

City of Waukesha Application for Development Review

City of Waukesha Community Development Department - 201 Delafield Street, Suite 200, Waukesha, WI 53188 262-524-3750 City of Waukesha Department of Public Works Engineering Division—130 Delafield Street, Waukesha, WI 53188 262-524-3600 www.waukesha-wi.gov

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
Applicant Name: Kate Egan	Applicant Name: School District of Waukesha
Applicant Company Name: Bray Architects	Applicant Company Name: School District of Waukesha
Address: 829 S 1st Street	Address: 222 Maple Ave
City, State: Milwaukee, WI Zip: 53228	City, State: Waukesha, WI zip: 53186
Phone: 414-615-7679	Phone: 414-615-7679
E-Mail: kegan@brayarch.com	E-Mail: dclark@waukesha.k12.wi.us
ARCHITECT/ENGINEER/SURVEYOR INFORMATION	PROJECT & PROPERTY INFORMATION
_{Name:} Kate Egan	Project Name: Horning Middle School
Company Name: Bray Architects	Property Address 2000 Wolf Road, Waukesha, 53188
Address: 829 S 1st Street	Tax Key Number(s): WAKC 1006.981.001
City, State: Milwaukee, WI Zip: 53228	Zoning: Institutional - 1
Phone: 414-615-7679	Total Acreage: 10.002 Existing Building Square Footage 141,814
E-Mail: _kegan@brayarch.com	Proposed Building/Addition Square Footage: _250
	Current Use of Property: Middle School
Renovations of main office, science labs, cafeteria, and libr Updated finishes in a large portion of the building.	ary / media center.
APPLICATION ACKNOWLEDGEMENT AND SIGNATURES hereby certify that I have reviewed the City of Waukesha Development Forovided one PDF of all required information. Any missing or incomplete in this I also authorize The City of Waukesha or its agents to enter upon the Applicant Signature	Handbook, City Ordinances, Submittal Requirements and Checklists and have information may result in a delay of the review of your application. By signing
For Internal Use Only:	
Amount Due (total from page 2): Amou	ınt Paid: Check #:
Trakit ID(s)	Date Paid:

City of Waukesha Application for Development Review

TYPE OF APPLICATION & FEES (CHECK ALL THAT APPLY) **Fees** Please note that each application type has different submittal requirements. Detailed submittal checklists can be found in Appendix A of the Development Handbook. Plan Commission Consultation \$200 Traffic Impact Analysis Commercial, Industrial, Institutional, and Other Non-Residential \$480 Residential Subdivision or Multi-Family \$480 Resubmittal (3rd and all subsequent submittals \$480 Preliminary Site Plan Review Level I: Buildings/additions less than 10,000 sq.ft. or sites less than I acre \$2,200 Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres \$2,320 Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres \$2,440 Level 4: Buildings/additions over 100,001sq.ft. or sites greater than 25.01 acres. \$2,560 Resubmittal Fees (after 2 permitted reviews) \$750 \$1,320 Final Site Plan Review Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre \$1,320 Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres \$1,440 Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres \$1,560 Level 4: Buildings/additions over 100,001sq.ft. or sites greater than 25.01 acres. \$1,680 Resubmittal Fees (3rd and all subsequent submittals) \$750 Minor Site or Architectural Plans Projects that do not require site development plans \$330 Resubmittal Fees (3rd and all subsequent submittals) \$330 Certified Survey Map (CSM) I-3 Lots **\$500** 4 lots or more **\$560** Resubmittal (3rd and all subsequent submittals) \$180 Extra-territorial CSM \$260 Preliminary Subdivision Plat

Up to 12 lots \$1,270

13 to 32 lots \$1,390

36 lots or more \$1,510

Resubmittal (3rd and all subsequent submittals) \$630

Final Subdivision Plat

Up to 12 lots \$660

13 to 32 lots \$780

36 lots or more **\$900**

Resubmittal (3rd and all subsequent submittals) \$480

Extra-territorial Plat \$540

Rezoning and/or Land Use Plan Amendment

Rezoning \$630

Land Use Plan Amendment: \$630

Conditional Use Permit

Conditional Use Permit with no site plan changes \$480

Conditional Use Permit with site plan changes \$480 plus applicable preliminary and final site plan fees above

Planned Unit Development or Developer's Agreement (Site Plan Review is also required)

New Planned Unit Development or Developer's Agreement \$1,760

Planned Unit Development or Developer's Agreement Amendment \$610

TOTAL APPLICATION FEES:

\$1.320

City of Waukesha Development Review Submittal Requirements

PLAN COMMISSION CONSULTATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Plan Commission Consultation my be submitted for review and comment for the owner/developer to ascertain the feasibility of a proposed project. A consultation is not required but may be submitted in advance of an actual submittal for a preliminary plat, CSM, Planned Unit Development, rezoning, conditional use or site plan. The Plan Commission will only provide feedback, no approvals will be given. Prior to applying for a Plan Commission Consultation you must discuss your project with the Planning Division to determine if a Plan Commission Consultation is recommended.

Review Time: Approximately 30 days

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission (optional)

In addition to this application and corresponding application fee you will also need:

One (I) digital (PDF) copy of the plans you want conceptual review of

Attachment A: Development Review Checklist. You should also review all other corresponding checklists that relate to the project that you are seeking conceptual review of and include as much information as possible.

Cover letter outlining project details.

TRAFFIC IMPACT ANALYSIS SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Traffic Impact Analysis is required for projects that meet certain criteria. Please refer to the Developer's Handbook Section 4.4 to determine if your project requires a Traffic Impact Analysis

Review Time: Approximately 30 days

Reviewing Departments: Public Works Engineering Division

Reviewing Boards: None, however the Plan Commission may require a copy as part of site plan review process.

In addition to this application and corresponding application fee you will also need:

One (I) digital (PDF) copy of the Traffic Impact Analysis

PRELIMINARY SITE AND ARCHITECTURAL PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Preliminary site and architectural plans are required for any new residential development with 4 or more units and all non-residential developments. Preliminary site plan approval is also required for additions or modifications to existing developments and projects where a stormwater management plan is needed. Preliminary approval is required unless it is determined by City staff in the Pre-Application meeting that the project only needs Final Site and Architectural Review.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (I) digital (PDF) that includes of items listed below

Cover letter outlining project details.

Color architectural elevations of all sides of the building and color perspective renderings

Conceptual Landscape Plan

Attachment A: Development Review Checklist

Site Plan (see Attachment B: Engineering Plan Checklist)

Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)

Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

Utility Plans (see Attachment H: Sewer Plan Review Checklist)

Any other attachments as applicable.

FINAL SITE AND ARCHITECTURAL PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Final site and architectural plans are submitted only after the Plan Commission has approved Preliminary Site Plans for any new residential development with 4 or more units and all non-residential developments, including modifications to existing developments. Some projects may bypass Preliminary approval but only if it is determined by City staff in the Pre-Application meeting.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

 \mathbf{X} One (1) digital (PDF) that includes of items listed below

X Cover letter outlining project details.

X Color architectural elevations of all sides of the building and color perspective renderings

X Landscape Plan (see Attachment I: Landscape Plan Checklist)

X Attachment A: Development Review Checklist

X Site Plan (see Attachment B: Engineering Plan Checklist)

X Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)

* (Note: Checklist not needed per Dave Buechl)

Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

X Utility Plans (see Attachment H: Sewer Plan Review Checklist)

* (Note: Checklist not needed per Dave Buechl)

MINOR SITE AND ARCHITECTURAL PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Minor Site and Architectural review is intended for projects that may not need the extensive submittal requirements for Preliminary and Final Site Plan approval. Projects that qualify for Minor Site Plan submittal may include landscape, façade and building changes or minor site modifications that don't result in the addition of impervious surface.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (I) digital (PDF) that includes of items listed below

Cover letter outlining project details.

Architectural elevations of all sides of the building being modified

In addition, depending on the type of project, you may also need the following items:

Site Plan (see Attachment B: Engineering Plan Checklist)

Landscape Plan (see Attachment I: Landscape Plan Checklist)

CERTIFIED SURVEY MAP SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Certified Survey Map may be used to divide up to eight (8) lots in Commercial, Industrial, and Mixed Use zoning districts and up to four (4) lots in all other zoning districts.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (I) digital (PDF) that includes of items listed below

Attachment E: Certified Survey Map Checklist

Attachment A: Development Review Checklist and other attachments as applicable.

*Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.

PRELIMINARY PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Preliminary Plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Preliminary Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (I) digital (PDF) that includes of items listed below

Attachment F: Preliminary Plat Checklist

Cover letter outlining project details.

Attachment A: Development Review Checklist and other attachments as applicable

Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

FINAL PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Final plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Final Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (I) digital (PDF) that includes of items listed below

Attachment G: Final Plat Checklist

Cover letter outlining project details.

Attachment A: Development Review Checklist and other attachments as applicable.

Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

REZONING & COMPREHENSIVE PLAN AMENDMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

This review is for any requests to rezone land or amend the City's Comprehensive Master Plan. For rezonings all property owners within 300 feet of the property will be notified of your request.

Review Time: 45-60 Days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

Additional Information: Rezonings must be done in accordance with the Comprehensive Plan. Please consult with Planning staff to determine if a Comprehensive Plan Amendment is also required prior to submitting a rezoning application.

In addition to this application and corresponding application fee you will also need:

One (I) digital (PDF) that includes of items listed below

Cover letter outlining project details and rationale for rezoning

Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)

Conceptual Plan (if applicable)

*Please note this application fee only covers the rezoning and/or Comprehensive Plan Amendment. If you are proposing site plan changes or are subdividing land you will also need to meet the applicable submittal requirements for those proposals.

CONDITIONAL USE PERMIT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Any use listed as a Conditional Use in Chapter 22 (Zoning Code) requires a Public Hearing in front of the Plan Commission prior to building or occupancy permits being issued. All property owners within 300 feet of the property will be notified of your request.

Review Time: 30-45 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department,

Water Utility.

Reviewing Boards: Plan Commission

In addition to this application and corresponding application fee you will also need:

One (I) digital (PDF) that includes of items listed below

Conditional Use Permit Application

*Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.

PLANNED UNIT DEVELOPMENT OR DEVELOPER'S AGREEMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

The PUD Overlay District is intended to permit development that will, over a period of time, be enhanced by coordinated area site planning, diversified location of structures, diversified building heights and types, and/or mixing of compatible uses. The PUD Overlay District under this Chapter will allow for flexibility of overall development design with benefits from such design flexibility intended to be derived by both the developer and the community, while at the same time maintaining insofar as possible the standards or use requirements set forth in the underlying basic zoning district.

Developer's Agreements are used for any project that require public infrastructure improvements (sewer, storm sewer, sidewalks, etc) and other offsite improvements such as median openings, traffic signals, street widening, etc..

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council. Some projects will also require Board of Public Works review.

In addition to this application and corresponding application fee you will also need:

One (I) digital (PDF) that includes of items listed below

Cover letter/statement that outlining project details and all of the required information set forth in the Zoning Ordinance Section 22.52 (4)(a)

Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)

General Development Plan

Proposed Supplemental Design Elements (required for all PUDs under the minimum required acreage)

*Please note in addition to the PUD submittal requirements your project will also need additional application fees and submittal materials based on the project type. This may include Preliminary and Final Plats, Preliminary and Final Site and Architectural Plans, Certified Survey Maps, Traffic Impact Analysis. Staff will inform you of any additional submittal requirements at the Pre-Application meeting, which is required prior to submitting your application.

ANNEXATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Requests for annexation as permitted under Section 66.0217 Wisconsin Statutes.

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department,

Water Utility.

Reviewing Boards: Plan Commission, Common Council

In addition to this application and corresponding application fee you will also need:

One (I) digital (PDF) that includes of items listed below

Copy of your State of Wisconsin Request for Annexation Review Application

Signed City of Waukesha Direct Annexation Petition

Map of property of property to be annexed.

A boundary description (legal description of property to be annexed)

Any additional information on the annexation.



Wednesday | December 11th, 2019

Project: Horning Middle School

Site Address: 2000 Wolf Road, Waukesha WI 53188

Bray Project Number: 3353

Owner: School District of Waukesha

222 Maple Ave, Waukesha WI 53186

Applicant / Architect: Bray Architects

829 S 1st Street, Milwaukee WI 53204

Application for Development Review - Horning Middle School

Project Description:

The architectural scope of this project creates a new main entrance with a 250 square foot vestibule to the south.

The site improvements are around the new vestibule and repairing curbs and existing hardscape.

Interior renovations include updating the toilet rooms and locker rooms to be ADA compliant, reconfiguring the current main office and student services block of space, renovating science labs, renovating the kitchen and cafeteria, replacing finishes in classrooms and throughout the school.

Capital maintenance improvements include replacing the roof, HVAC upgrades (including bringing air conditioning to additional areas of the school), replacing ceilings and light fixtures, replacing doors (including ADA compliant hardware) and other electrical and plumbing upgrades.



Attachment A - Application for Development Review Checklist

Project Name: ___Horning Middle School

Engineering Design Firm: Muermann Engineering - Electrical Engineers

Kapur Inc. - Civil Engineers

Checklist Items	CSM	Preliminary Plat	Final Plat	Property Survey for Bldg Permit	Storm Water Plan	Erosion Control Plan	Site, Grading, Drainage Plan	Street Plan	Utility Plan	Landscape Plan	Traffic Control Plan	Traffic Impact Analysis	Conditional Use or Home Indus.	PUD or Developer's Ag.	Minor site or Arch. Change	Conditional Use	Rezoning & Comp. Plan
Followed Construction Drawing Sheet Layout						X	Χ	N/A	Χ	Χ							
standards in Development Handbook																	
Followed Development Handbook and Storm Water Ordinance standards for Erosion control plans						Χ											
Obtained geotechnical evaluation for storm water							\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	N 1 / A									
and pavement design					N/A		X	N/A	X								
and pavement design																	
Followed Development Handbook standards, and				X													A .
Wisconsin Administrative Code for Property Survey																	
Verified proposed basement floor elevation is at																	
least 1 foot above the highest seasonal high water				l X													
table elevation																	
Followed Development Handbook standards and Ordinance for Preliminary Plat		N/A															
Followed Site, Grading, and Drainage Plan design																	
standards in Development Handbook and Storm							X						N/A		N/A	N/A	N/A
Water Ordinance																' ''' '	
Followed Traffic impact analysis standards in												N/A					
Development Handbook												1 4/7 1					
Specifications conform to current City Standard					N/A	Χ	X	N/A	X	Χ	N/A			N/A			
Specifications					,,	/ \	/ /	1 4/7 1	/ `	/\	1 4// (1 4/7 1			
Followed Lighting Plan standards in Development									X								
Handbook																	
Development site contains Contaminated Waste							NO										
Followed storm water management requirements					N/A												
in Development Handbook, and Ordinance					13// \												
							NO										
Site contains mapped FEMA floodplain or a local 100-year storm event high water limits							NO										
100-year storm event nigh water limits																	
Site contains wetlands or Natural Resource limits							NO										
(ie. Primary, Secondary, Isolated , shoreland limits)							''										
	N I / A																
CSM follows standards in Development Handbook, City Ordinance, and State Statutes	N/A																
Followed Development Handbook standards for Street plans and profiles								N/A									
Followed Development Handbook standards for utility plans and profiles									X								
Existing sanitary sewer lateral has been televised							N/A		N/A				N/A		N/A	N/A	N/A

