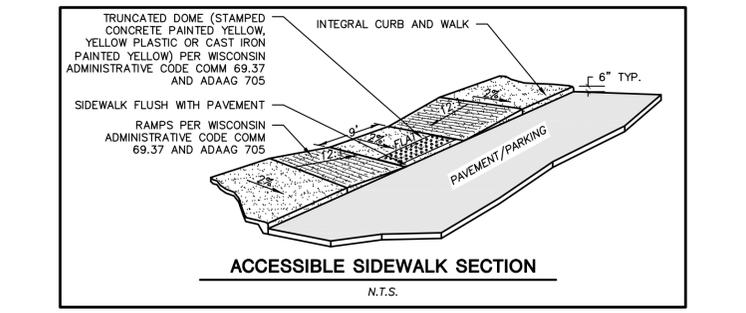
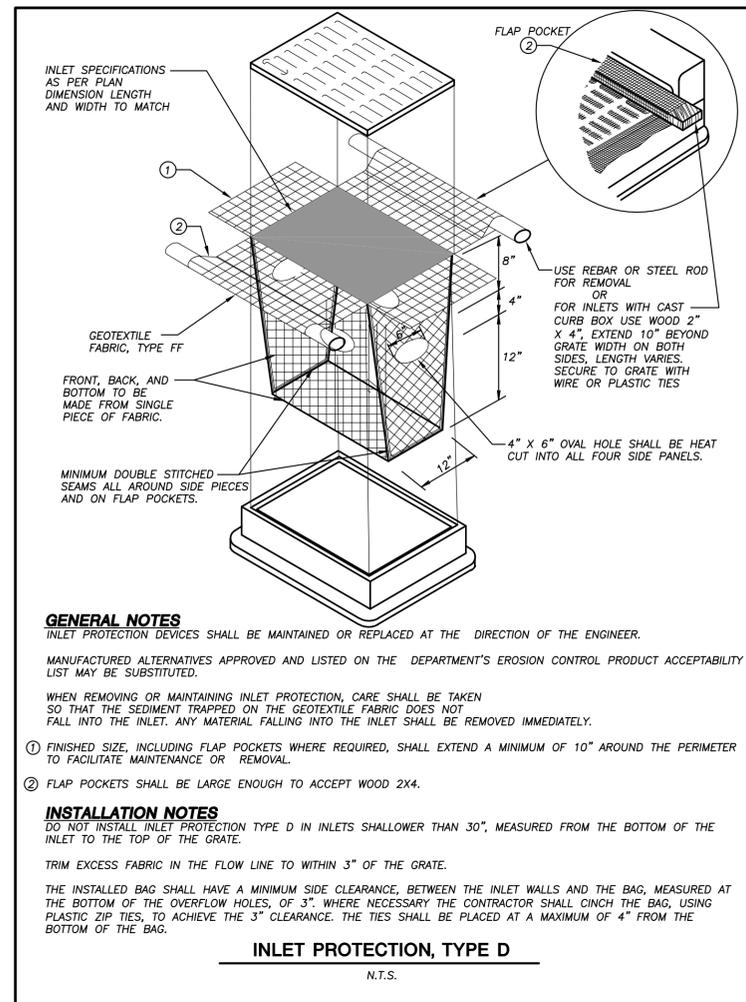
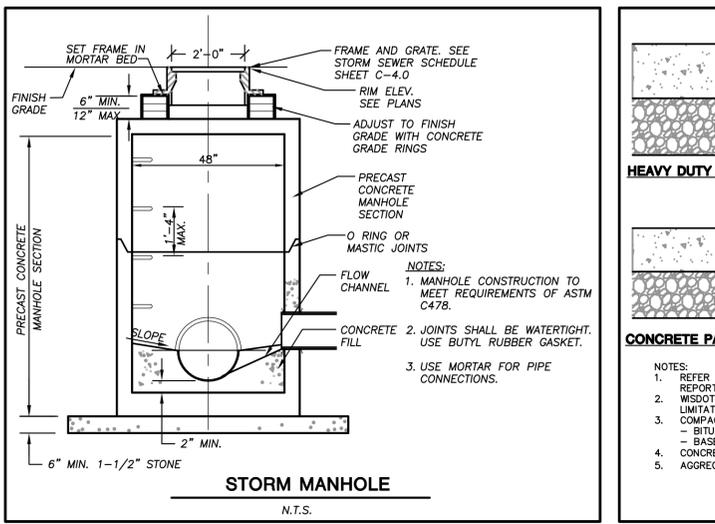
