

City of Waukesha

Application for Development Review

Last Revision
Date:
6/18/2018

City of Waukesha Community Development Department - 201 Delafield Street, Suite 200, Waukesha, WI 53188 262-524-3750
City of Waukesha Department of Public Works Engineering Division—130 Delafield Street, Waukesha, WI 53188 262-524-3600
www.waukesha-wi.gov

APPLICANT INFORMATION

Applicant Name: Lorraine Wynn
Applicant Company Name: AXIS Infrastructure, LLC
Address: 1111 Cambridge Square
City, State: Alpharetta, GA 30009 Zip: _____
Phone: 678.395.4920
E-Mail: lorrainewynn@axiscompanies.com

ARCHITECT/ENGINEER/SURVEYOR INFORMATION

Name: Alex Adekanmbi (Architect)/Teresa Curry (Engineer)
Company Name: AXIS Infrastructure, LLC
Address: 1111 Cambridge Square
City, State: Alpharetta, GA 30009 Zip: _____
Phone: 678.395.4920
E-Mail: lorrainewynn@axiscompanies.com

PROPERTY OWNER INFORMATION

Applicant Name: _____
Applicant Company Name: SENCO DEVELOPMENT LLC
Address: 1635 E MAIN ST
City, State: WAUKESHA, WI 53186 Zip: _____
Phone: _____
E-Mail: _____

PROJECT & PROPERTY INFORMATION

Project Name: McDonald's building and site modifications
Property Address 1635 E MAIN ST
Tax Key Number(s): WAKC1007009002
Zoning: M-3
Total Acreage: 2 ACRES Existing Building Square Footage 3,108
Proposed Building/Addition Square Footage: N/A
Current Use of Property: EXISTING McDONALD'S RESTAURANT

PROJECT SUMMARY (please provide a brief project description)

Site plans provided depict the new drive thru equipment that will replace existing. New detector loops will replace existing.

Building modifications are as follows:

EXTERIOR: New exterior finishes to include stucco and tile brand walls

INTERIOR: New decor in dining room, restrooms and crew room. Restroom modifications to meet ADA standards, new front counter.

All submittals require a complete scaled set of digital plans (Adobe PDF) and shall include a project location map showing a 1/2 mile radius, a COLOR landscape plan, COLOR building elevation plans, and exterior lighting photometric maps and cut sheets. A pre-application meeting is required prior to submittal of any applications for Subdivisions, Planned Unit Developments, and Site and Architectural Plan Review. **The deadline for all applications requiring Plan Commission Reviews is at 4:00 P.M., 30 days prior to the meeting date. The Plan Commission meets the Second and Fourth Wednesday of each month.**

APPLICATION ACKNOWLEDGEMENT AND SIGNATURES

I hereby certify that I have reviewed the City of Waukesha Development Handbook, City Ordinances, Submittal Requirements and Checklists and have provided one PDF of all required information. Any missing or incomplete information may result in a delay of the review of your application. By signing this I also authorize The City of Waukesha or its agents to enter upon the property for the purpose of reviewing this application.

Applicant Signature Lorraine Wynn

Applicant Name (Please Print) Lorraine Wynn

Date: February 7, 2020

For Internal Use Only:

Amount Due (total from page 2): _____ Amount Paid: _____ Check #: _____

Trakit ID(s) _____ Date Paid: _____

City of Waukesha Application for Development Review

TYPE OF APPLICATION & FEES (CHECK ALL THAT APPLY)

Fees

Please note that each application type has different submittal requirements. Detailed submittal checklists can be found in Appendix A of the Development Handbook.