Checklist Items	CSM	Preliminary Plat	Final Plat	Property Survey for Bldg Permit	Storm Water Plan	Erosion Control Plan	Site, Grading, Drainage Plan	Street Plan	Utility Plan	Landscape Plan	Traffic Control Plan	Traffic Impact Analysis	Conditional Use or Home Indus.	PUD or Developer's Ag.	Minor site or Arch. Change	Conditional Use	Rezoning & Comp. Plan Change
Development Agreement needed for Public Infrastructure														N/A			
Followed Development Handbook standards for Landscape plans										Х							
Followed Development Handbook standards, State Statures and Ordinance for Final Plat			N/A														
A-E 2.02(4): Each sheet of plans, drawings, documents, specifications and reports for architectural, landscape architectural, professional engineering, design or land surveying practice should be signed, sealed, and dated by the	N/A	N/A	N/A	X	X	X	X	N/A	X	X		N/A	N/A	N/A	N/A	N/A	N/A
32.10(e)(12.)H. A cover sheet stamped and signed by a professional engineer registered in the State of Wisconsin indicating that all plans and supporting documentation have been reviewed and approved by the engineer and certifying that they have read					Х												
City, DNR, County or State Permits are needed					N/A		Х	N/A	Х		N/A						
Complete and submit Plan Sheet and Submittal Specific checklists in Development Handbook	N/A	N/A	N/A	N/A	X	Χ	N/A	N/A	N/A	Х		N/A					
Proposed easements needed are shown.	N/A		N/A		N/A		N/A	N/A	N/A								
All Existing easements are shown	N/A	N/A	N/A	X	X	Χ	X	N/A	X	X			N/A	N/A	N/A	N/A	N/A



City of Waukesha Department of Public Works 130 Delafield Street Waukesha, WI 53188 Waukesha-wi.gov

Engineering Plan Checklist

Attachment B (Rev 12/18)

Project Name:	Horning Middle School						
Engineering & Design Firm:		Kapur Inc Civil Engineers					
General Information	on	Muermann Engineering - Electrical Engineers					

Plans shall include the seal and signature of the Wisconsin licensed professional engineer responsible for the preparation of the construction plans on the cover sheet or on each sheet

YES	NO	N/A	
		X	Provide a copy of the WisDOT permit for any work in the State of Wisconsin right of way.
		×	Provide a copy of the Waukesha County Department of Public Works permit for any work in right of way of Waukesha County.
	×		Provide a copy of Wisconsin Department of Natural Resources Water Resources Application for Project Permits (WRAPP) for all sites greater than one acre.
		X	Provide a copy of US Army Corps of Engineers 404 permit.
		X	Provide cross access agreements for use of entrances.
		X	Provide off-site utility easements.
		×	Provide hydraulic gradeline calculations for all storm sewer pipes signed and sealed by a professional engineer licensed in the State of Wisconsin.
×			Provide a storm water management plan and calculations signed and sealed by a professional engineer licensed in the State of Wisconsin.

All Plan Sheets

YES	NO	N/A	
×			Plans prepared on sheets measuring 11" high by 17" wide or no larger than 24" high by 36" wide.
		×	Sanitary Sewer, watermain and storm sewer system plans for the entire development are included.
		×	A profile view is located below a plan view on plan and profile sheets and both views are aligned by stationing whenever possible. In general, stationing is from left to right.
		X	Plan and profile sheets start and terminate at match lines.
X			The assumed bearing base, control monuments and stationing reference line(s)
×			Right-of-way limits and easement limits
×			Edge of pavement or flange, face and back of curb
×			Name of each existing, proposed, and future roadway and any intersecting roadways
×			Lot lines, lot and block numbers
×			Addresses and names of Owners for existing parcels

×		All obstructions located within the project limits including, but not limited to: trees, signs, utilities, fences, light poles, structures, etc.
X		A note warning that underground utilities must be located by "Diggers Hotline" prior to start of construction
×		Legend (relevant to each sheet) showing all special symbols, line types and hatch used
		Title block includes at a minimum, the following information:
		Name and address of engineering (design) firm and owner/developer
N		Date of the drawing and last revision
X		Scale
		Plan sheet number (# of #)
		Name and location description of development
×		North to the top or right of the sheet and shown by a north arrow, clearly shown without intrusion.
×		Scale of the plans 1" = 40' horizontally and 1" = 8' vertically for 11" by 17" plan sheets and 1" = 20' horizontally and 1" = 4' vertically for 22" by 34" sheets. Partial site plans have a scale of 1" = 20' or larger. The scale of details is such that the detail is clearly shown. The scale is shown with a line scale and text.
X		Existing surface objects indicated with screened lines and clearly labeled.

Cover Sheet

YES	NO	N/A	
×			Project title.
X			Location Map (Proximity to two main streets minimum).
×			Index of all plan sheets
		X	For large or phased subdivisions, a key map of layout and phases.
		×	A minimum of two (2) current SEWRPC reference benchmarks. Survey documentation of tie to Wisconsin State Plane Coordinate System, South Zone (horizontal) and City of Waukesha datum (vertical) provided. Elevations shown based on City of Waukesha datum.
×			All permanent or temporary benchmarks and elevations.
×			A description of the locations of the benchmarks; and the basis or origin of the vertical control network.
X			Date of plan preparation and applicable revision date(s)
×			The following statement: "All site improvements and construction shown on the plans shall conform to the City of Waukesha <u>Development Handbook & Infrastructure Specifications</u> . Where the plans do not comply, it shall be the sole responsibility and expense of the Developer to make revisions to the plans and/or constructed infrastructure to comply."

Roadway

YES	NO	N/A	
		×	For all new streets, a site specific geotechnical evaluation and pavement design submitted with the plans.
		×	A separate detail sheet showing typical cross-sections for each roadway standard width and cul-de-sac if applicable.

Plan View

YES	NO	N/A	
		×	The assumed bearing base, control monuments and stationing reference line along the centerline of the roadway, including cul-de-sacs.
X			At least one clearly labeled benchmark or control point per sheet.
×			Pavement and median dimensions.
×			Final grade elevations at 25' intervals at the right-of-way including at the edge of pavement for rural sections or at the flange of curb for urban sections.
		X	Final grade elevations for cul-de-sacs at 25' intervals at the right-of-way including at the edge of pavement for rural sections or at the flange of curb for urban sections.
×			Label all PVC's, PVT's, and PC's, PT's for vertical and horizontal curves. Radii of all intersections (edge of pavement or flange of curb, with note indicating which is referenced).
X			Driveways for all lots adjacent to storm inlets and intersections.
×			Sidewalks labeled and dimensioned.
×			Existing, proposed, future streets and drives labeled and dimensioned.
		X	All roadside ditch locations, flowline elevations at 50' intervals of the ditches.
×			Slope intercepts.
		X	Invert profile for 200' downstream for any existing ditches receiving flow from a proposed road or street.
X			Limits of any areas which need special stabilization techniques.
×			Specific details of all existing connected roadways. Pavement, shoulders, ditches, curb alignment, and grades shall be shown as needed to adequately make the transition.

Intersection Details

YES	NO	N/A	
		×	Radii of all intersections (edge of pavement or flange of curb, with note indicating which is referenced).
		X	Sidewalks and accessible ramps labeled and dimensioned.
		X	Right of way corner clips and sight visibility easements.
		X	Spot grades as necessary to ensure proper drainage and compliant ADA slopes.
		×	Spot grades shall be shown at end of radius for all curb and gutter and the end radius for all back of sidewalk.
		X	Drainage clarified by flow arrows, high points, sags, ridges, etc. Slope intercepts shall be clearly labeled by station, elevation to the nearest 0.1', and offset distance (left or right) from the reference line.
		×	Invert elevation of ditches (for rural roadway).
		X	Final subgrade elevation at the centerline of the street or roadway.

Cross Sections

YES	NO	N/A	
		X	Right of way limits.
		×	Slope intercepts clearly labeled.
		×	Elevations to the nearest 0.01'.
		X	Offset distance (left or right) from the reference line.
		X	Final grade elevations at back of walk, face of walk, top of curb, flange elevation (edge of pavement for rural section), and the centerline of the street or roadway.
		×	Cross slope of sidewalk, terrace area, and roadway.
		×	Invert elevation of ditches (for rural section)



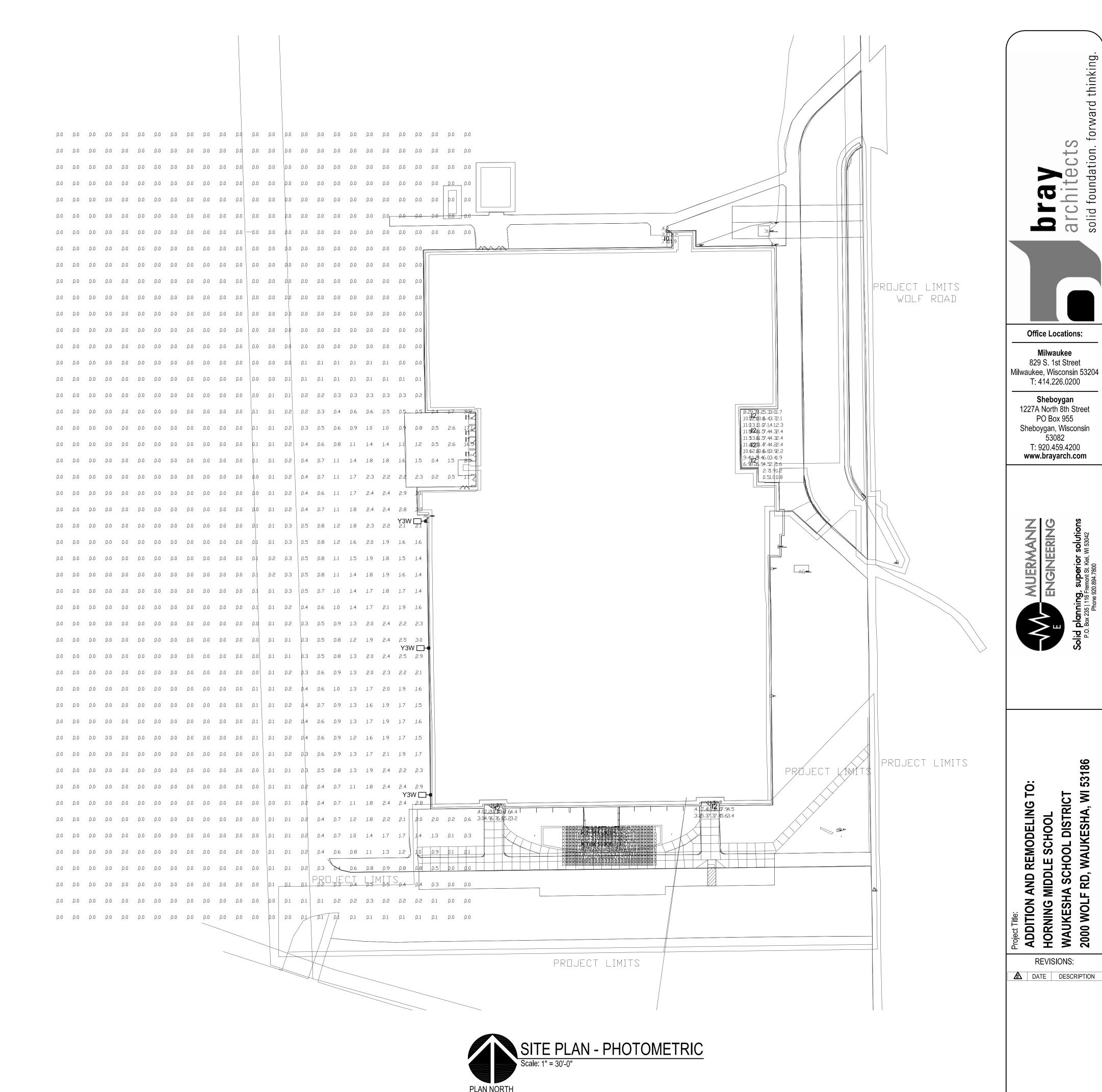
City of Waukesha Department of Public Works 130 Delafield Street Waukesha, WI 53188 Waukesha-wi.gov

Landscape Plan Checklist

Attachment I (Rev 12/18)

Project Name: _	Horning Middle School
Engineering & D	esign Firm: Kapur Inc Civil Engineers

☑ Contact Community Development Department for Requirements								
Listed below are general design considerations only:								
YES	NO	N/A						
×			Show easements					
×			Location and footprint of any and all buildings					
×			Dimensions of development site along property line					
×			Existing and proposed streets					
X			Pedestrian and vehicular access points					
X			Location and dimensions of parking lots, etc.					
X			Location and dimensions of all existing or planned easements					
X			Location and dimensions of snow removal and storage areas					
X			Location and dimensions of outdoor lighting fixtures					
		X	Interior parkway provided					
		X	Parkway provided					
X			Buffer strip provided					
		×	Dumpster enclosure details					
×			Parking lot landscaping					
		×	Utility/mechanical equipment screened					
		X	Service area screened					
×			Location of freestanding signs					
×			Walls and fences shown					
X			Location of utilities					
X			Existing and proposed contours and grades, including berm elevations					
×			Location, name and size of proposed plant materials					
X			Specifications of all types of all proposed ground cover, i.e., seed, sod, etc.					
×			Location, species, and size of existing trees					
X			Clear identification of trees to be removed					
×			Square footage of parking lot area					
×			Tree protection plan					



CATALOG NUMBER CNYLED-P0-50K-MVOLT

HORNING MIDDLE SCHOOL SITE FIXTURE SCHEDULE DESCRIPTION LAMP TYPE | VOLT | WATTS | MANUFACTURER 10 10" SQUARE SURFACE LED CANOPY - 3500 LUMENS 5000K LED | 120-277 | 27 LITHONIA 11 10" SQUARE SURFACE LED CANOPY - 4500 LUMENS 5000K LED | 120-278 | 35 LITHONIA CNYLED-P1-50K-MVOLT 12 10" SQUARE SURFACE LED CANOPY - 6600 LUMENS CNYLED-P2-50K-MVOLT K1 6" LED RECESSED DOWNLIGHT - 1000 LUMENS LITHONIA LDN6-50/10-LO6-AR-LSS-MVOLT Y3W LED AREA FIXTURE - TYPE FORWARD THROW MEDIUM - 14,672 LUMENS - WALL MOUNTED | 5000K LED | 120-277 | 125 | LITHONIA | DSX1LED-P4-50K-TFTM-MVOLT-WBA GENERAL NOTES:

1. SEE SPECIFICATIONS FOR FIXTURE REQUIREMENTS.

2. NO ALTERNATE FIXTURES. 3. ALL INTERIOR LED FIXTURES TO HAVE A MINIMUM CRI OF 80+. ALL EXTERIOR LED FIXTURES TO HAVE A MINIMUM CRI OF 70+.