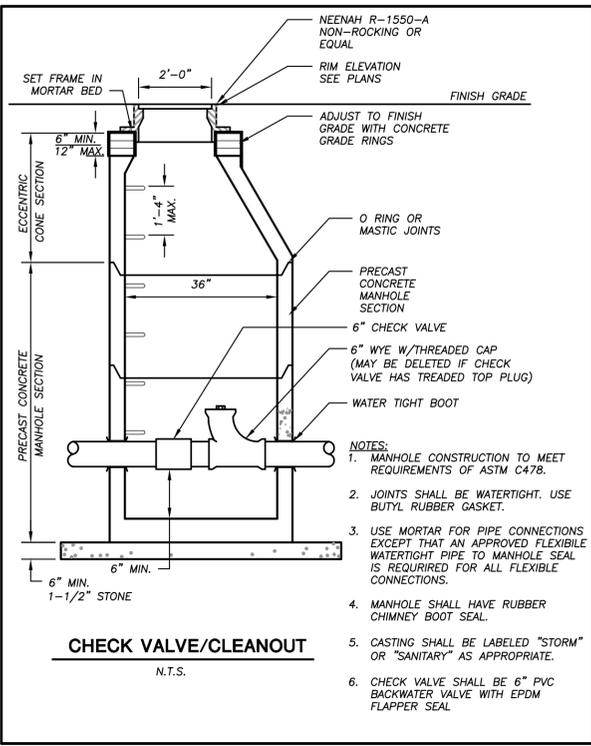
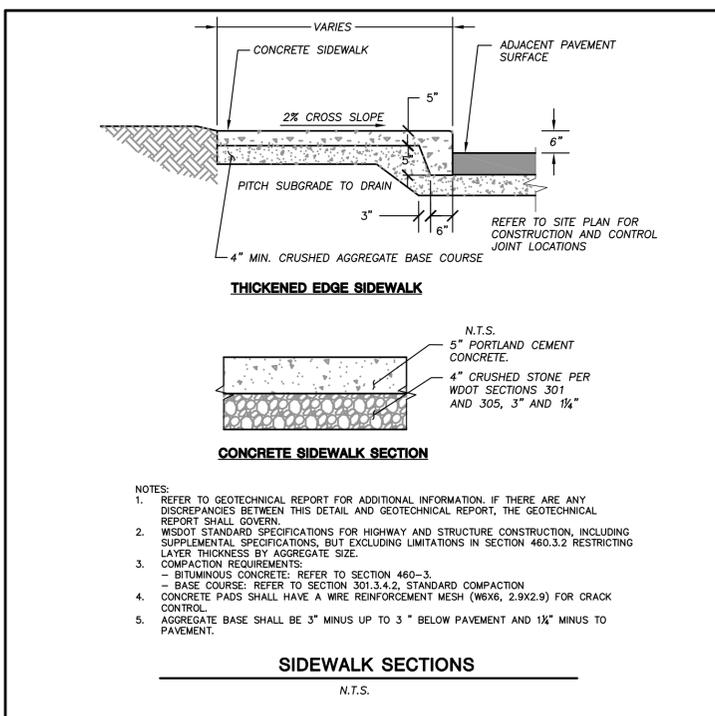
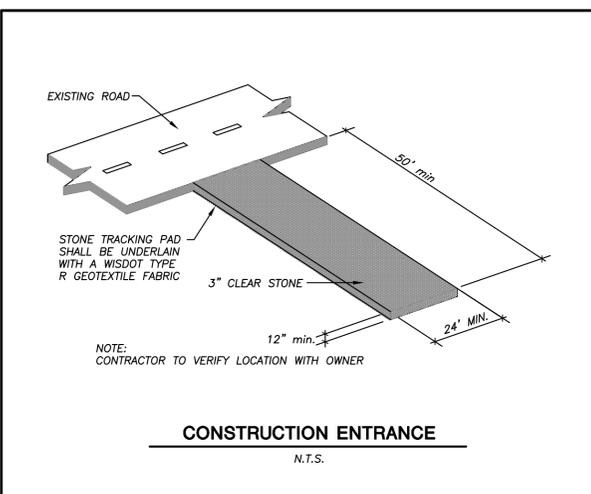