- ☐ Plan Commission Consultation **\$200** _____
- ☐ Traffic Impact Analysis _____
 - ☐ Commercial, Industrial, Institutional, and Other Non-Residential **\$480**
 - ☐ Residential Subdivision or Multi-Family **\$480**
 - ☐ Resubmittal (3rd and all subsequent submittals) **\$480**
- ☐ Preliminary Site Plan Review _____
 - ☐ Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$2,200**
 - ☐ Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$2,320**
 - ☐ Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$2,440**
 - ☐ Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$2,560**
 - ☐ Resubmittal Fees (after 2 permitted reviews) **\$750**
- ☐ Final Site Plan Review _____
 - ☐ Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$1,320**
 - ☐ Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$1,440**
 - ☐ Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$1,560**
 - ☐ Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$1,680**
 - ☐ Resubmittal Fees (3rd and all subsequent submittals) **\$750**
- ☒ Minor Site or Architectural Plans (total site disturbance UNDER 3,000 total square feet) \$330 _____
 - ☒ Projects that do not require site development plans **\$330**
 - ☐ Resubmittal Fees (3rd and all subsequent submittals) **\$330**
- ☐ Certified Survey Map (CSM) _____
 - ☐ 1-3 Lots **\$500**
 - ☐ 4 lots or more **\$560**
 - ☐ Resubmittal (3rd and all subsequent submittals) **\$180**
 - ☐ Extra-territorial CSM **\$260**
- ☐ Preliminary Subdivision Plat _____
 - ☐ Up to 12 lots **\$1,270**
 - ☐ 13 to 32 lots **\$1,390**
 - ☐ 36 lots or more **\$1,510**
 - ☐ Resubmittal (3rd and all subsequent submittals) **\$630**
- ☐ Final Subdivision Plat _____
 - ☐ Up to 12 lots **\$660**
 - ☐ 13 to 32 lots **\$780**
 - ☐ 36 lots or more **\$900**
 - ☐ Resubmittal (3rd and all subsequent submittals) **\$480**
 - ☐ Extra-territorial Plat **\$540**
- ☐ Rezoning and/or Land Use Plan Amendment _____
 - ☐ Rezoning **\$630**
 - ☐ Land Use Plan Amendment: **\$630**
- ☐ Conditional Use Permit _____
 - ☐ Conditional Use Permit with no site plan changes **\$480**
 - ☐ Conditional Use Permit with site plan changes **\$480** plus applicable preliminary and final site plan fees above _____
- ☐ Planned Unit Development or Developer's Agreement (Site Plan Review is also required) _____
 - ☐ New Planned Unit Development or Developer's Agreement **\$1,760**
 - ☐ Planned Unit Development or Developer's Agreement Amendment **\$610**
- ☐ Annexation **NO CHARGE**
- ☐ House/Building Move **\$150**
- ☐ Street or Alley Vacations **\$150**

TOTAL APPLICATION FEES:

\$330

FINAL SITE AND ARCHITECTURAL PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Final site and architectural plans are submitted only after the Plan Commission has approved Preliminary Site Plans for any new residential development with 4 or more units and all non-residential developments, including modifications to existing developments. Some projects may bypass Preliminary approval but only if it is determined by City staff in the Pre-Application meeting.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Cover letter outlining project details.
 - ☐ Color architectural elevations of all sides of the building and color perspective renderings
 - ☐ Landscape Plan (see Attachment I: Landscape Plan Checklist)
 - ☐ Attachment A: Development Review Checklist
 - ☐ Site Plan (see Attachment B: Engineering Plan Checklist)
 - ☐ Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
 - ☐ Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)
 - ☐ Utility Plans (see Attachment H: Sewer Plan Review Checklist)

MINOR SITE AND ARCHITECTURAL PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Minor Site and Architectural review is intended for projects that may not need the extensive submittal requirements for Preliminary and Final Site Plan approval. Projects that qualify for Minor Site Plan submittal may include landscape, façade and building changes or minor site modifications that don't result in the addition of impervious surface.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- ☒ One (1) digital (PDF) that includes of items listed below
 - ☒ Cover letter outlining project details.
 - ☒ Architectural elevations of all sides of the building being modified
- ☐ In addition, depending on the type of project, you may also need the following items:
 - ☒ Site Plan (see Attachment B: Engineering Plan Checklist)
 - ☐ Landscape Plan (see Attachment I: Landscape Plan Checklist)

CERTIFIED SURVEY MAP SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Certified Survey Map may be used to divide up to eight (8) lots in Commercial, Industrial, and Mixed Use zoning districts and up to four (4) lots in all other zoning districts.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

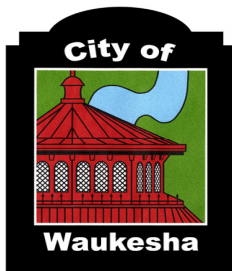
Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Attachment E: Certified Survey Map Checklist
 - ☐ Attachment A: Development Review Checklist and other attachments as applicable.

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

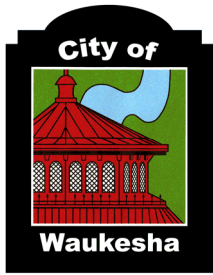


Attachment A - Application for Development Review Checklist

Project Name: McDonald's building and site modifications
Engineering Design Firm: AXIS Infrastructure, LLC