4. MOUNT FIXTURES AT HEIGHT INDICATED ON DRAWINGS UNLESS NOTED OTHERWISE.

1. ARCHITECT TO SELECT STANDARD COLOR AND FINISH.

GENERAL NOTES:

1. SITE LIGHTING CALCULATED AT GRADE.

Project Number: Issued For:

Milwaukee

53082

CITY SUBMITTAL

11/06/2019 Sheet Title: SITE PLAN -

PHOTOMETRIC

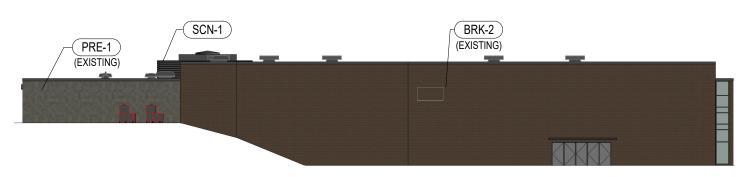
Sheet Number:

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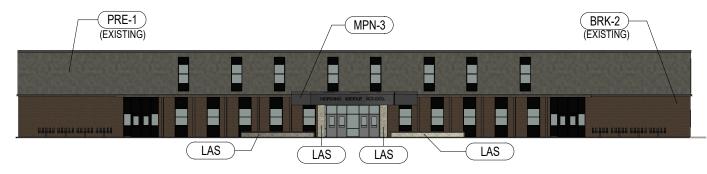


HORNING MIDDLE SCHOOL 2000 WOLF ROAD, WAUKESHA, 53188



OVERALL - NORTH ELEVATION

Scale: 1" = 30'-0"



OVERALL - SOUTH ELEVATION

Scale: 1" = 30'-0"



KEYNOTE LEGEND

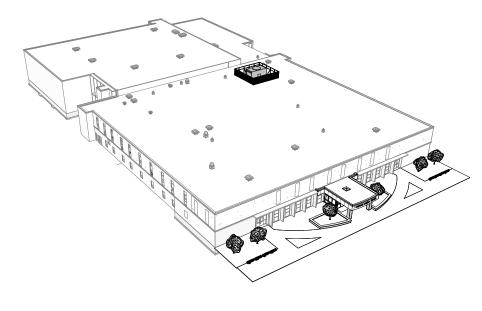
BRK-2 EXISTING BRICK

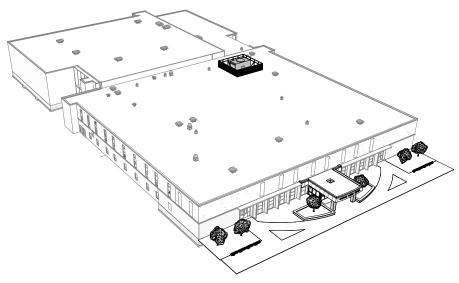
LAS LANNON STONE MPN-3 METAL PANEL

PRE-1 EXISTING PRECAST CONCRETE

SCN-1 PREMANUFACTURED ANODIZED ROOF EQUIPMENT SCREEN TO MATCH

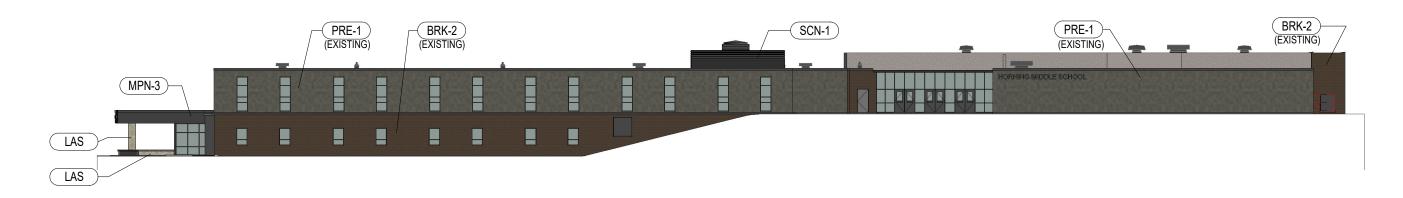
EXISTING METAL TRIM





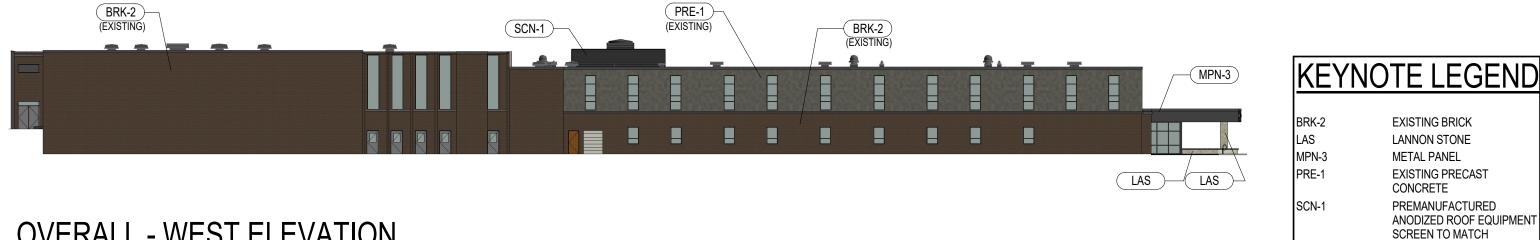
HORNING MIDDLE SCHOOL 2000 WOLF ROAD, WAUKESHA, WI 53186

11/8/19



OVERALL - EAST ELEVATION

Scale: 1" = 30'-0"



OVERALL - WEST ELEVATION

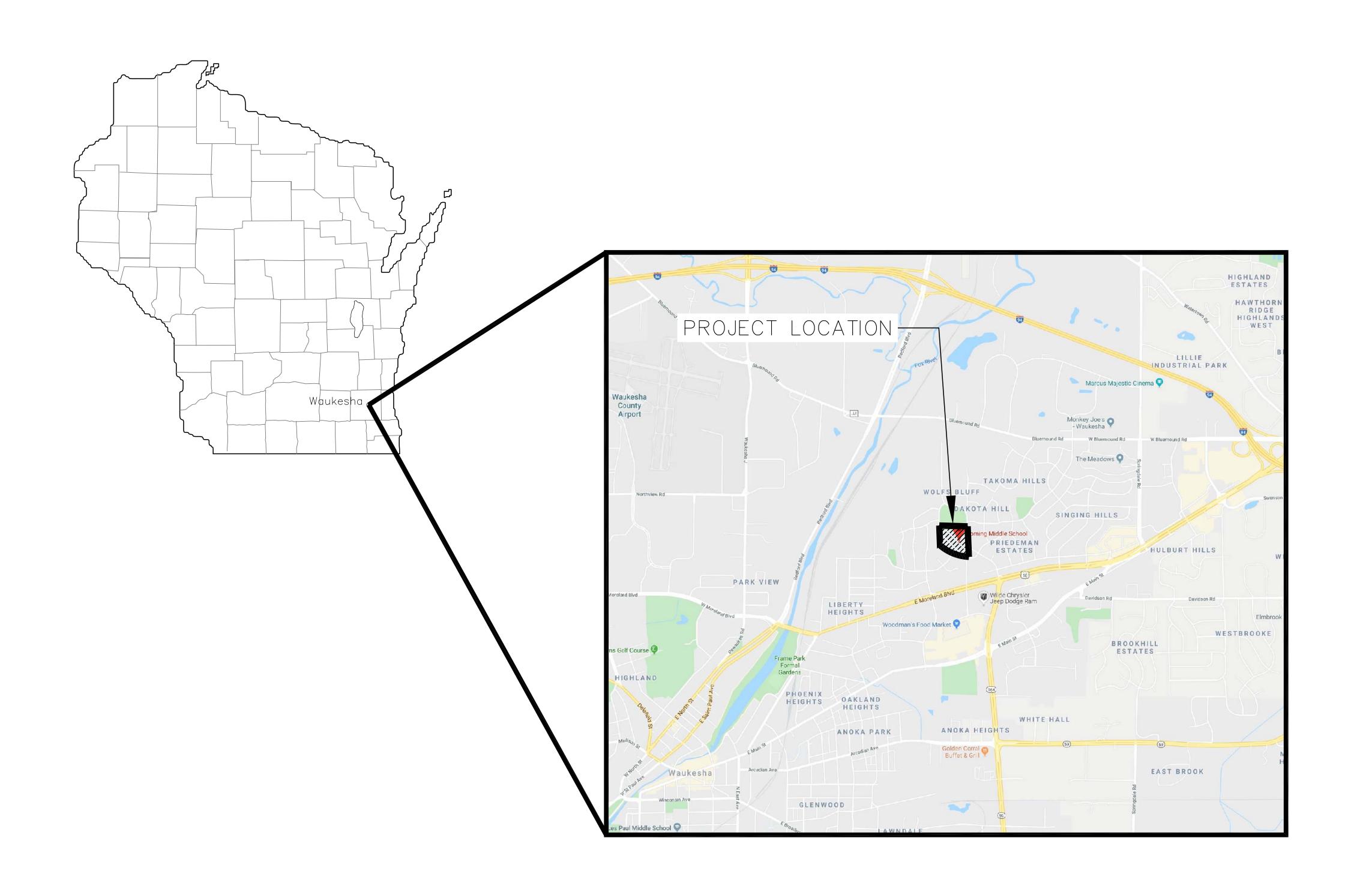
Scale: 1" = 30'-0"



HORNING MIDDLE SCHOOL 2000 WOLF ROAD, WAUKESHA, WI 53186

EXISTING METAL TRIM

HORNING MIDDLE SCHOOL SCHOOL DISTRICT OF WAUKESHA



INDEX TO DRAWINGS

SHEET NO. TITLE

TITLE SHEET & LOCATION MAP

PLAT OF SURVEY WITH TOPOGRAPHY C1.0

C1.1 SITE DEMOLITION PLAN

C1.2 SITE LAYOUT PLAN

SITE GRADING & EROSION CONTROL PLAN

C2.1 SITE DETAILS

C2.2 SITE DETAILS

L1.1 SITE LANDSCAPE PLAN L2.1 SITE LANDSCAPE DETAILS

SURVEY INFORMATION

- 1) BEARINGS ARE BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD 27.
- 2) ELEVATIONS ARE BASED ON NGVD 29 DATUM.
- 3) EXISTING TOPOGRAPHY IS BASED ON FIELD SURVEY TAKEN ON 12/04/2018 BY KAPUR & ASSOCIATES, INC.
- 4) REFER TO SHEET C1.0 FOR ADDITIONAL INFORMATION.



*ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CITY OF WAUKESHA DEVELOPMENT HANDBOOK & INFRASTRUCTURE SPECIFICATIONS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.

Office Locations:

www.brayarch.com



⚠ DATE DESCRIPTION

Project Number:

Issued For: COMMISSION **REVIEW**

Sheet Title: TITLE SHEET & **LOCATION MAP**

Sheet Number:

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PLAT OF SURVEY WITH TOPOGRAPHY ALL THAT PART OF THE NORTHEAST 1/4 OF SECTION 35 AND NORTHWEST 1/4 OF SECTION 36, TOWN 7 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN NORTH ¼ CORNER OF NW 1/4 CORNER OF SECTION 36-T7N-R19E SECTION 36-T7N-R19E S89°52'49"W 2677.56' TOTAL NORTH LINE OF THE NW 1/4 OF SECTION 36-T07N-R19E CONC. MON. W/ BRASS CONC. MON. W/ BRASS LEGAL DESCRIPTION FROM QUIT CLAIM DEED, DOC. NO. 2141538 Phone: 414.751.7200 Fax: 414.351.4117 PARCEL 1: ALL THAT PART OF THE NORTHEAST 1/4 OF SECTION 35 AND NORTHWEST 1/4 OF SECTION 36, TOWN 7 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF LOT 26, BLOCK I, GREENWAY TERRACE, A RECORDED (R.A. N90°00'E 450' +/-) **S89°14'32"W 450.00'** 25' WIDE STORM SEWER EASEMENT SUBDIVISION IN THE CITY OF WAUKESHA; THENCE DUE NORTH TO THE INTERSECTION OUITCLAIM DEED DOC.NO. 2151538 PLACE OF BEGINNING OF THE FOLLOWING DESCRIBED PROPERTY. THENCE NORTH 8" RCP IF 868,06 S --> N 87°55' WEST ALONG THE NORTHERLY LINE OF SAID BUTLER DRIVE, 7,41 FEET TO THE MH:CC STAIRS:FAIR BEGINNING OF A CURVE: THENCE 342.49 FEET ALONG SAID NORTHERLY LINE AND THE ARC OF A CURVE, CENTER LIES TO THE NORTH, HAVING A RADIUS OF 1172.69 FEET TO (R.A. N90°00'E 230' +/-) MH RIM 885.73 8" PVC IE 873.28 E 8" PVC IE 869.98 E / N THE END OF SAID CURVE: THENCE NORTH 71°11' WEST ALONG SAID NORTHERLY LINE. S89°14'32"W 240.65' 156.00 FEET TO THE BEGINNING OF A CURVE; THENCE 370.67 FEET ALONG THE NORTHEASTERLY LINE OF SAID BUTLER DRIVE AND THE ARC OF A CURVE, CENTER OF 18" RCP IE 869.13 S 18" RCP IE 869.15 N WHICH LIES TO THE NORTHEAST, HAVING A RADIUS OF 298.35 FEET TO THE END OF WOOD CHIP SAID CURVE; THENCE DUE NORTH ALONG THE EASTERLY LINE OF SAID BUTLER DRIVE PLAY AREA 340 FEET MORE OR LESS TO A POINT; THENCE DUE EAST ON A LINE BETWEEN THE EXISTING DRIVE FOR THE SCHOOL AND THE EXISTING PARK SHELTER BUILDING, 450 FEET MORE OR LESS TO A POINT; THENCE DUE SOUTH, 55 FEET MORE OR LESS TO A CUSHIONED POINT; THENCE DUE EAST, 230 FEET MORE OR LESS TO A POINT ON THE AFORESAID PLAY AREA WEST LINE OF WOLF ROAD; THENCE DUE SOUTH ALONG SAID WEST LINE, 680 FEET MORE OR LESS TO THE PLACE OF BEGINNING PLAY AREA 10' WIDE WISCONSIN ELECTRIC FOR INFORMATIONAL PURPOSES ONLY EASEMENT DOC. NO. 2151538 PROPERTY ADDRESS: 2019 BUTLER DRIVE, WAUKESHA, WI WOOD CHIP PLAY AREA TAX KEY NO.: WAKC 1006.981.001 (PARCEL 1) 10' WIDE WISCONSIN ELECTRIC EASEMENT DOC. NO. 766406 AREA AS SURVEYED 435,673 SQ. FT., 10.002 ACRES . MH RIM 871.43. . LEGEND VAULT /// (d)1s :99.2'//// (d)1s // = BENCH MARK ▲ = CONTROL POINT STAIRWAY FL.EL. 877.64 ★ = CUT CROSS SET O = FOUND REBAR 12" RCP IE 865.55 E OR MONUMENTATION AS NOTED 12" RCP IE 864.45 W 30" RCP IE 864.55 W \bullet = 1-1/4" O.D.x24" LONG. PARKING MH RIM 885.04— 36" RCP IE 862.7 S IRON PIPE SET, 8" RCP IE 875.09 N BANTING 6" RCP IE 875.54 W WEIGHING 1.68 LBS./FT. MH:CC CB:FLAT MH:CC STAIRS:FAIR **ELEMENTARY SCHOOL** \blacksquare = SECTION CORNER MON. 2 STORY BRICK BUILDING \triangle = FOUND MAG/PK 62,143 SQ. FT. \blacktriangle = SET MAG NAIL SAMH RIM 885.12-18" RCP IE 862,66 S (R.A.) = RECORDED AS6" RCP IE 875.82 W 8" RCP IE 863,06 W 8" RCP IE 874.92 S 12" P√C IE 867.36 E \otimes = WATER VALVE MH:CC STAIRS:FAIR **VICINITY MAP** SCALE: 1" = 1000' OBURE = SOIL BORING 12" PVC IE 873.16 NW 6" PVC IE 869.66 S 6" PVC IE 869.86 E 970.90= SPOT ELEVATION ധ ☆= BUSH, SHRUB **HORNING** \bigcirc = BOULDER WMO = WINDMILL MIDDLE SCHOOL P = PULLBOX 2 STORY BRICK BUILDING (MH) = MANHOLE TYPE NOTED 70,840 SQ. FT. 6" RCP IE 859,79 (SA) = SANITARY SEWER MANHOLE PIPE 863.95 SW (ST) = STORM SEWER MANHOLE MH:CC STAIRS:FAIR \top = TELEPHONE MANHOLE (E) = ELECTRIC MANHOLE (w) = WATER MANHOLE NE 1/4 OF SECTION 35-T7N-R19E & \boxtimes = UTILITY METER NW 1/4 OF SECTION 36-T7N-R19E FL.EL. 875.62 ⊚ GUY = GUY WIRE POLE → = LIGHT POLE ightharpoonup = PEDESTAL8" RCP IE 869,57 N ∴ = POWER/LIGHT POLE 8" RCP IE 869,55 SE MH:CC STAIRS:FAIR ⊙→= TRAFFIC SIGNAL \otimes = CURB STOP D=71°10′58" \boxplus = INLET 15" RCP IE 863,36 E L=370.66' ⊞ = CURB INLET 36" RCP IE 860.8 N R=298.35'(R.A. 370.67') \oslash = GAS VALVE 18" RCP IE 862,95 NE MH:CC STAIRS:FAIR CB:FLAT CH=347.28' ○—X = LIGHT POLE WITH MAST CONCRETE WALKWAY CHB=S36°20'58"E = TREE (CONIFEROUS) DRIP LINE SCALABLE BEARINGS ARE BASED ON THE 203 CP PK WISCONSIN STATE PLANE COORDINATE (°) = TREE (DECIDUOUS) DRIP LINE SCALABLE SYSTEM SOUTH ZONE NAD 27. A = TREE STUMP⊙co = CLEANOUT 36" RCP IE 860.25 N ELEVATIONS ARE BASED ON NGVD 29 36" RCP IE 860.3 SE OFLAG = FLAG POLE MH:CC CB:CURB owell = WELL OMWELL = MONITORING WELL (IP TO EASEMENT LINE) \downarrow = PARKING METER (R.A. N87°55'W □ = UTILITY CONTROL BOX ₩(R.B. 7.41' 8" RCP IE 860,51 NW 8" RCP IE 858.86 /E $\oslash \lor \lor \lor \lor = UNKNOWN UTILITY VALVE$ S88°40'28"E 6" RCP IE 861,41 S / SW Toll Free (800)242-8511 FL. EL. = FIRST FLOOR ELEVATION Milwaukee Area (414)259-1181 INL RIM 865,42 12" RCP IE 861,27 E Hearing Impaired TDD (800)542-2289 www.DiggersHotline.com REGISTER'S HOTLINE TICKETS: = BUILDING OUTLINE \longrightarrow 3 \longrightarrow = MINOR CONTOUR ——— 5 ——— = MAJOR CONTOUR 12" RCP IE 864.36 S ALTHOUGH DIGGERS' HOTLINE WAS NOTIFIED THIS SURVEY ARROW BOLT ON HYDRANT $^{ u-}$ ____ = FENCE CB:CURB MH RIM 865.72 12" RCP IE 859.7 S CB:CURB = BEAM GUARD 18" RCP IE 854**.**92 E — X — = CHAINLINK FENCE 18" RCP IE 854.9 S 8" RCP IE 855.82 W = WOODED AREA/SHRUB EDGE —MH RIM 865.51 LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE D=16°44'02" ----- st ---- = STORM SEWER 18" RCP IE 856.15 E NÉ CORNER OF LOT 26 ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, 18" RCP IE 856.13 W ----- SAN----- = SANITARY SEWER L=342.50'BLK 1 GREENWAY TERRACE MH:CC STAIRS:FAIR THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. ----- COMB----- = COMBINED SEWER R=1172.69' 12" RCP IE 863.61 S / SW 18" RCP IE 857,19 W ———— G———— = NATURAL GAS MAIN **CH=/341.28'** (R.A. 342.49') 18" RCP IE 857.29 N 15" RCP IE 857.29 E T ---- = UNDERGROUND TELEPHONE CHB=S80,18'28"E 12" RCP IE 857,44 S ——— E ——— = UNDERGROUND ELECTRIC -MH RIM 867.97 INL RIM 867.46-——— OH——— = OVERHEAD UTILITY LINES 12" RCP IE 862.81 N 36" RCP IE 860,32 E 12" RCP IE 862.86 S ——— FO ——— = UNDERGROUND FIBER OPTIC MH:CC CB:CURB SURVEYOR'S CERTIFICATE: ----- TV ----- = UNDERGROUND CABLE TV ─NL RIM 867.32 ——— BES ——— = BUREAU OF ELEC. SERV. CI. MIL. 12" RCP IE 863,22 NW PROJECT NUMBER: MH:CC CB:CURB I, Brian Sandberg do hereby certify that that under My direction and control the ----- STM----- = STEAM LINE the above described property was surveyed on 04/03/2019 in accordance with — c — = COMMUNICATION CONDUIT AE-7 of the Wisconsin Administrative Code and is correct to the best of my (P) IN LINESTYLE INDICATES, DRAWN PER **EXISTING PLANS AND ARE APPROXIMATE** \rightarrow WEST $\frac{1}{4}$ CORNER OF CONTROL POINTS SECTION 36-T7N-R19E = ASPHALT SURFACE CONC. MON. W/ POINT NO. | NORTHING | EASTING | ELEVATION | TYPE 379717.91 | 2480319.03 | 869.73 | BM ARROWBOLT SEWRPC BRASS CAP