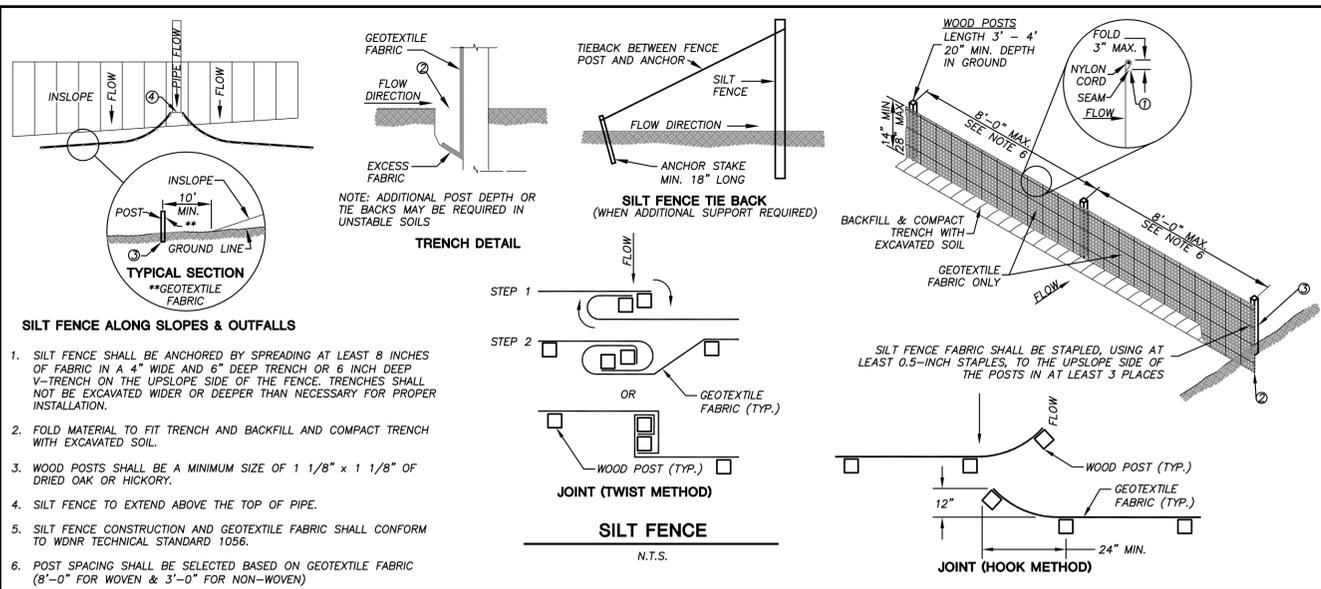
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Design/Drawn: CLH
Approved: WHD