Checklist Items	CSM	Preliminary Plat	Final Plat	Property Survey for Bldg Permit	Storm Water Plan	Erosion Control Plan	Site, Grading, Drainage Plan	Street Plan	Utility Plan	Landscape Plan	Traffic Control Plan	Traffic Impact Analysis	Conditional Use or Home Indus.	PUD or Developer's Ag.	Minor site or Arch. Change	Conditional Use	Rezoning & Comp. Plan Change
Followed Construction Drawing Sheet Layout standards in Development Handbook																	
Followed Development Handbook and Storm Water Ordinance standards for Erosion control plans																	
Obtained geotechnical evaluation for storm water and pavement design																	
Followed Development Handbook standards, and Wisconsin Administrative Code for Property Survey																	
Verified proposed basement floor elevation is at least 1 foot above the highest seasonal high water table elevation																	
Followed Development Handbook standards and Ordinance for Preliminary Plat																	
Followed Site, Grading, and Drainage Plan design standards in Development Handbook and Storm Water Ordinance															X		
Followed Traffic impact analysis standards in Development Handbook																	
Specifications conform to current City Standard Specifications																	
Followed Lighting Plan standards in Development Handbook																	
Development site contains Contaminated Waste																	
Followed storm water management requirements in Development Handbook, and Ordinance																	
Site contains mapped FEMA floodplain or a local 100-year storm event high water limits																	
Site contains wetlands or Natural Resource limits (ie. Primary, Secondary, Isolated , shoreland limits)																	
CSM follows standards in Development Handbook, City Ordinance, and State Statutes																	
Followed Development Handbook standards for Street plans and profiles																	
Followed Development Handbook standards for utility plans and profiles																	
Existing sanitary sewer lateral has been televised															N/A		

[illegible]



City of Waukesha
 Department of Public Works
 130 Delafield Street
 Waukesha, WI 53188
 Waukesha-wi.gov

Engineering Plan Checklist

Attachment B
 (Rev 12/18)

Project Name: McDonald's building and site modifications

Engineering & Design Firm: AXIS Infrastructure, LLC

General Information

Plans shall include the seal and signature of the Wisconsin licensed professional engineer responsible for the preparation of the construction plans on the cover sheet or on each sheet

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of the WisDOT permit for any work in the State of Wisconsin right of way.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of the Waukesha County Department of Public Works permit for any work in right of way of Waukesha County.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of Wisconsin Department of Natural Resources Water Resources Application for Project Permits (WRAPP) for all sites greater than one acre.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of US Army Corps of Engineers 404 permit.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide cross access agreements for use of entrances.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide off-site utility easements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide hydraulic gradeline calculations for all storm sewer pipes signed and sealed by a professional engineer licensed in the State of Wisconsin.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a storm water management plan and calculations signed and sealed by a professional engineer licensed in the State of Wisconsin.

All Plan Sheets

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plans prepared on sheets measuring 11" high by 17" wide or no larger than 24" high by 36" wide.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sanitary Sewer, watermain and storm sewer system plans for the entire development are included.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A profile view is located below a plan view on plan and profile sheets and both views are aligned by stationing whenever possible. In general, stationing is from left to right.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plan and profile sheets start and terminate at match lines.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The assumed bearing base, control monuments and stationing reference line(s)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right-of-way limits and easement limits
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Edge of pavement or flange, face and back of curb
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name of each existing, proposed, and future roadway and any intersecting roadways
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Lot lines, lot and block numbers
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Addresses and names of Owners for existing parcels

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All obstructions located within the project limits including, but not limited to: trees, signs, utilities, fences, light poles, structures, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A note warning that underground utilities must be located by "Diggers Hotline" prior to start of construction
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Legend (relevant to each sheet) showing all special symbols, line types and hatch used
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Title block includes at a minimum, the following information: Name and address of engineering (design) firm and owner/developer Date of the drawing and last revision Scale Plan sheet number (# of #) Name and location description of development
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	North to the top or right of the sheet and shown by a north arrow, clearly shown without intrusion.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scale of the plans 1" = 40' horizontally and 1" = 8' vertically for 11" by 17" plan sheets and 1" = 20' horizontally and 1" = 4' vertically for 22" by 34" sheets. Partial site plans have a scale of 1" = 20' or larger. The scale of details is such that the detail is clearly shown. The scale is shown with a line scale and text.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing surface objects indicated with screened lines and clearly labeled.