KAPUR & ASSOCIATES, INC. CONSULTING ENGINEERS 7711 N. PORT WASHINGTON ROAD MILWAUKEE, WISCONSIN 53217

www.kapurengineers.com

PROJECT:

HORNING MIDDLE SCHOOL

LOCATION:

2000 WOLF RD WAUKESHA, WI 53186

SCHOOL DISTRICT OF WAUKESHA

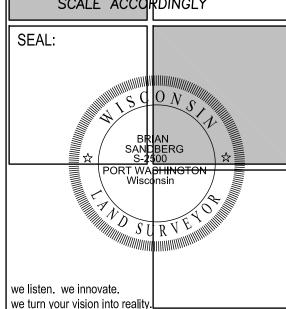
RELEASE:

DRAFT

REVISIONS: | # | DATE | DESCRIPTION

NORTH ARROW:

SCALE ACCORDINGLY



PLAT OF SURVEY WITH TOPOGRAPHY

DRAWN BY: CHECKED BY: APPROVED BY:

19.0086.01

SHEET NUMBER:

= CONCRETE SURFACE

 $|\cdot \cdot \cdot \cdot| = WETLANDS$

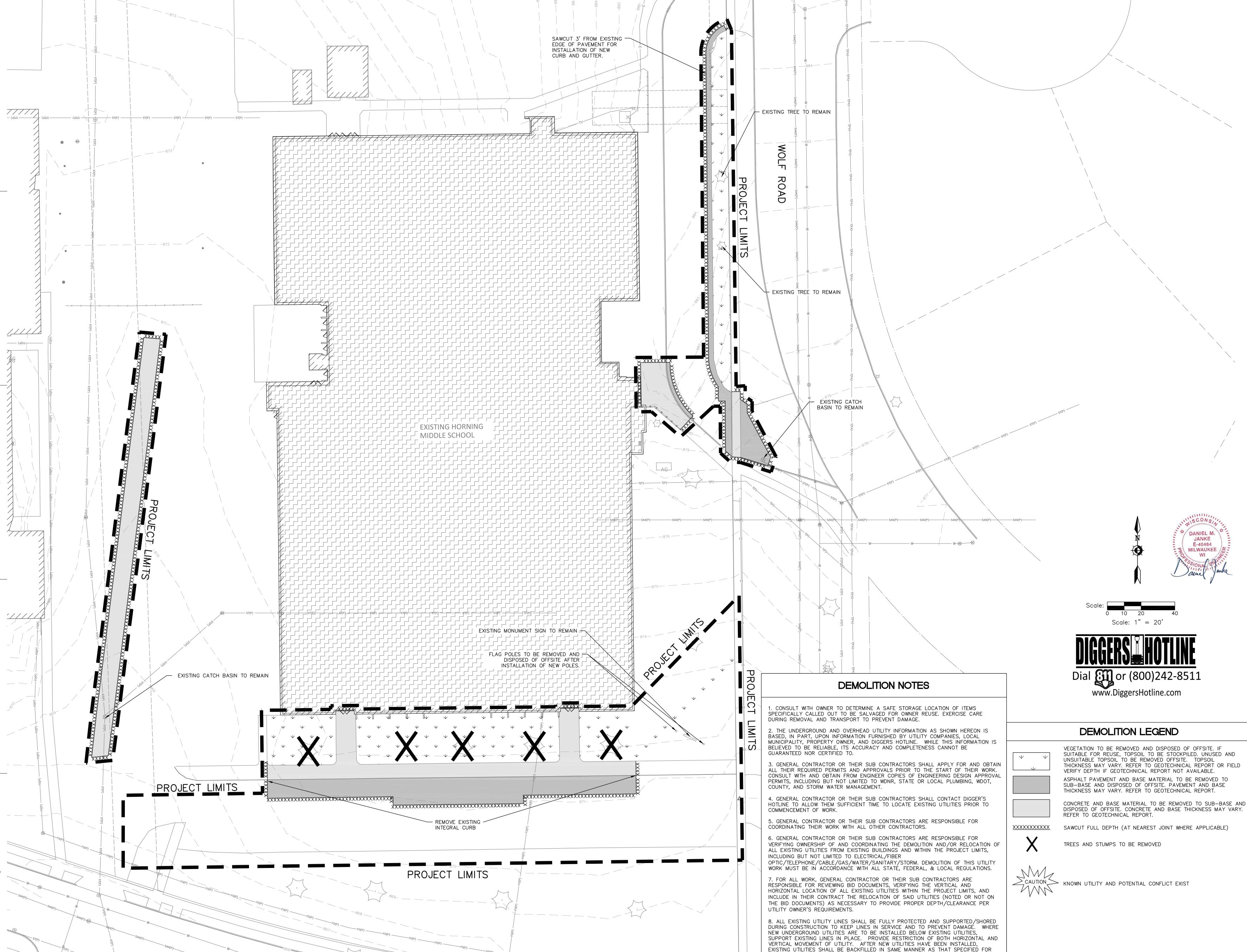
379889.50 | 2479732.96 | 874.06 | CP PK

203 | 379837.93 | 2480332.19 | 870.01 | CP PK

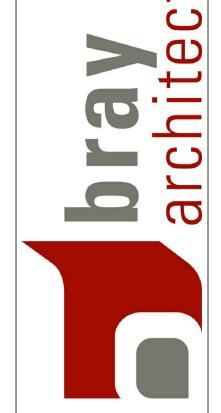
206 | 380334.32 | 2480329.65 | 885.87 | CP PK

Brian E. Sandberg

APRIL 29, 2019



NEW UTILITIES. PROVIDE FLOWABLE CONCRETE FILL DIRECTLY BENEATH EXISTING UTILITIES WHERE SPECIFIED COMPACTION REQUIREMENTS CANNOT BE ACHIEVED.



Office Locations: **Davenport** 220 Emerson Place, Suite 301

Milwaukee 829 S. 1st Street Milwaukee, Wisconsin 53204 T: 414.226.0200

Davenport, Iowa 52801

Sheboygan 1227A North 8th Street PO Box 955 Sheboygan, Wisconsin 53082 T: 920.459.4200

www.brayarch.com



Road Milwaukee, WI 53217

REVISIONS: ⚠ DATE DESCRIPTION

ONS

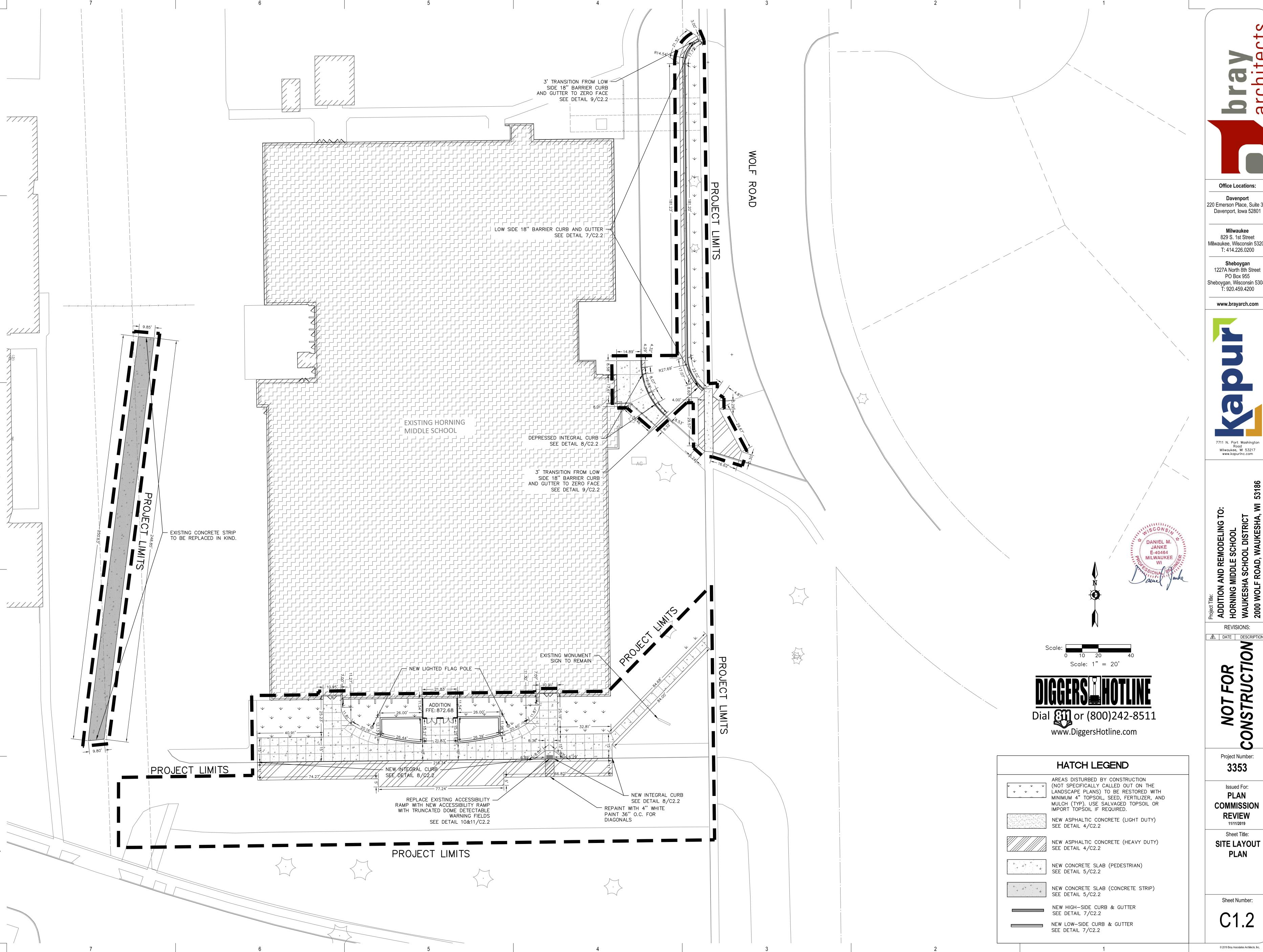
Project Number:

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Sheet Title: SITE DEMOLITION PLAN

Sheet Number:

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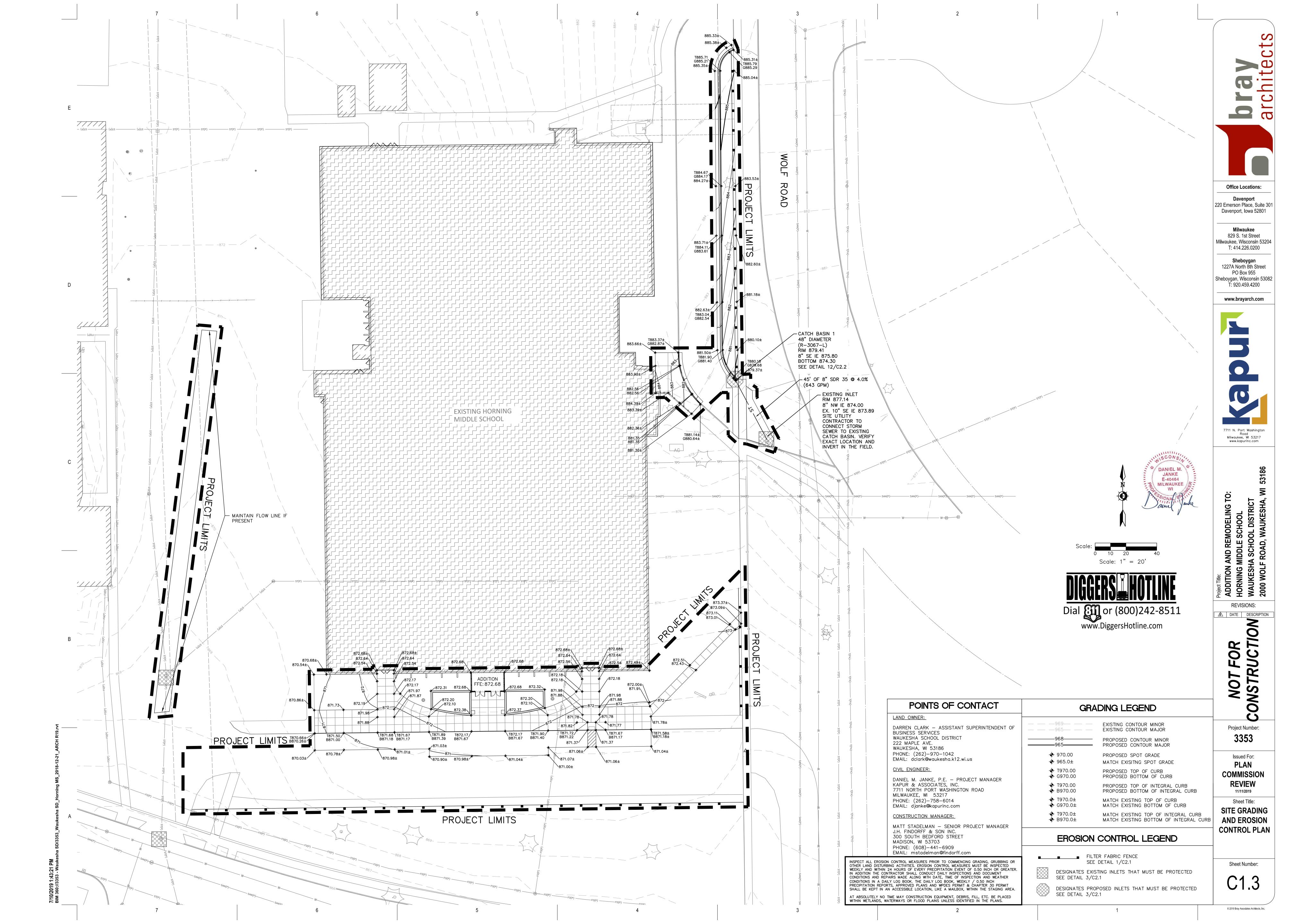
⚠ DATE DESCRIPTION CONSTRUCTION DESCRIPT

Project Number: 3353

Issued For: COMMISSION **REVIEW**

11/11/2019 Sheet Title: SITE LAYOUT PLAN

Sheet Number:



http://dnr.wi.gov/topic/stormwater/standards/const_standards.html 2. INLETS AND CATCH BASINS SHALL BE PROTECTED WITH INLET FILTERS THAT ARE PHASED IN WITH CONSTRUCTION TO REDUCE SEDIMENT FROM ENTERING THESE AREAS PER WDNR TECHNICAL STANDARD 1060 AS FOLLOWS:

A. ALL FABRIC BARRIERS SELECTED FOR INLET/CATCH BASIN PROTECTION DEVICES SHALL BE SELECTED FROM THE LIST OF APPROVED FABRICS CERTIFIED FOR INLET PROTECTION, GEOTEXTILE FABRIC. TYPE FF IN THE CURRENT EDITION OF THE WDOT PRODUCT ACCEPTABILITY LIST, TO OBTAIN THE PAL, PLEASE REFER TO THIS WEBSITE: http://www.dot.wisconsin.gov/business/engrserv/pal.htm

B. INLET PROTECTION SHALL BE AT A MINIMUM INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT OF 1/2 INCH OR GREATER DURING A 24-HOUR PERIOD.

C. PLACEMENT OF SPOIL MATERIAL, DEBRIS, SOILS, ETC. ON TOP OF INLETS/CATCH BASINS, EVEN IF TEMPORARY, IS STRICTLY DISCOURAGED AND PROHIBITED.

D. SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING PER MANUFACTURER'S SPECIFICATIONS. ALL SEDIMENT COLLECTED SHALL BE PROPERLY DISPOSED OF TO PREVENT DISCHARGE INTO AREA WATERWAYS AND WETLANDS.

E. DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLETS/CATCH BASINS AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET/CATCH BASIN SHALL BE REMOVED AND PROPERLY DISPOSED OF PER NOTE D ABOVE.

F. INLET FILTERS MAY BE REMOVED AND PROPERLY DISPOSED OF UPON COMPLETION OF CONSTRUCTION, HAULING OR MOVEMENT OF CONSTRUCTION EQUIPMENT THROUGHOUT THE SITE, AND ONCE THE SITE IS ADEQUATELY STABILIZED, UNLESS AS OTHERWISE NOTIFIED BY THE WDNR.

3. A TRACKING PAD SHALL BE INSTALLED AS SHOWN ON THE PLAN SHEET PRIOR TO THE START OF CONSTRUCTION TO REDUCE OFF-SITE SEDIMENTATION BY ELIMINATING THE TRACKING OF SEDIMENT FROM THE SITE PER WDNR TECHNICAL STANDARD 1057

A. A WISDOT TYPE R GEOTEXTILE FABRIC SHALL BE USED TO

PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE B. AGGREGATE USED FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIAL TO BE RETAINED BY 3 INCH SIEVE.

C. THE AGGREGATE SHALL BE PLACED IN A LAYER ON TOP OF THE TYPE R GEOTEXTILE FABRIC AT LEAST 12 INCHES THICK.

D. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT AND BE AT LEAST 50 FEET LONG.

E. VEHICLES TRAVELING ACROSS THE TRACKING PAD SHALL

MAINTAIN A SLOW CONSTANT SPEED. ANY SEDIMENT OR ROCK ACCUMULATION ONTO LOCAL ROADWAYS SHALL BE REMOVED BY STREET CLEANING, NOT

FLUSHING BEFORE THE END OF EACH WORKING DAY. G. THE TRACKING PAD SHALL, AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT OF 1/2 INCH OF RAIN OR MORE DURING A 24-HOUR

H. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

EROSION CONTROL OPERATION SEQUENCE + SCHEDULE

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SILT FENCES, SEEDING,

EROSION MATTING, AND OTHER EROSION CONTROL MEASURES. GENERAL CONTRACTOR SHALL INSPECT ALL

EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING, OR OTHER LAND DISTURBING

ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY

PRECIPITATION EVENT OF 1/2 INCH OR GREATER. IN ADDITION, THE ACTIVE CONTRACTOR SHALL CONDUCT

ALL REGULATORY PERMITS, ALL PROJECT PLANS, AND INSPECTION LOGS SHALL BE KEPT ON SITE IN AN

. OBTAIN PLAN APPROVAL FROM ALL RELEVANT GOVERNMENT AGENCIES AND MUNICIPALITIES, AND ALL

2. CONSTRUCTION IS SCHEDULED TO BEGIN IN 2020, DEPENDING ON WEATHER & GROUND CONDITIONS.

DITCH AS NECESSARY. IF INSTALLED, THE TEMPORARY CULVERT SHALL BE REMOVED AT END OF

REMOVED FROM BEHIND THE SILT FENCE WHEN THEY REACH A DEPTH OF 1/2 FENCE HEIGHT.

5. IF INDICATED ON PLANS, INSTALL CONSTRUCTION FENCE AND ANY TEMPORARY TRAFFIC CONTROLS.

9. UTILITY INSTALLATION WILL OCCUR NEXT AND CONTINUE UNTIL ALL THE UTILITIES ARE INSTALLED.

OF PAVEMENT, ETC. WILL OCCUR AFTER EROSION CONTROL MEASURES ARE IN PLACE.

ACCESSIBLE LOCATION, SUCH AS A MAILBOX, AVAILABLE TO REGULATORY AGENCIES UPON REQUEST.

DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE, ALONG WITH DATE, TIME OF INSPECTION

CONTRACTORS ARE TO MAINTAIN THE CONSTRUCTION SITE IN A NEAT AND TIDY MANNER FOR THE DURATION

3. A GRAVEL TRACKING PAD UNDERLAIN WITH WISDOT TYPE R GEOTEXTILE FABRIC, ALONG WITH A TEMPORARY

CULVERT IF NECESSARY, SHALL BE INSTALLED AS SHOWN ON THE PLANS. RE-GRADE EXISTING ROADWAY

4. SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLANS, AND INSPECTED PRIOR TO COMMENCING OF

IMMEDIATELY INSTALL ALL EROSION CONTROL MEASURES PRIOR TO LAND DISTURBANCE. SITE DEMOLITION

7. CONSTRUCTION OF THE BUILDING, STARTING WITH THE FOUNDATION, WILL BEGIN IMMEDIATELY AFTER THE

8. TOPSOIL STRIPPING AND ROUGH GRADING WILL FOLLOW. TOPSOIL STOCKPILES WILL BE LOCATED AS SHOWN

ON THE PLANS. STOCKPILES WILL BE USED FOR FINAL LANDSCAPING. REMAINING STOCKPILES WILL BE

10. AFTER ROUGH GRADING IS COMPLETE IN AREAS OUTSIDE OF HARD SURFACE AREAS SUCH AS PROPOSED

CONTRACTOR WILL COMPLETE SEEDING/SODDING/FERTILIZING/MULCHING AND INSTALL EROSION MATTING AS

ROADWAYS, PARKING LOTS, AND BUILDINGS, THE TOPSOIL WILL BE REAPPLIED AND THE LANDSCAPE

11. FINAL SITE STABILIZATION IS ANTICIPATED FOLLOWING THE COMPLETION OF GRADING ACTIVITIES. IF SITE

CONFORMING TO WDNR TECHNICAL STANDARD 1050 SHALL BE USED. IN ADDITION, ALL SLOPES OF

12. AFTER ALL TOPSOIL HAS BEEN REAPPLIED AND STABILIZATION IS UNDERWAY, ROADWAY, PARKING LOT,

13. THE GENERAL CONTRACTOR WILL REQUEST A FINAL INSPECTION BY THE DEPARTMENT OF ADMINISTRATION

SHALL BE REMOVED. AND ACCUMULATED SEDIMENT IN THE SEDIMENT BASIN/STORM WATER POND SHALL

BE DREDGED AND PROPERLY DISPOSED OF. IN ADDITION. THE CONTRACTOR MUST ENSURE THAT THE

15. IF REQUIRED, FINAL "AS-BUILT" SURVEYS ARE TO BE CONDUCTED BY THE OWNER AND FINAL DOCUMENTS

16. BARE SOIL LEFT UNDISTURBED FOR 14 CALENDAR DAYS MUST BE TEMPORARILY STABILIZED PER WDNR

17. WE DO NOT ANTICIPATE THE NEED FOR WATERING WITH THIS CONSTRUCTION SCHEDULE, HOWEVER, IF

IF CONSTRUCTION SCHEDULES SHOULD CHANGE SIGNIFICANTLY, THIS PLAN NARRATIVE WILL BE UPDATED AND

RESUBMITTED BY THE GENERAL CONTRACTOR TO THE DEPARTMENT OF ADMINISTRATION AND WONR.

DURING THE CONSTRUCTION PROCESS, WATER SHALL BE TRUCKED IN AND APPLIED ONCE PER WEEK.

TABLE 1 - MAXIMUM PERIOD OF BARE SOIL FOR SLOPES GREATER THAN 20%

LAND DISTURBANCE BETWEEN

SEPT. 16 AND MAY 1

90 DAYS

60 DAYS TABLE FROM WI DNR GUIDANCE DOC # 3800-2015-06

LAND DISTURBANCE BETWEEN

MAY 2 AND SEPT. 15

90 DAYS

30 DAYS

TECHNICAL STANDARD 1059, OR TEMPORARY GRADING PRACTICES PER WDNR TECHNICAL STANDARD 1067

ADEQUATE RAIN IS NOT EXPERIENCED WITHIN ONE WEEK AFTER INITIAL SEED GERMINATION AT ANY POINT

MAY BE IMPLEMENTED. HOWEVER BY OCTOBER 1, THE SITE SHALL BE STABILIZED PER NOTE 11 ABOVE.

STORM WATER POND IS RETURNED TO THE SLOPES AND GRADES SHOWN ON THE PROJECT PLANS AND

(DOA). UPON APPROVAL, ALL SILT FENCES, INLET FILTER PROTECTION, AND TRIANGULAR SILT DIKES

GREATER THAN 20% MUST ADHERE TO THE SCHEDULE IN TABLE 1 BELOW.

AND SIDEWALK BASE MATERIAL WILL BE APPLIED PER PROJECT SPECIFICATIONS.

STABILIZATION CANNOT BE COMPLETED BY OCTOBER 1, THEN THE USE OF ANIONIC POLYACRYLAMIDE

ANY LAND DISTURBING ACTIVITIES PER PROJECT PLANS AND DETAILS. SEDIMENT DEPOSITS WILL BE

AFTER BIDS ARE RECEIVED AND A MASS GRADING CONTRACTOR IS SELECTED, A PRE-CONSTRUCTION MEETING

I. A MINIMUM 12-INCH THICK PAD SHALL BE MAINTAINED.

SHALL TAKE PLACE WITH ALL RELEVANT PARTIES IN ATTENDANCE.

THE TIMING AND SEQUENCE OF CONSTRUCTION IS SCHEDULED AS FOLLOWS:

APPLICABLE PERMITS, INCLUDING EROSION CONTROL PERMIT.

SITE DEMOLITION IS COMPLETE IN THE BUILDING PAD AREA.

RESTORATION OF CURB AND GUTTER WILL FOLLOW.

PER APPROVED PLANS AND SPECIFICATIONS.

REMOVED FROM THE SITE.

FORWARDED TO THE DOA.

SLOPE AREA DRAINS TO

SEDIMENT BASIN?

YES

AND WEATHER CONDITIONS IN A DAILY LOG BOOK.

OF THE PROJECT.

4. THE CONSTRUCTION SITE PERIMETER AND TOPSOIL STOCKPILE AREA SHALL BE PROTECTED WITH SILT FENCE AS SHOWN ON THE PLAN SHEET PRIOR TO THE START OF CONSTRUCTION TO INTERCEPT AND REDUCE THE FLOW OF SEDIMENT-LADEN SHEET FLOW RUNOFF FROM THE CONSTRUCTION SITE PER WDNR TECHNICAL STANDARD 1056 AS FOLLOWS:

A. SILT FENCE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE AS SHOWN ON THE PLAN

B. INSTALLED SILT FENCE SHALL BE A MINIMUM 14 INCHES HIGH AND SHALL NOT EXCEED 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.

C. SILT FENCE SHALL BE SUPPORTED BY EITHER STEEL OR WOOD SUPPORT POSTS.

D. THE MAXIMUM SPACING OF POSTS FOR NONWOVEN SILT FENCE SHALL BE 3 FEET OR

FOR WOVEN FABRIC 8 FEET. E. SILT FENCE SHALL HAVE A SUPPORT CORD AT

F. WHERE JOINTS ARE NEEDED, EACH END OF THE FABRIC SHALL BE SECURELY FASTENED TO A POST. THE POSTS SHALL BE WRAPPED AROUND EACH OTHER TO PRODUCE A STABLE AND SECURE JOINT OR SHALL BE OVERLAPPED THE DISTANCE BETWEEN TWO POSTS.

G. A MINIMUM OF 20 INCHES OF THE POSTS SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.

THE TOP OF THE FENCE.

H. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4 INCH WIDE BY 6 INCH DEEP TRENCH, OR 6 INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. THE TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED ANY WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.

I. ON THE TERMINAL ENDS OF THE SILT FENCE THE FABRIC SHALL BE WRAPPED AROUND THE POST SUCH THAT THE STAPLES ARE NOT VISIBLE.

J. GEOTEXTILE FABRIC SPECIFICATIONS SHALL MEET VALUES ESTABLISHED IN TECHNICAL STANDARD

K. SILT FENCE SHALL BE REMOVED ONCE THE SITE IS ADEQUATELY STABILIZED.

L. WHEN PLACING SILT FENCE NEAR TREES, CARE SHALL BE TAKEN TO MINIMIZE DAMAGE TO THE ROOT SYSTEM BY AVOIDING COMPACTION AND ROOT CUTTING WITHIN 1.5 FEET MULTIPLIED BY THE INCH DIAMETER OF THE TREE.

M. THE CONTRACTOR MAY FURTHER STRENGTHEN THE SILT FENCE BY USING HAY BALES ON THE DOWN SLOPE SIDE AS NEEDED.

N. SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 1/2 INCH OF RAIN OR MORE DURING A 24 HOUR PERIOD.

O. DAMAGED OR DECOMPOSED SILT FENCE, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR

P. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH 1/2 THE HEIGHT OF THE FENCE TO PREVENT DISCHARGE INTO AREA WATERWAYS AND WETLANDS.

5. SEEDING AND MULCHING TECHNIQUES SHALL BE USED ON AREAS OF EXPOSED SOIL WHERE THE ESTABLISHMENT OF VEGETATION IS DESIRED. TEMPORARY SEEDING APPLIES TO DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND-DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 CALENDAR DAYS. REQUIRING VEGETATIVE COVER FOR LESS THAN ONE YEAR. SEED AND MULCH SHALL BE UTILIZED THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH TEMPORARY VEGETATION TO HELP REDUCE EROSION PER WDNR TECHNICAL STANDARDS 1059 AND 1058 RESPECTIVELY AS FOLLOWS:

A. TEMPORARY SEEDING REQUIRES A SEEDBED OF LOOSE SOIL TO A MINIMUM DEPTH OF 2 INCHES.

B. FERTILIZER APPLICATION IS NOT GENERALLY REQUIRED FOR TEMPORARY SEEDING. HOWEVER, ANY APPLICATION OF FERTILIZER OR LIME SHALL BE BASED ON SOIL TESTING.

C. THE SOIL SHALL HAVE A PH RANGE OF 5.5 TO 8.0.

D. ALL SEED SHALL CONFORM TO THE REQUIREMENTS OF THE WISCONSIN STATE STATUTES AND OF THE ADMINISTRATIVE CODE CHAPTER ATCP 20.01 REGARDING NOXIOUS WEED SEED CONTENT AND LABELING.

E. SEED SHALL NOT BE USED LATER THAN ONE YEAR AFTER THE TEST DATE ON THE LABEL.

F. IN THE SUMMER-SPRING, CONTRACTOR SHALL USE OATS APPLIED AT 131 LBS/ACRE FOR TEMPORARY SEEDING PURPOSES. IN THE FALL THE CONTRACTOR SHALL USE ANNUAL RYEGRASS APPLIED AT 80 LBS/ACRE OR WINTER WHEAT APPLIED AT 131 LBS/ACRE. THE CONTRACTOR SHALL USE STRAW MULCH APPLIED AT 1.5 TONS/ACRE. DORMANT SEED SHALL BE USED WHEN SOIL TEMPERATURE IS CONSISTENTLY BELOW 53 DEGREES FAHRENHEIT (TYPICALLY NOV. 1 UNTIL SNOW COVER ANNUALLY). NEVER PLACE SEED ON TOP OF SNOW. IF COVER IS NEEDED AFTER SNOW FALL, CONTRACTOR MAY CHOOSE TO USE A DRY, NONTOXIC TYPE B SOIL STABILIZER PER MANUFACTURER'S SPECIFICATIONS AS REQUIRED BY THE

G. SEEDING SHALL NOT TAKE PLACE WHEN THE SOIL IS TOO WET.

H. CONTRACTOR MAY CONSIDER WATERING TO HELP ESTABLISH THE SEED. WATER APPLICATION RATES SHALL BE CONTROLLED TO HELP PREVENT RUNOFF AND EROSION.

I. DURING CONSTRUCTION, AREAS THAT HAVE BEEN SEEDED AND MULCHED SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 1/2 INCH OF RAIN OR MORE DURING A 24 HOUR PERIOD. INSPECT WEEKLY DURING THE GROWING SEASON UNTIL VEGETATION IS DENSELY ESTABLISHED OR THE SOD IS LAID. REPAIR AND RESEED AREAS THAT HAVE EROSION DAMAGE AS NECESSARY.

J. CONTRACTOR IS TO LIMIT VEHICLE TRAFFIC AND OTHER FORMS OF COMPACTION IN AREAS THAT ARE SEEDED AS MUCH AS POSSIBLE RE-SEED DRIVEN OVER AREAS AS NEEDED.

K. MULCH SHOULD BE PLACED WITHIN 24 HOURS OF SEEDING.

L. MULCHING OPERATIONS SHALL NOT TAKE PLACE DURING PERIODS OF EXCESSIVELY HIGH WINDS THAT WOULD PRECLUDE THE PROPER PLACEMENT

M. MULCH THAT IS DISPLACED SHALL BE REAPPLIED AND PROPERLY ANCHORED. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION TO SITE CONDITIONS.

N. WHEN CHANNEL EROSION MAT IS USED WITHIN CONSTRUCTION SITE DIVERSION AREAS, TECHNICAL STANDARDS 1053 AND 1066 SHALL BE

O. WHEN NON-CHANNEL EROSION MAT IS USED TECHNICAL STANDARD 1052 SHALL BE FOLLOWED.

P. DEPENDING ON DURATION OF CONSTRUCTION, THE CONTRACTOR MAY NEED TO RE-SEED AND RE-STABILIZE THE TOPSOIL STOCKPILE AS NECESSARY TO DISCOURAGE SEDIMENT AND EROSION.

6. A COPY OF EROSION CONTROL INSPECTION REPORTS AND THE APPROVED EROSION CONTROL PLANS SHALL BE KEPT ON SITE.

7. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL PRACTICES BY THE END

8. LOCAL ROADS SHALL BE CLEAN BY THE END OF EACH WORKDAY. CONTRACTOR SHALL HAVE LOCAL ROADS SWEPT WHERE SEDIMENT ACCUMULATES.

DEWATERING PLAN

TO FACILITATE CONSTRUCTION AT THE PROJECT SITE, DEWATERING MAY TAKE PLACE BY THE SELECTED CONTRACTOR. CONTRACTOR TO FOLLOW THESE INSTRUCTIONS WHILE PERFORMING DEWATERING ACTIVITIES ON-SITE. IF DEWATERING IS TO TAKE PLACE AT THE SITE, IT WILL OCCUR BETWEEN STEPS 5 AND 13 OF

OF EACH WORKDAY.

NOTE: THESE INSTRUCTIONS DO NOT APPLY TO WATER BEING DISCHARGED DIRECTLY TO GROUNDWATER OR KARST FEATURES OR WELL DEWATERING SYSTEMS. CONTRACTOR SHALL COORDINATE ACCORDINGLY FOR OTHER DEWATERING ACTIVITIES AS DEEMED NECESSARY WITH THE WDNR.

I. THE CONTRACTOR SHALL ENSURE THAT THE DEWATERING PRACTICES CARRIED OUT MEET OR EXCEED

SPILLS. OILS, GASOLINE, ETC. SHALL NOT BE STORED WITHIN WETLANDS, NEAR THE STORMWATER POND, OR OTHER ON-SITE WATER AREAS. 3. A TYPE 2 GEOTEXTILE BAG THAT IS NO SMALLER THAN 100 SQUARE FEET; HAS A MAXIMUM APPARENT

AND DOWNGRADE FLOW AREA SHALL CONSIST OF VEGETATED AND UNDISTURBED SOILS. DEWATERING BAG IF THE DEWATERING BAG IS NOT DOING AN ADEQUATE JOB ALONE OF FILTERING SEDIMENTS. THE CONTRACTOR SHALL SUPPLY TOXICITY TESTING DATA TO THE WDNR BEFORE USE ON-SITE FOR WDNR APPROVAL. POLYMER SHALL NOT BE DIRECTLY APPLIED TO SURFACE WATER. MANUFACTURER'S INFORMATION AND WDNR USE RESTRICTIONS (SEE TECHNICAL STANDARD 1051) AND

APPLICATION RATES FOR THE POLYMER, WITH THE WDNR'S RATE TAKING PRECEDENCE. THE CONTRACTOR SHALL TAKE STEPS TO ENSURE THAT THE POLYMER IS NOT SPILLED. SPILL KITS SHALL BE KEPT ON-SITE; THE MANUFACTURER'S RECOMMENDED CLEANUP PROCEDURES SHALL BE FOLLOWED IN THE EVENT OF A SPILL.

BAG TO DISCOURAGE EROSION AND SCOUR.

AREA WITH STANDING WATER TO AVOID SUCKING SEDIMENT FROM GRADE.

ALLOW SEDIMENTS TO SETTLE INTO THE BAG. CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S SPECIFICATIONS FOR DETERMINING THE SEDIMENT CAPACITY OF THE GEOTEXTILE BAG USING GOOD COMMON SENSE. SEDIMENT LEVELS CONTAINED IN THE BAG SHALL BE MONITORED TO MEASURE THE LOSS OF STORAGE CAPACITY OVER TIME. THE CONTRACTOR SHALL PROPERLY DISPOSE OF THE GEOTEXTILE BAG IN A WASTE RECEPTACLE ONCE IT IS NO LONGER USED.

8. DURING DEWATERING ACTIVITIES THE CONTRACTOR SHALL MONITOR DEWATERING PRACTICES AND KEEP A LOG OF THE FOLLOWING:

B. OBSERVED WATER TABLE AT TIME OF DEWATERING.

D. NAME AND QUANTITY OF POLYMER USED. PRODUCT TYPE.

APPLICATION RATE OF POLYMER IN POUNDS/ACRE FEET OF WATER.

F. DATE AND TIME APPLIED.

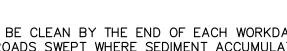
G. WEATHER CONDITIONS DURING APPLICATION.

THIS LOG NEEDS TO BE KEPT ON SITE FOR WDNR REGULATORY REVIEW. COPIES OF THIS DOCUMENTATION SHOULD BE KEPT IN THE CONTRACTOR'S MONITORING LOG AND MADE AVAILABLE UPON REQUEST. REVIEW THE FOLLOWING FOR MORE INFORMATION:

WDNR TECHNICAL STANDARD 1061 FOR DEWATERING -

WDNR TECHNICAL STANDARD 1050 FOR POLYMER -

WETLANDS, WATERWAYS OR FLOODPLAINS UNLESS IDENTIFIED IN THE PLANS & APPROVED BY DNR/



THE EROSION CONTROL OPERATION SEQUENCE.

WNDR TECHNICAL STANDARD NUMBER 1061.

2. A PAN OR OTHER CONTAINMENT DEVICE SHALL BE PLACED UNDERNEATH THE PUMP TO CAPTURE ANY

OPENING SIZE OF 0.212 mm; HAS A GRAB TENSILE STRENGTH OF 300 LBS; MULLEN BURST OF 580 PSI PERMEABILITY OF 0.2 CM/SEC; FABRIC WEIGHT OF 12 OZ SHALL BE USED. THE GEOTEXTILE BAG AREA

4. POLYMER MEETING WDNR TECHNICAL STANDARD 1051 MAY BE USED IN COMBINATION WITH THE CONTRACTOR SHALL OBTAIN THE MATERIAL SAFETY DATA SHEETS (MSDS) FOR THE SELECTED POLYMER, KEEP ALL THIS INFORMATION ON-SITE. CONTRACTOR SHALL ADHERE TO MANUFACTURER AND WDNR'S

5. A TARP MAY BE UTILIZED UNDERNEATH THE TYPE 2 GEOTEXTILE BAG AND JUST DOWN SLOPE OF THE

6. A FLOATING SUCTION HOSE OR OTHER FLOTATION METHOD SHALL BE UTILIZED WHEN PUMPING FROM AN

7. IF TURBID WATER IS LEAVING THE GEOTEXTILE BAG, THE CONTRACTOR SHALL SHUT OFF THE PUMP TO

A. DISCHARGE DURATION AND SPECIFIED PUMPING RATE.

MAINTENANCE ACTIVITIES

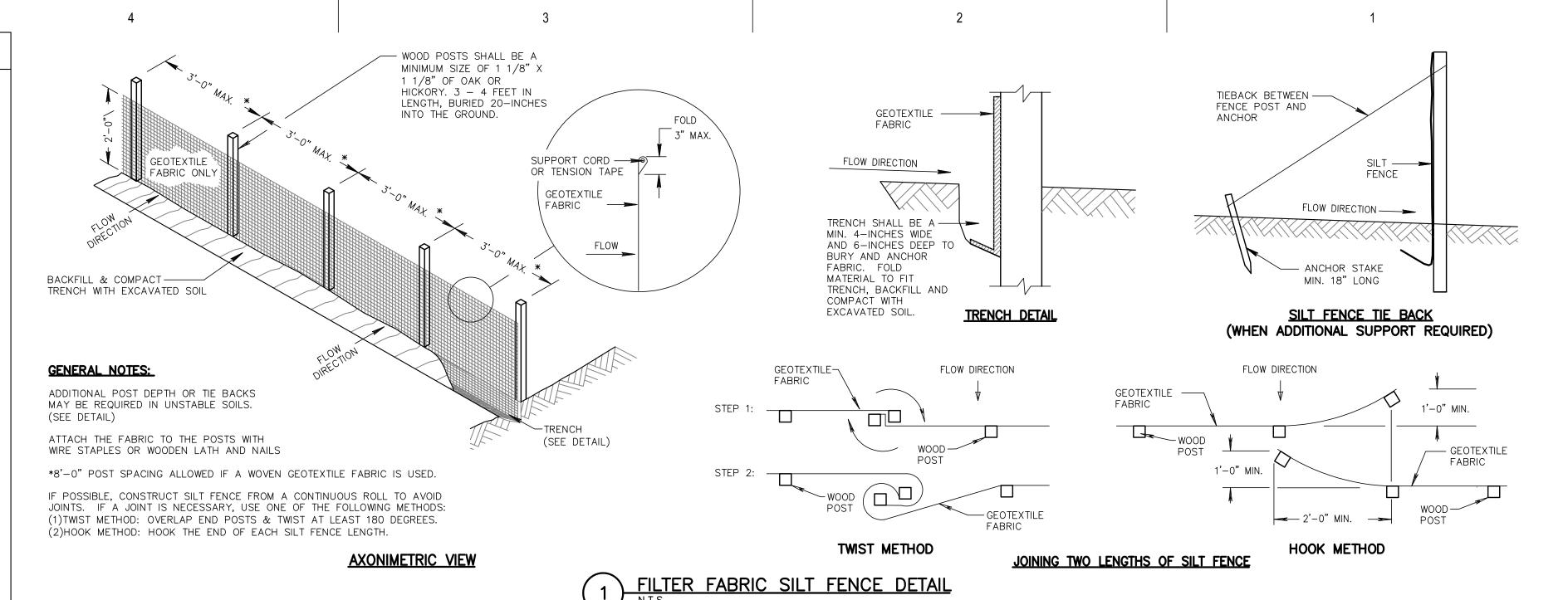
H. METHOD OF APPLICATION.