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C4.0

JSD PROJECT NO: 18-8469



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PROJECT:
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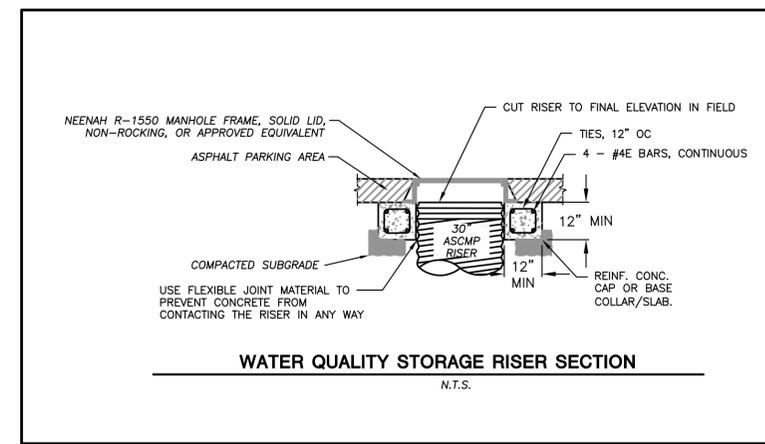
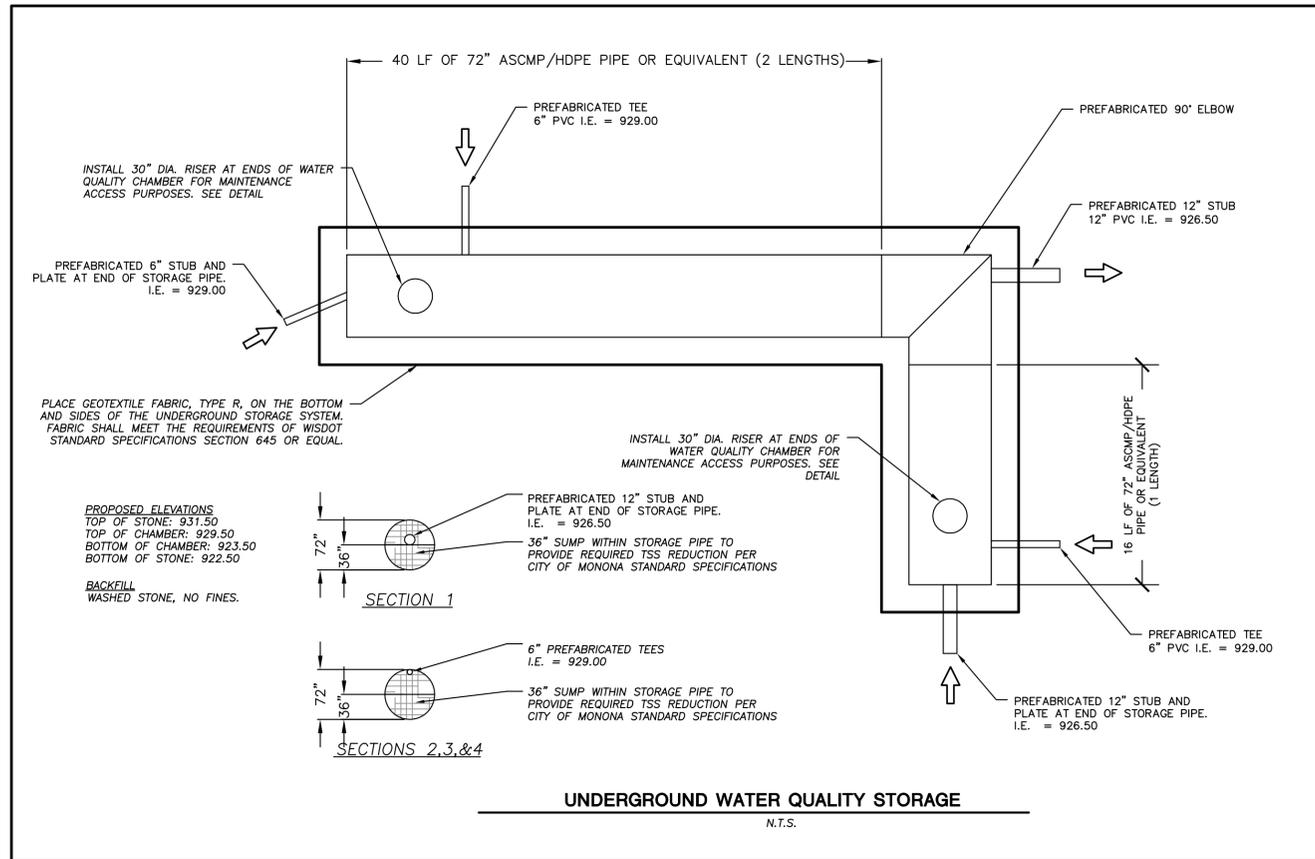
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DETAILS