Cover Sheet

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Project title.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location Map (Proximity to two main streets minimum).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Index of all plan sheets
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	For large or phased subdivisions, a key map of layout and phases.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A minimum of two (2) current SEWRPC reference benchmarks. Survey documentation of tie to Wisconsin State Plane Coordinate System, South Zone (horizontal) and City of Waukesha datum (vertical) provided. Elevations shown based on City of Waukesha datum.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All permanent or temporary benchmarks and elevations.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A description of the locations of the benchmarks; and the basis or origin of the vertical control network.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Date of plan preparation and applicable revision date(s)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The following statement: <i>"All site improvements and construction shown on the plans shall conform to the City of Waukesha <u>Development Handbook & Infrastructure Specifications</u>. Where the plans do not comply, it shall be the sole responsibility and expense of the Developer to make revisions to the plans and/or constructed infrastructure to comply."</i>



February 7, 2020

City of Waukesha
130 Delafield Street
Waukesha, WI 53188

RE: McDonald's Restaurant Remodel
1635 E Main Street
Waukesha, WI 53188

To whom it may concern,

The scope of work for the above referenced project is as follows:

SITework: New detector loops will be installed in drive thru area. New drive thru equipment will replace existing. Drive thru arrows will be painted on asphalt in drive thru.

EXTERIOR BLDG: New exterior finishes to include Stucco and tile brand walls.
Colored renderings are included in submittal.

INTERIOR BLDG: New décor in dining room, restrooms and crew room. New front counter.

Please let me know if any additional information is required for the next Planning Commission meeting.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Lorraine Wynn', is written over a light blue circular stamp.

Lorraine Wynn
Permit Coordinator





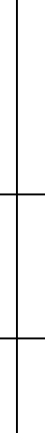
TL EUROWEST: E-WOOD COLLECTION.
COLOR: R9 BLACK; SIZE: 6'X36" 1/4 RUNNING BOND
WATERPROOFING SYSTEM MATERIAL AND GROUTS: BY MAPEI
GROUT COLOR: ULTRA COLOR PLUS + 47 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
CONTACT: JAN DETER, (714) 937-7500

WATERPROOFING MEMBRANE: FLEXIBLE, CEMENT-BASED
WATERPROOFING MEMBRANE:
MAPEI, MAPELASTIC AQUA DEFENSE
MAPEI, MAPELASTIC FIBERGLASS MESH

QUICK-SETTING, POLYMER-MODIFIED GROUT:
MAPEI, ULTRACOLOR PLUS FA, FAST-SETTING,
POLYMER-MODIFIED,
COLOR-CONSISTENT, NONSHRINKING,
EFFLORESCENCE-FREE GROUT.

W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
- SEE ASSEMBLY NOTES
1 - 1 NEW STOREFRONT AND GLAZING -
- SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN

W2 DRIVE-THRU WINDOW BY REMAX ACCESS 600 SERIES, 36"
SERVICE HEIGHT WITH TRANSOM - MANUAL OPEN;
XX ELECTRONIC RELEASE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

SHEET NO.	TITLE	DRAWN BY	PREPARED FOR:	 McDonald's USA, LLC © 2019 McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for the use of the project shown on these drawings and are not suitable for use on a different site or at a later time. Use of these drawings for reference on another project requires the approval of McDonald's USA, LLC. The contract documents for reuse on another project is not authorized.	 AIA IS INFRASTRUCTURE 1111 CAMBRIDGE SQUARE, SUITE C ALPHARETTA, GEORGIA 30009 PHONE: (678) 386-4820	 ALEX ADEKANMBI 125215-5 BERRIEN SPRINGS MICHIGAN <i>Alex Adekanmbi</i> ARCHITECT	12/17/2019 DATE	REV	DATE	BY
	MAJOR REMODEL PROGRAM EXISTING CO-BRAND DESCRIPTION EXISTING CMU STRUCTURE METAL ROOF JOIST CORE "16" DESIGN SITE ID 48-0764	DDW EXISTING REVIEWED BY DATE ISSUED 12/13/2019	MCD001900390 A2.0 ELEVATIONS							