http://dnr.wi.gov/topic/stormWater/documents/Dewatering_1061.pdf

http://dnr.wi.gov/topic/stormWater/documents/dnr1050-polyacrylimide.pdf

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING. GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE, ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS. APPROVED PLANS WPDES PERMIT & CHAPTER 30 PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN



WHERE GRADE EXCEEDS 2% FILTER FABRIC TYPE R SECTION A-A SEDIMENT BARRIER USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS (STRAW BALE TYPE SHOWN) \ TO CHANNELIZE RUNOFF TO CHECK DAMS AS REQUIRED. SUPPLY WATER TO WASH WHEELS IF NECESSARY. DIVERSION RIDGE PLAN VIEW

DIVERSION RIDGE REQUIRED

GENERAL NOTES:

THE AGGREGATE SIZE FOR CONSTRUCTION OF THE PAD SHALL BE 3- TO 6-INCH STONE. PLACE THE GRAVEL TO THE SPECIFIC GRADE & DIMENSIONS SHOWN ON THE PLANS & GRADE TO CREATE A SMOOTH SURFACE. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12 INCHES. USE GEOTEXTILE FABRICS, IF NECESSARY, TO IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER

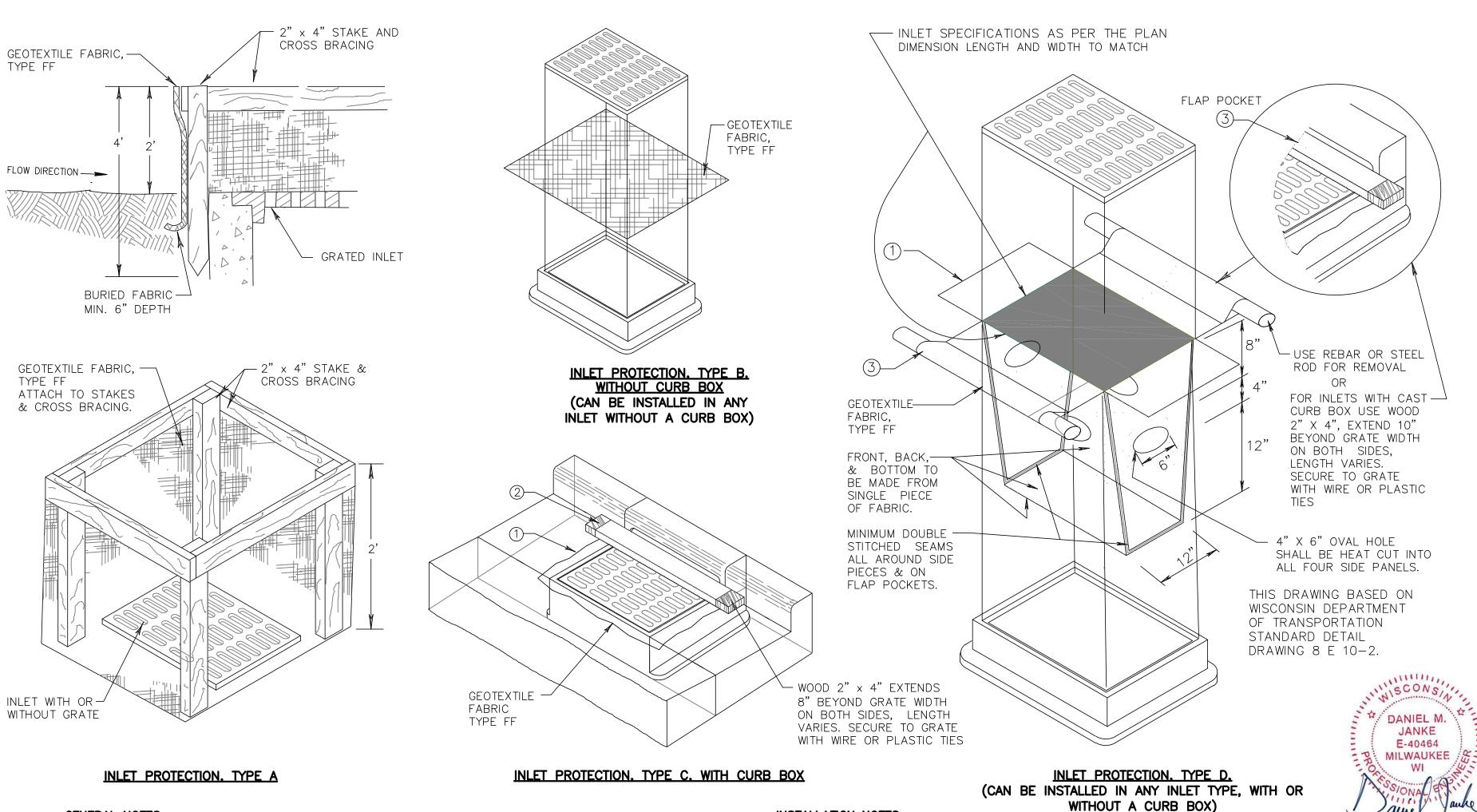
THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS & IN ANY CASE SHALL NOT BE LESS THAN 15 FEET WIDE. THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET LOCATE CONSTRUCTION ENTRANCES & EXITS TO LIMIT SEDIMENT LEAVING THE SITE & TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES. AVOID ENTRANCES WHICH HAVE STEEP GRADES & ENTRANCES AT CURVES IN PUBLIC ROADS. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE A CONDITIONS DEMAND, & REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED BY THE END OF THE WORKDAY ... PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OULET. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED,

DESIGNATE AN AREA WITH CRUSHED STONE THAT

DRAINS INTO AN APPROVED SEDIMENT TRAP OR

SEDIMENT BASIN.

STONE TRACKING CONSTRUCTION ENTRANCE



GENERAL NOTES MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE

FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

WHEN REMOVING OR MAINTAINING INLET PROTECTION. CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE

FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING. (3) FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES

TYPE B & C TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP

OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

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REVISIONS:

⚠ DATE DESCRIPTION 2 O

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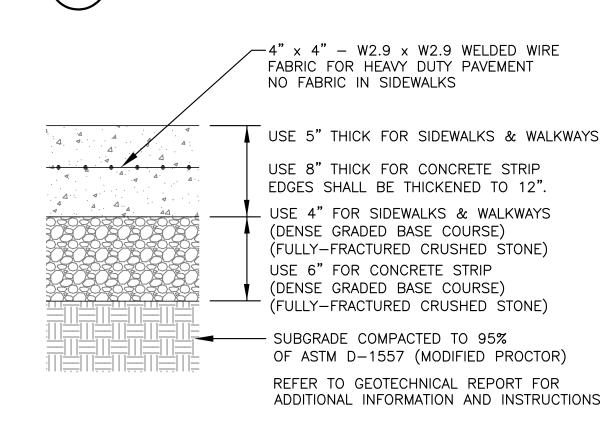
SITE DETAILS

Sheet Number:

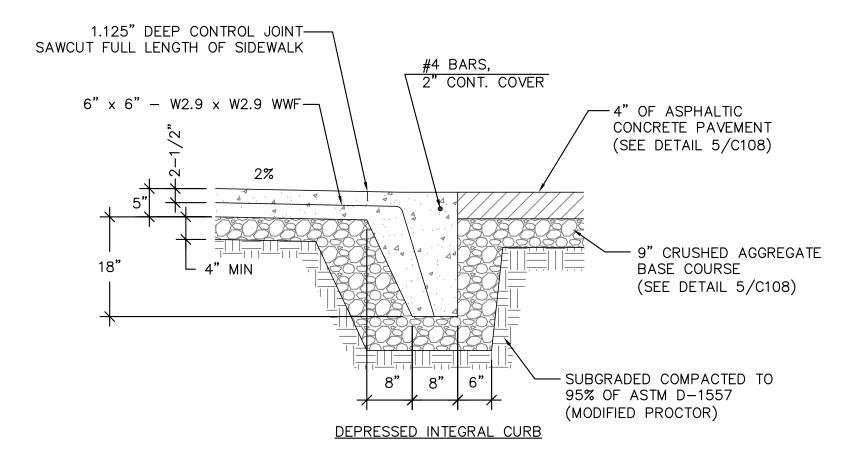
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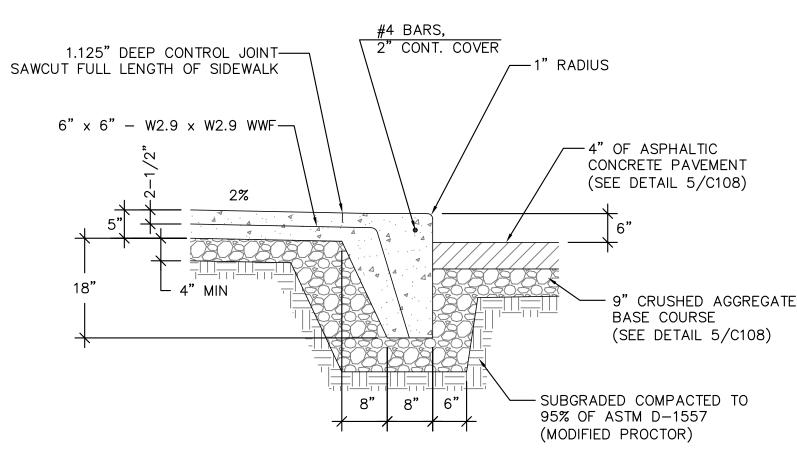
ADDITIONAL INFORMATION AND INSTRUCTIONS

4 ASPHALTIC CONCRETE PAVEMENT

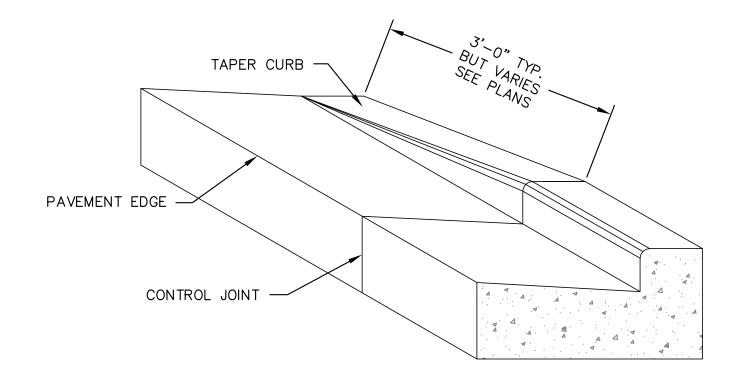


5 CONCRETE SIDEWALK/SLAB

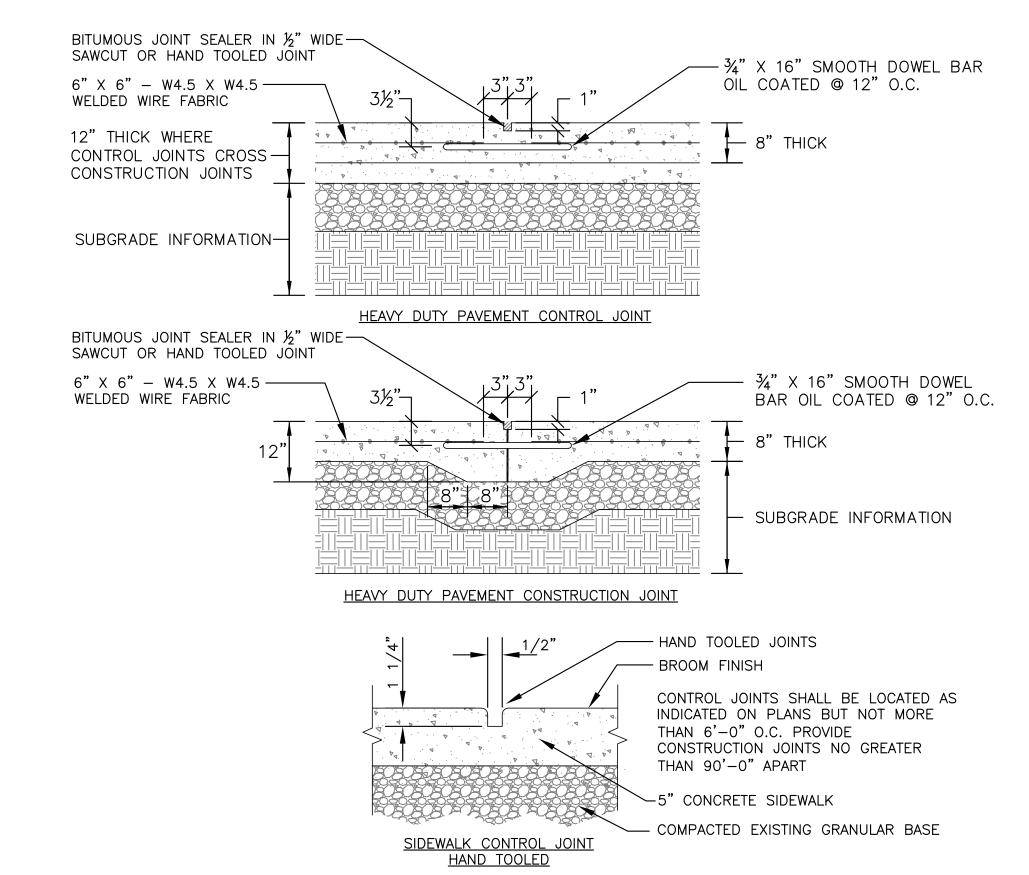




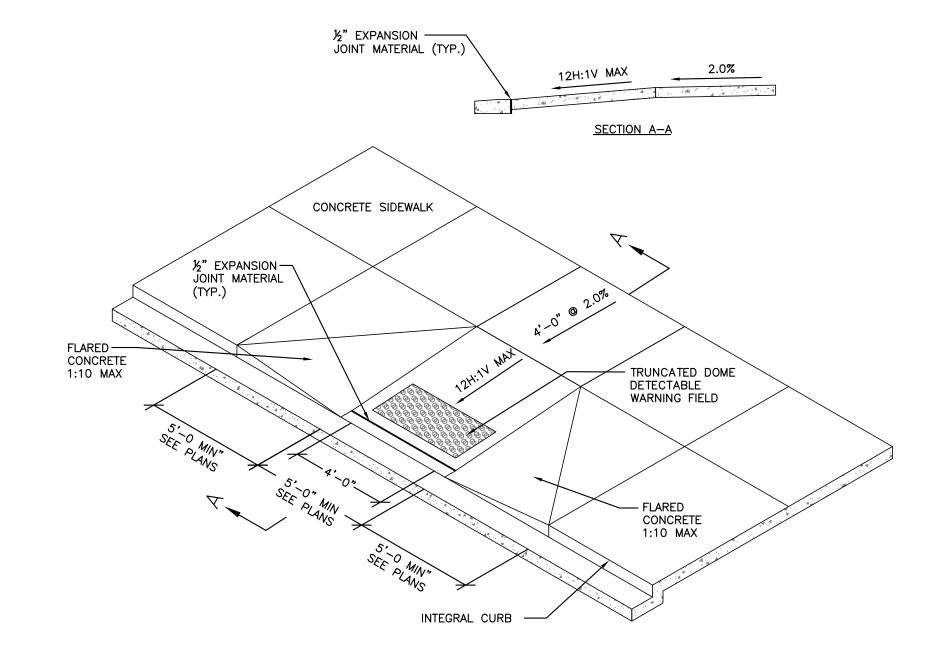
8 CONCRETE SIDEWALK WITH INTEGRAL CURB



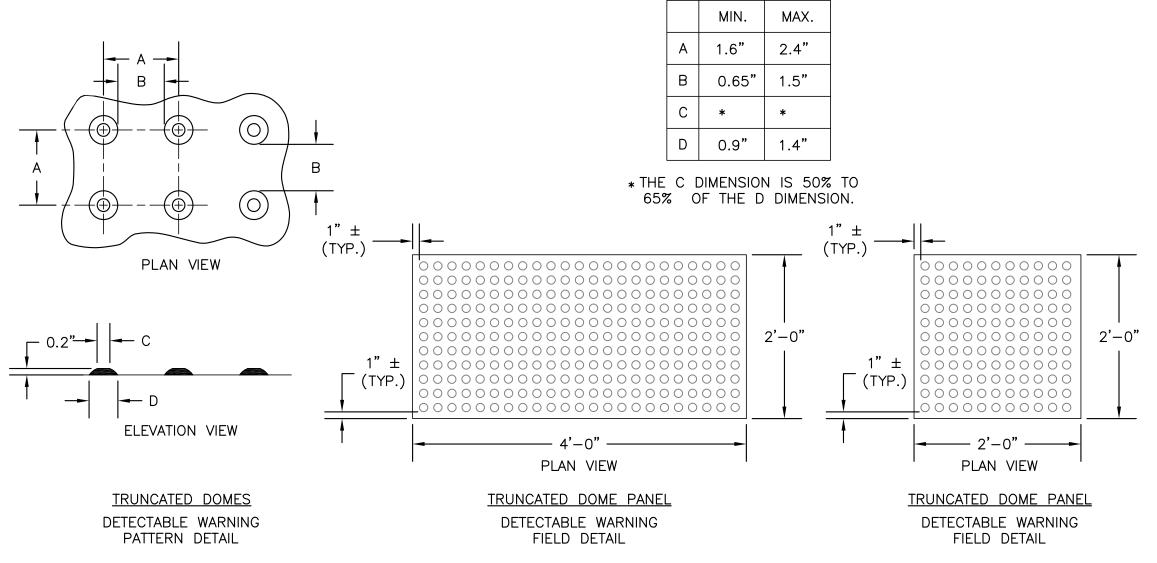
9 CONCRETE CURB & GUTTER TRANSITION TO ZERO-FACE CURE