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C5.0

JSD PROJECT NO: 18-8469

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Approved:

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DETAILS

SHEET NUMBER:
C5.1



PLANT SCHEDULE				
QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
3	<i>Acer rubrum</i> 'October Glory'™	October Glory Maple	B & B	2.5" Cal
2	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B & B	1.5" Cal
2	<i>Malus x 'Spring Snow'</i>	Spring Snow Crab Apple	B & B	1.5" Cal
1	<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	B & B	2.5" Cal
02-EVERGREEN TREES				
QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
18	<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Arborvitae	B & B	Min. 6" Ht.

PLANT SCHEDULE				
QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
22	<i>Cornus stolonifera</i> 'Farrow'	Arctic Fire Redtwig Dogwood	3 gal	18-24" Ht.
7	<i>Genista tinctoria</i>	Golden Temple Woodwaxen	2 gal	18-12" Ht.
16	<i>Physocarpus opulifolius</i> 'Dart's Gold'	Yellow Ninebark	3 gal	18-24" Ht.
16	<i>Spiraea fritschiana</i>	Korean Spirea	2 gal	18-12" Ht.
12	<i>Viburnum dentatum</i> 'Rastzam'	Raspberry Tart Viburnum	3 gal	18-24" Ht.
2	<i>Viburnum opulus</i> 'Compactum'	Compact European Cranberrybush	3 gal	18-24" Ht.
04-EVERGREEN SHRUBS				
QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
35	<i>Juniperus horizontalis</i> 'Bar Harbor'	Bar Harbor Juniper	3 gal	18-12" Ht.
11	<i>Microbiota decussata</i> 'Candrew'	Drew's Blue Siberian Carpet Cypress	3 gal	6" Ht.
28	<i>Thuja occidentalis</i> 'Hetz Midget'	Hetz Midget Arborvitae	3 gal	18-24" Ht.

05-ORNAMENTAL GRASSES				
QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
68	<i>Calamagrostis brachytricha</i>	Reed Grass	1 gal	18-24" Ht.
67	<i>Deschampsia cespitosa</i> 'Goldtau'	Gold Dew Tufted Hair Grass	4" pot	18-12" Ht.
66	<i>Panicum virgatum</i> 'Heavy Metal'	Heavy Metal Switch Grass	1 gal	18-24" Ht.
68	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	1 gal	18-24" Ht.
14	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gal	18-12" Ht.
06-PERENNIALS				
QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
5	<i>Astilbe x arendsii</i> 'Bridal Veil'	Bridal Veil Astilbe	1 gal	18-12" Ht.
9	<i>Echinacea purpurea</i> 'White Swan'	White Swan Coneflower	1 gal	18-12" Ht.
16	<i>Echinacea purpurea</i> 'Ruby Star'	Ruby Star Coneflower	1 gal	18-12" Ht.
85	<i>Heemerocallis x 'Stella de Oro'</i>	Stella de Oro Daylily	4" pot	18-12" Ht.