FRONT ELEVATION



DRIVE THRU ELEVATION





REAR ELEVATION



NON-DRIVE THRU ELEVATION



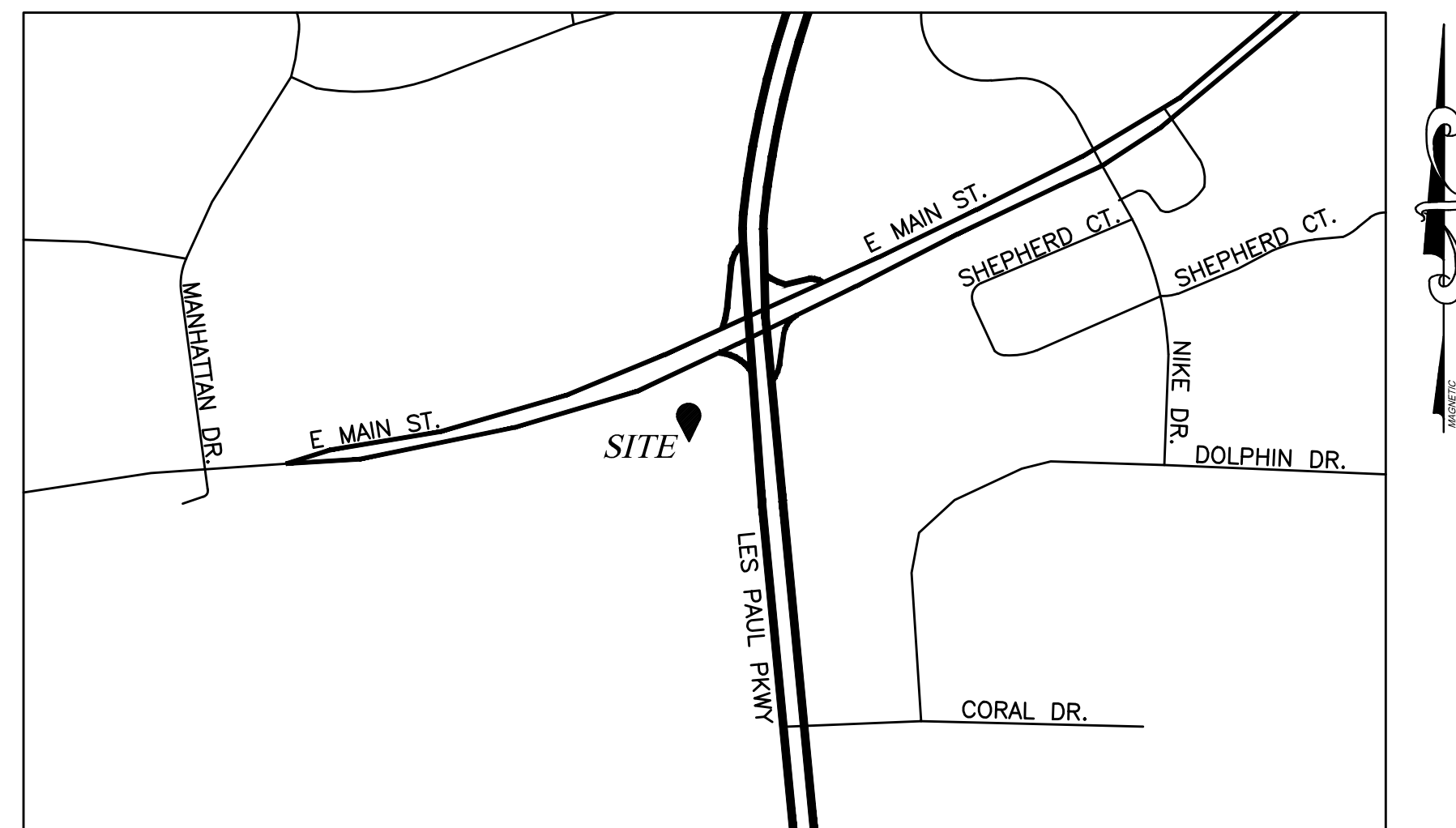
McDONALD'S RESTAURANT

1635 EAST MAIN STREET

WAUKESHA, WI 53186

WAUKESHA COUNTY

SITE CODE: 048-0764



ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CITY OF WAUKESHA DEVELOPMENT HANDBOOK & INFRASTRUCTURE SPECIFICATIONS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.

NOTE: UNDERGROUND UTILITIES MUST BE
LOCATED BY "DIGGERS HOTLINE" PRIOR TO
START OF CONSTRUCTION.

VICINITY MAP
NOT TO SCALE

NOT TO SCALE

DEVELOPER

McDONALD'S USA, LLC

110 N. CARPENTER STREET
CHICAGO, ILLINOIS 60607
24-HOUR CONTACT
EARL SCHNURBUSCH
(262) 804-7190



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

[illegible]


ADDENDUM LOG

Date :