6 CONTROL & CONSTRUCTION JOINT DETAILS (TYP.)



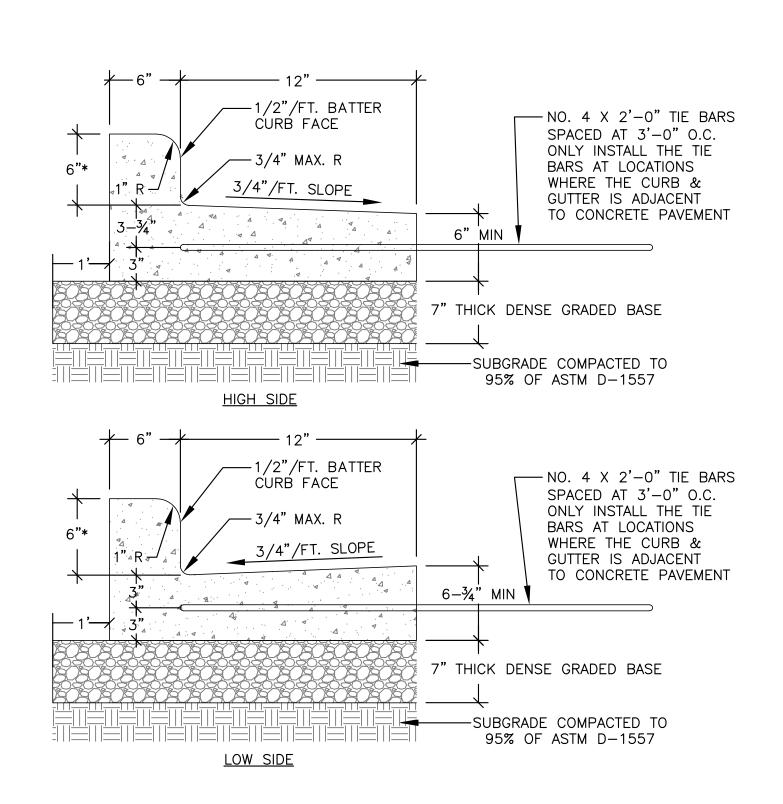
10 ACCESSIBILITY RAMP DETAIL WITH TRUNCATED N.T.S. DOME DETECTABLE WARNING FIELD



GENERAL NOTES

TRUNCATED DOME DETECTABLE WARNING FIELD SHALL CONSIST OF CAST IRON PLATES WITH NO COLOR, SUCH AS THOSE MANUFACTURED BY NEENAH FOUNDRY. PLATES SHOULD WEATHER TO A RUST COLOR OVER TIME. USE 24"x48" PLATES OR 24"x24" PLATES. THE DETECTABLE WARNING FIELD SHALL BE LOCATED SO THAT IT IS CENTERED IN THE CURB RAMP WITH THE EDGE NEAREST THE BACK OF CURB A MINIMUM OF 6" AND A MAXIMUM OF 8" AWAY FROM THE BACK OF CURB. IN LOCATIONS WHERE THE RAMP IS SKEWED TO THE CURB, THE DETECTABLE WARNING FIELD IS TO RUN PERPENDICULAR TO THE DIRECTION OF TRAVEL, WITH THE EDGE NEAREST THE BACK OF CURB 4" AWAY FROM THE BACK OF CURB.

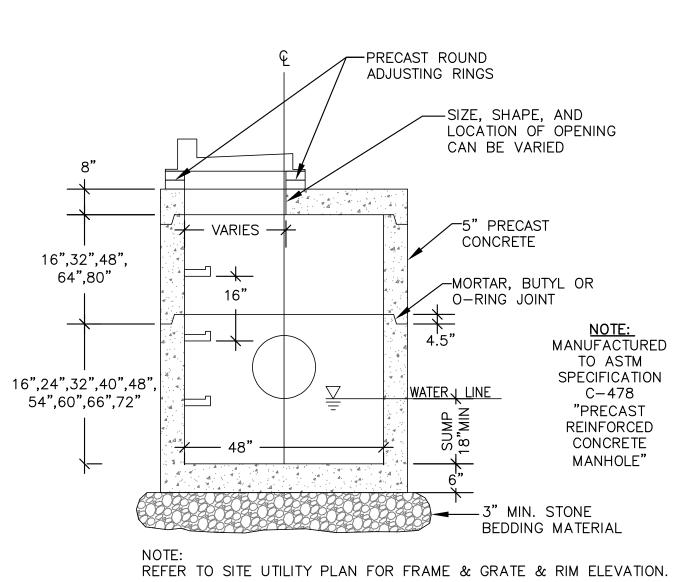
11) TRUNCATED DOME DETECTABLE WARNING FIELD



*CURB HEIGHT MAY VARY. SEE SITE GRADING
PLAN FOR EXACT CURB HEIGHTS. CONTACT
ENGINEER WITH ANY QUESTIONS THAT ARISE.
PROVIDE CONSTRUCTION JOINTS BETWEEN 10-FEET AND 300-FEET.

7 18-INCH BARRIER CONCRETE

OURB & GUTTER



12) 48-INCH DIAMETER STORM CATCH BASIN

N.T.S. WITH CURB BOX FRAME & GRATE



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ADDITION AND REMODELING TO:
HORNING MIDDLE SCHOOL
WAUKESHA SCHOOL DISTRICT

CONSTRUCTION DESCRIPTION

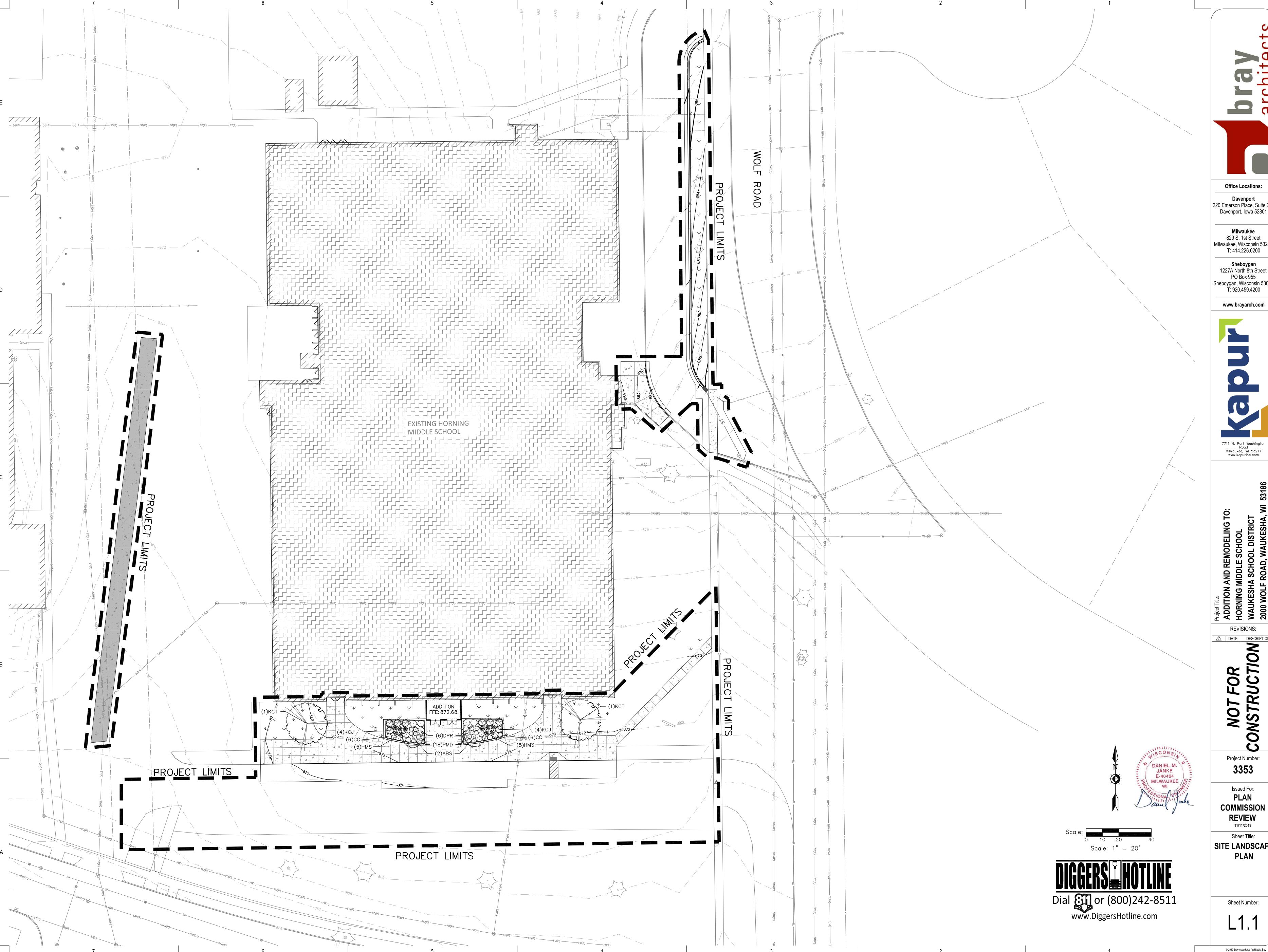
Project Number: 3353

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11/11/2019

Sheet Title:
SITE DETAILS

Sheet Number:

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Project Number:

Issued For: COMMISSION **REVIEW**

Sheet Title: SITE LANDSCAPE PLAN

Sheet Number:

	Scientific Name	Common Name	Quantity	Spacing	Install Size
Deciduous	Trees				
ABS	Amelanchier x grandiflora 'Autumn Brillance'	Autumn Brillance Serviceberry	2	Per Plan	8' multi-stem B&I
KCT	Gymnocladus dioicus - MALE SPECIES	Kentucky Coffee Tree - MALE SPECIES	2	Per Plan	2.5" caliper B&B
Evergreen S	Shrubs				
KCJ	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay Compact Juniper	8	Per Plan	#5 cont.
Deciduous	Shrubs				
CC	Cotoneaster apiculatus	Cranberry Cotoneaster	12	Per Plan	#2 cont.
DPR	Rosa rugosa 'Dwarf Pavement'	Dwarf Pavement Rose	6	Per Plan	#3 cont.
Perennials					
	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	10	Per Plan	#1 cont.
HMS		Pardon Me Daylily	18	Per Plan	#1 cont.



1. ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.

2. CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL

3. BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. NOT DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.

4. ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH WITH PRE EMERGENT HERBICIDE.

5. INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.

6. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

7. CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS

8. REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.

9. REMOVE EXCESS SOIL ABOVE ROOT COLLAR.

REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.

10. PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.

11. PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.

12. PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.

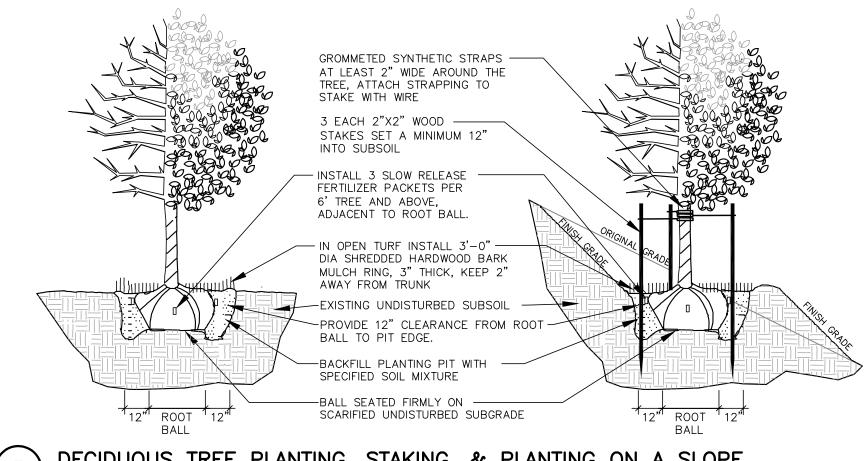
13. PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.

14. WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.

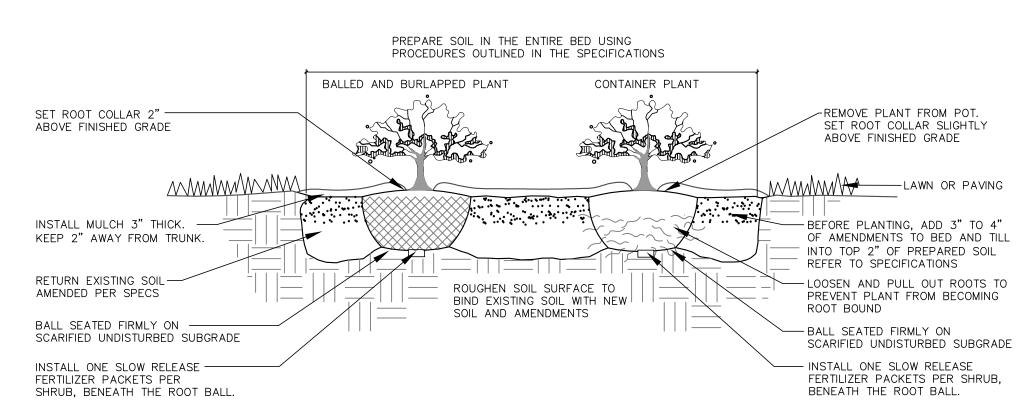
15. FOR INDIVIDUAL TREES PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE) 16. INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.

17. STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE, ATTACH STRAPPING TO STAKE WITH WIRE. STAKE ONLY WHEN NECESSARY. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE

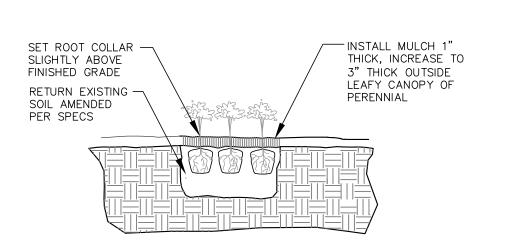
18. REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.



3 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE



5 DECIDUOUS & EVERGREEN SHRUB PLANTING
N.T.S.





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DETAILS

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