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Design/Drawn: ABK
Approved: MAS

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L1.0

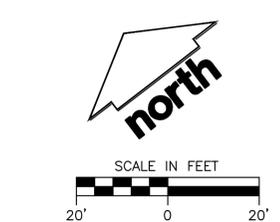
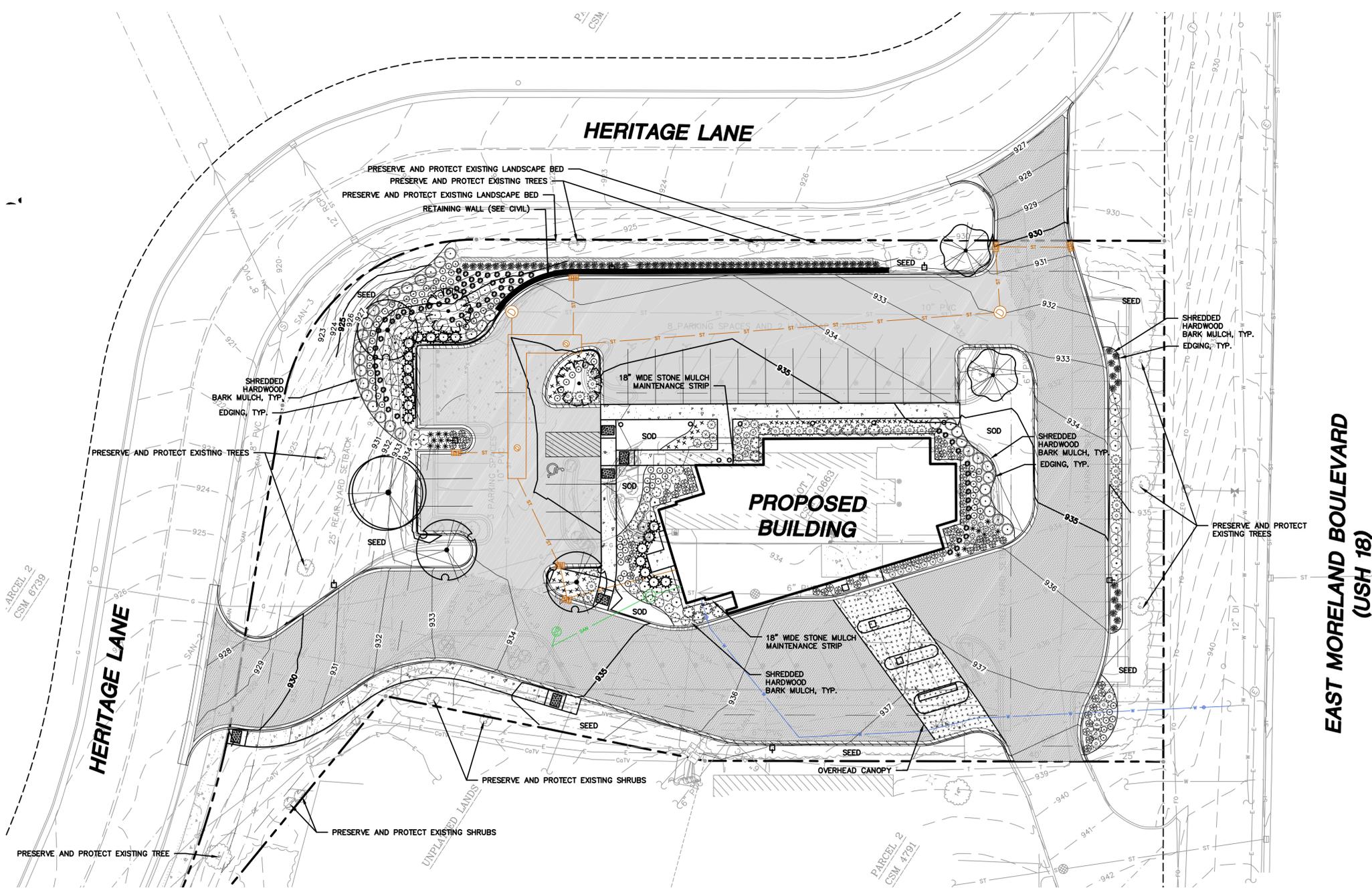
JSD PROJECT NO: 18-8469