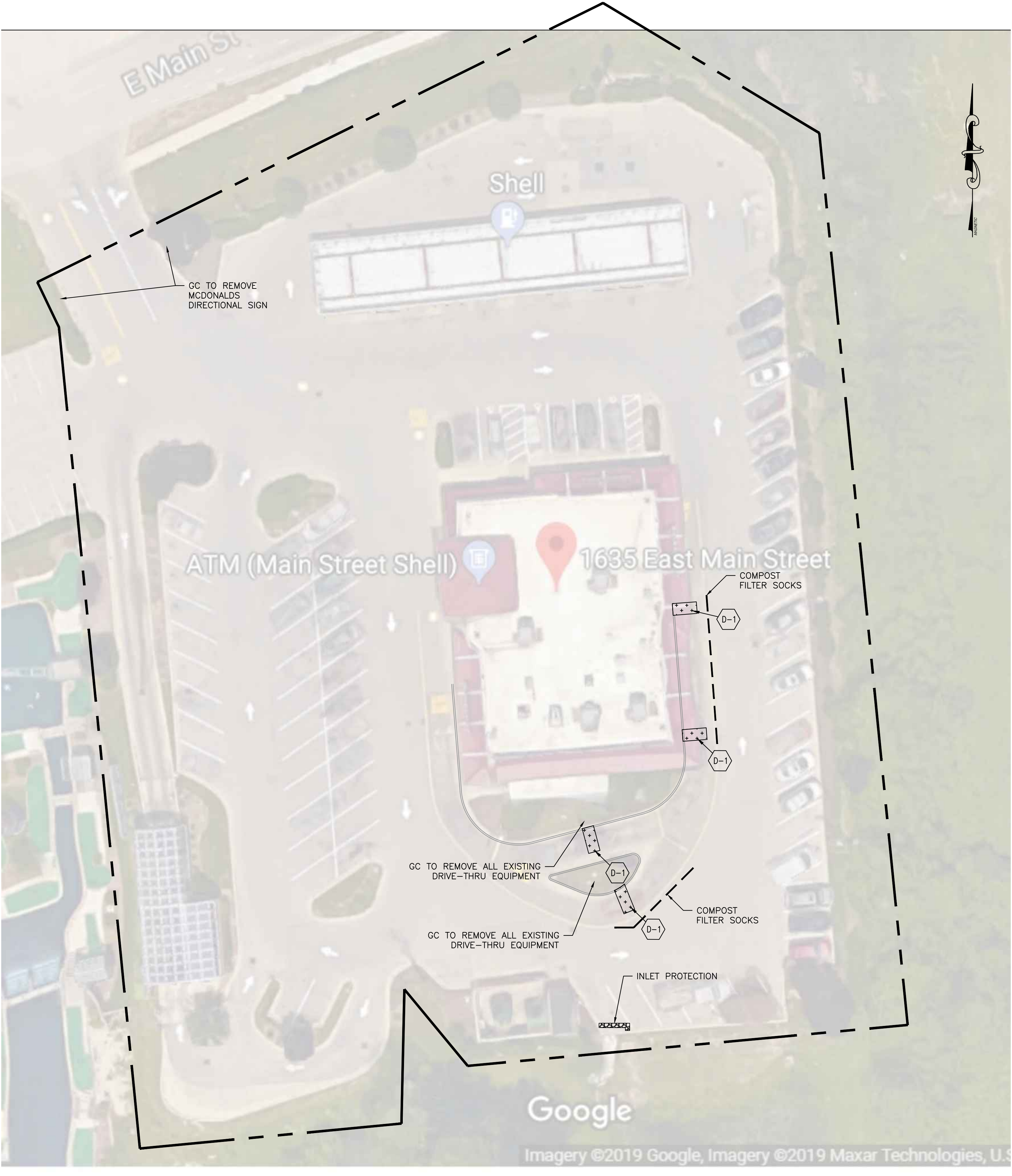
Addendum Number :

Party Responsible for Change	Sheets Affected	Description of Change
------------------------------	-----------------	-----------------------

REVISIONS

		REVISIONS	
		NO.	DATE
		COMMENTS	
		0	12.17.19
		1	
		2	
		3	
		4	
		5	
12.17.19 DATE		6	

AXIS PROJECT NUMBER: MCD01900390



EROSION CONTROL NARRATIVE:

PRIOR TO STARTING CONSTRUCTION ON SITE, DEMOLITION CONTRACTOR SHALL:

1. ESTABLISH FILTER SOCKS AS NOTED.
2. COMMENCE DEMOLITION AND SITE WORK AFTER RELEASED BY THE INSPECTOR.

SEDIMENT SHALL BE CONTROLLED USING THE FOLLOWING BEST MANAGEMENT PRACTICES:

- 1. COMPOST FILTER SOCKS

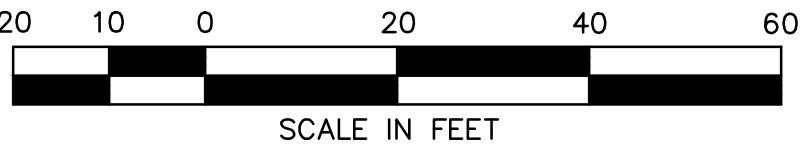
DEMOLITION NOTES

D-1 CONCRETE TO BE REMOVED

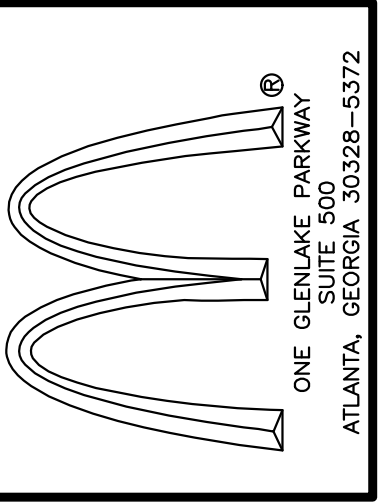
THE EXISTING SITE CONSISTS OF A McDONALD'S RESTAURANT. THE NEW PROJECT WILL CONSIST OF DEMOLISHING AREAS OF THE PARKING LOT DESIGNATED ON THE DEMOLITION PLAN AND ADDING NEW SIGNAGE IN THE DRIVE-THRU.

1. PROPERTY OWNER: McDONALD'S USA LLC
110 N. CARPENTER STREET, CHICAGO, IL 60607
2. 24 HOUR CONTACT: EARL SCHNURBUSCH
(262)804-7190
3. TOTAL DISTURBED AREA: 0.003 ACRES (137 S.F.)
4. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES INDICATING THE $\frac{1}{8}$ FULL VOLUME.
5. EROSION CONTROL MEASURES TO BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
6. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
7. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
8. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 30 DAYS SHALL BE STABILIZED WITH PERMANENT SEEDING.
9. ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
10. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
11. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION
12. THE PROFESSIONAL WHO SEALS THIS PLAN CERTIFIES THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY THE PROFESSIONAL OR THE PROFESSIONAL'S AGENT, UNDER THE PROFESSIONAL'S DIRECT SUPERVISION.

NOTE: UNDERGROUND UTILITIES MUST BE LOCATED BY "DIGGERS HOTLINE" PRIOR TO START OF CONSTRUCTION.



12.17.19
DATE



REVISIONS	
NO.	DATE: DESCRIPTION
4	
3	
2	
1	



DRAWING TITLE: DEMOLITION & EROSION CONTROL PLAN	
PROJECT NAME: McDONALD'S RESTAURANT 1635 EAST MAIN STREET, WAUKESHA, WI 53186	CLIENT: McDONALD'S CORPORATION 110 N. CARPENTER STREET, CHICAGO, IL 60607

PROJECT NO.:	PROJ. MGR.: TC
DATE: 12/17/19	DRWN. BY: LW
SCALE: AS NOTED	CHKD. BY: TC
DRAWING SERIES: E&SC	
SHEET NO. C-1.0	



PROPOSED CONCRETE CURBS\GUTTERS, PADS AND PAVING ON SITE			
KEY	DESCRIPTION	SPECIFICATION	QTY.
P-1	CONCRETE PAVEMENT	6" THK. 4,000 PSI CONCRETE WITH FIBERMESH	130 SF
P-2	STANDING CURB	6" x18" 4,000 PSI CONCRETE WITH FIBERMESH	20 LF

PROPOSED SIGNS	
S-1	SINGLE GATEWAY SIGN
S-2	DRIVE-THRU CANOPY
S-3	OUTDOOR DIGITAL MENUBOARD
S-4	DIGITAL PRE BROWSE SIGN
S-5	DIRECTIONAL SIGN

PROPOSED SIGNS	
A-1	6" YELLOW DRIVE-THRU STRIPE
A-2	"DRIVE-THRU" W/ARROW PAVEMENT MARKING
A-3	"THANK YOU" PAVEMENT MARKING PLACED 30' FROM E OF CASH BOOTH WINDOW

GENERAL NOTES:

- THE MAJOR ROAD SIGNS AND BASES AND ALL INSTALLATION IS PART OF THE SIGN CONTRACTOR'S PACKAGE. CONDUIT AND WIRE TO THE SIGNS INSTALLED BY GC AND COST PAID BY THE OPERATOR. THE CONCRETE BASE FOR THE SIGN IS INCLUDED AS PART OF THE SIGN COST AND PAID FOR BY THE OPERATOR.
- ENTRANCE AND EXIT SIGNS, DRIVE-THRU MENU BOARDS AND FLAGPOLES, INCLUDING THE INSTALLATION, ARE PART OF THE SIGN CONTRACTOR'S PACKAGE. BASES AND WIRING TO THE SIGNS AND CONDUIT ARE INSTALLED BY GC AND COSTS PAID BY THE OPERATOR.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- SEE SITE DETAILS SD-1.1 FOR LOT STRIPING INFORMATION AND SPECIFICATIONS.
- ALL CONCRETE WALKS TO BE 4" THICK AND BROOM FINISHED.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- ANY WORK PERFORMED IN THE STATE R.O.W. SHALL BE PER DOT GUIDELINES AND STANDARD SPECIFICATIONS.
- ALL EXPOSED CONCRETE CORNERS TO BE CHAMFERED AND\OR TO HAVE RADII.
- ALL EXPOSED CONCRETE CURBS, SIDEWALK, SLABS, PAVEMENT AND FOUNDATIONS SHALL BE TREATED WITH AN AQURON CONCRETE TREATMENT AS MANUFACTURED BY AQURON. OR APPROVED EQUIVALENT.
- THE COMPACTION REQUIREMENTS FOR ALL FILL MATERIAL(S) PLACED ANYWHERE ON MCDONALD'S CORPORATION PROPERTY SHALL BE 100% OF THE STANDARD PROCTOR (ASTM D-698).
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF ANY REMAINING SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.
- ALL JOINTS WHERE NEW PAVEMENT ADJOINS EXISTING PAVEMENT SHALL BE SAW CUT, TO INSURE A STRAIGHT CLEAN LINE, OR WILL BE CARRIED TO THE NEXT EXPANSION JOINT ON DOT R.O.W. WHERE FEASIBLE.
- ALL CURB RADII 5' UNLESS NOTED OTHERWISE.
- ALL CURB FACES AND PAVEMENT ELEVATIONS SHALL MATCH ADJOINING CURBING AND PAVEMENT EXACTLY.
- STABILIZE AND GRASS ALL SLOPES TO PREVENT EROSION, AND SOD OR HYDRO-SEED SLOPES OVER 2:1 UNLESS OTHER WISE SPECIFIED. SEE GRADING EROSION.
- ALL DIMENSIONS ARE GIVEN TO THE FACE OF CURB.
- CONTRACTOR TO USE TOPOGRAPHIC SURVEY IN CONJUNCTION WITH THIS SITE PLAN FOR LOCATION AND SIZES OF EXISTING FEATURES.
- IF CONCRETE DRIP APRONS ARE USED IN PARKING STALLS AGAINST A RETAINING WALL, GC TO PROVIDE 1/2" EXPANSION JOINT BETWEEN DRIP APRON AND WALL.

CONCRETE PAVING SPECS.

- 4000 P.S.I. WITH FIBER MESH;
-USE MIN. 517 LBS. OF CEMENT
-ADD FIBERMESH REINFORCEMENT TO CEMENT OR OWNER APPROVED EQUIVALENT. DOSAGE RATE SHALL BE AT MANUFACTURERS FULL RECOMMENDED DOSAGE.
-ACCEPTABLE AIR CONTENT 3%-6%.
-MAX AGGREGATE SIZE OF 1 1/2"
-MAX SLUMP OF 3"-4"

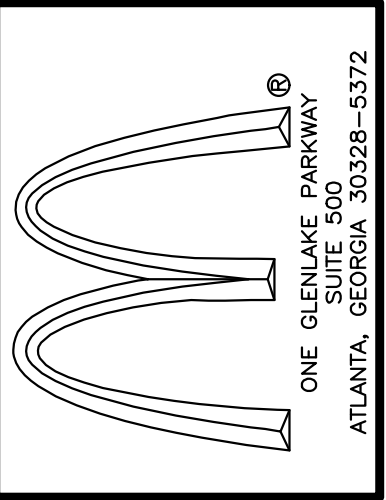
PROJECT MANAGER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TEST WILL BE AT THE EXPENSE OF MCDONALD'S CORPORATION OTHERWISE THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR TESTING FEES AND MATERIAL REPLACEMENT.

NOTE: UNDERGROUND UTILITIES MUST BE LOCATED BY "DIGGERS HOTLINE" PRIOR TO START OF CONSTRUCTION.

ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CITY OF WAUKESHA DEVELOPMENT HANDBOOK & INFRASTRUCTURE SPECIFICATIONS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.



12.17.19
DATE



REVISIONS		DESCRIPTION
NO.	DATE:	
4		
3		
2		
1		



SITE PLAN		
PROJECT NAME:	McDONALD'S RESTAURANT 1635 EAST MAIN STREET, WAUKESHA, WI 53186	
CLIENT:	McDONALD'S CORPORATION 110 N. CARPENTER STREET, CHICAGO, IL 60607	

PROJECT NO.:	PROJ. MGR.:
DATE: 12/17/19	TC
SCALE: AS NOTED	DRWN. BY: LW
DRAWING SERIES:	CHKD. BY: TC
SITE	
SHEET NO.	C-2.0