LEGEND (PROPOSED)

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- BUILDING LINE
- BUILDING OVERHANG LINE
- EDGE OF CONCRETE
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- PROPOSED CONCRETE PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- LIGHT POLE
- BOLLARD

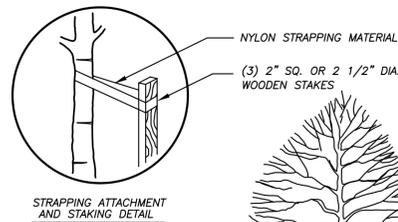
GENERAL NOTES:

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF WAUKESHA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- REFER TO SHEET L2.0 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN

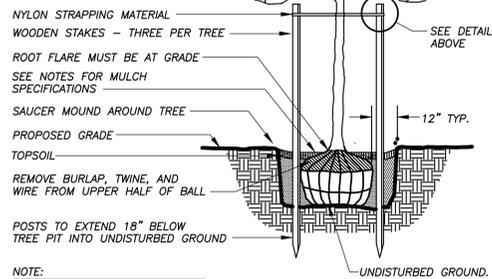


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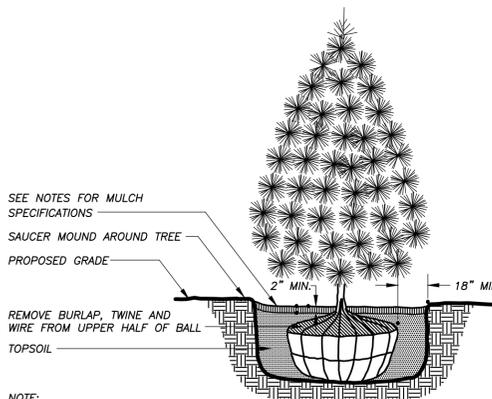


STRAPPING ATTACHMENT AND STAKING DETAIL



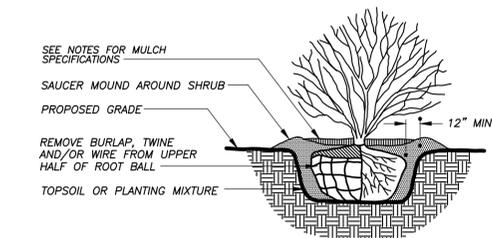
DECIDUOUS TREE PLANTING DETAIL

N.T.S.



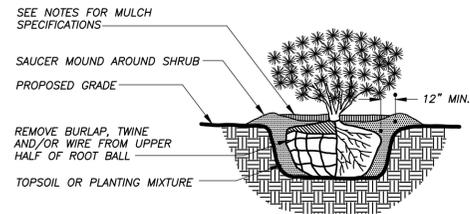
EVERGREEN TREE PLANTING DETAIL

N.T.S.



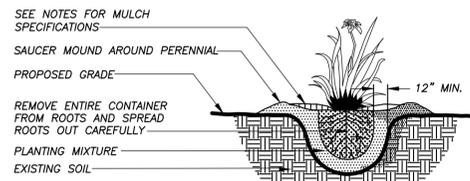
DECIDUOUS SHRUB PLANTING DETAIL

N.T.S.



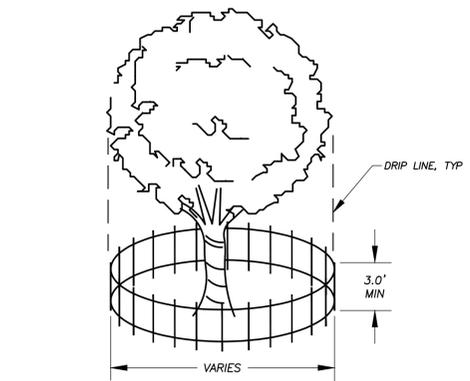
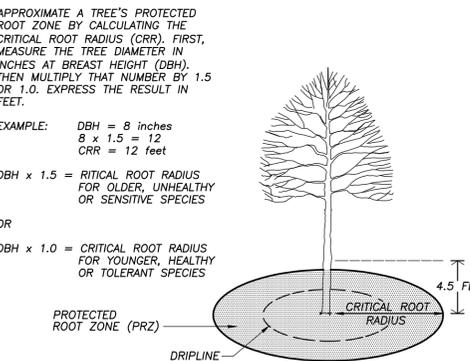
EVERGREEN SHRUB PLANTING DETAIL

N.T.S.



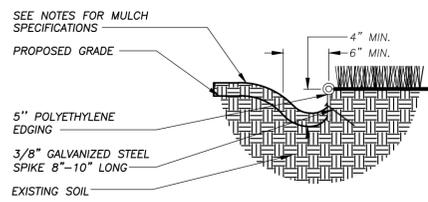
PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.



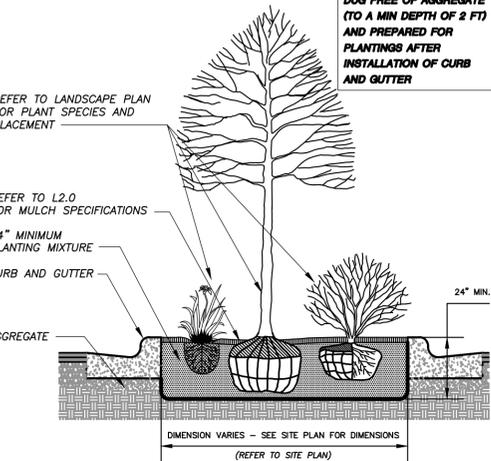
TREE PROTECTION DETAIL

N.T.S.



LANDSCAPE EDGING DETAIL

N.T.S.



TYPICAL PARKING ISLAND DETAIL

N.T.S.

GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5444 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON", DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

LANDSCAPE MATERIAL NOTES

- MATERIALS - SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
 - PLANTING AREAS = 24"
 - TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH OVER ALL PLANTING AREAS. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE. PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC: ALL DECORATIVE STONE MULCH PLANTING AREAS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH EARTH CARPET'S "MADISON PARKS" OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS - SOD: ALL AREAS SPECIFIED ON PLAN PER THESE NOTES: TURFGRASS SOD: CLASS OF TURFGRASS SOD SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH AND LAKE ROLL TURFGRASS. SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPORTED WITH A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO .5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- MATERIALS - IRRIGATION: DRIP IRRIGATION TO BE INSTALLED SURROUNDING FOUNDATION. SEE PLUMBING DRAWINGS AND SPECIFICATIONS.
- MATERIALS - IRRIGATION:
 - BASE BID: TEMPORARY DRIP IRRIGATION (DARK BROWN IN COLOR) TO BE INSTALLED IN ALL PLANT BEDS SURROUNDING THE BUILDING.
 - ALTERNATE BID: PERMANENT IN-GROUND IRRIGATION SYSTEM TO BE INSTALLED WITH COVERAGE AREA TO INCLUDE ALL PERIMETER PLANT BEDS, PARKING LOT ISLANDS AND TURFGRASS AREAS.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



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PROJECT LOCATION:
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WAUKESHA COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	04.09.18	CITY PLAN REVIEW
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Design/Drawn: ABK
Approved: MAS

SHEET TITLE:
**LANDSCAPE DETAILS,
NOTES, AND
SPECIFICATIONS**

SHEET NUMBER:
L2.0



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File: I:\2018\188469\DWG\188469 Landscape.dwg Layout: L2.0 User: akamiewski Plotted: Apr 05, 2018 - 4:55pm Xref's: 188469 Summit Credit Union - Waukesha

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