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SORCE SERVICES

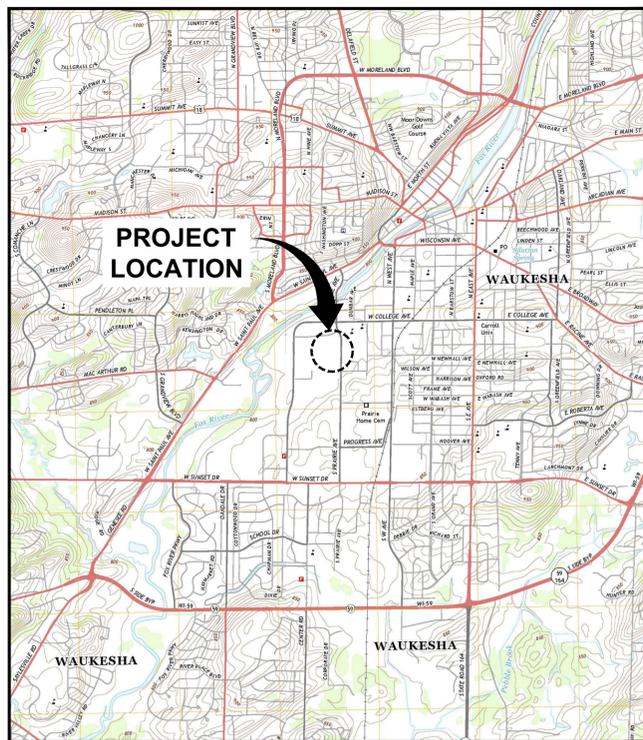
PROPERTY EXPANSION

ONE SORCE PROPERTIES

WAUKESHA, WISCONSIN

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Help Us...
Help You...
Protect
Your **Facilities!**



CONTACTS

SITE ADDRESS/OWNER:
SORCE SERVICES
220 SOUTH PRAIRIE AVENUE
WAUKESHA, WISCONSIN 53214
CONTACT:
PHONE:
EMAIL:

ENGINEER/AGENT:
ENDPOINT SOLUTIONS CORP.
6871 S. LOVERS LANE
FRANKLIN, WI 53132
CONTACT: JASON HEINONEN
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DRAWING SHEET INDEX

- CS COVER SHEET
- C1 SITE AND LANDSCAPE PLAN
- C2 GRADING AND EROSION CONTROL PLAN
- C3 NOTES AND DETAILS



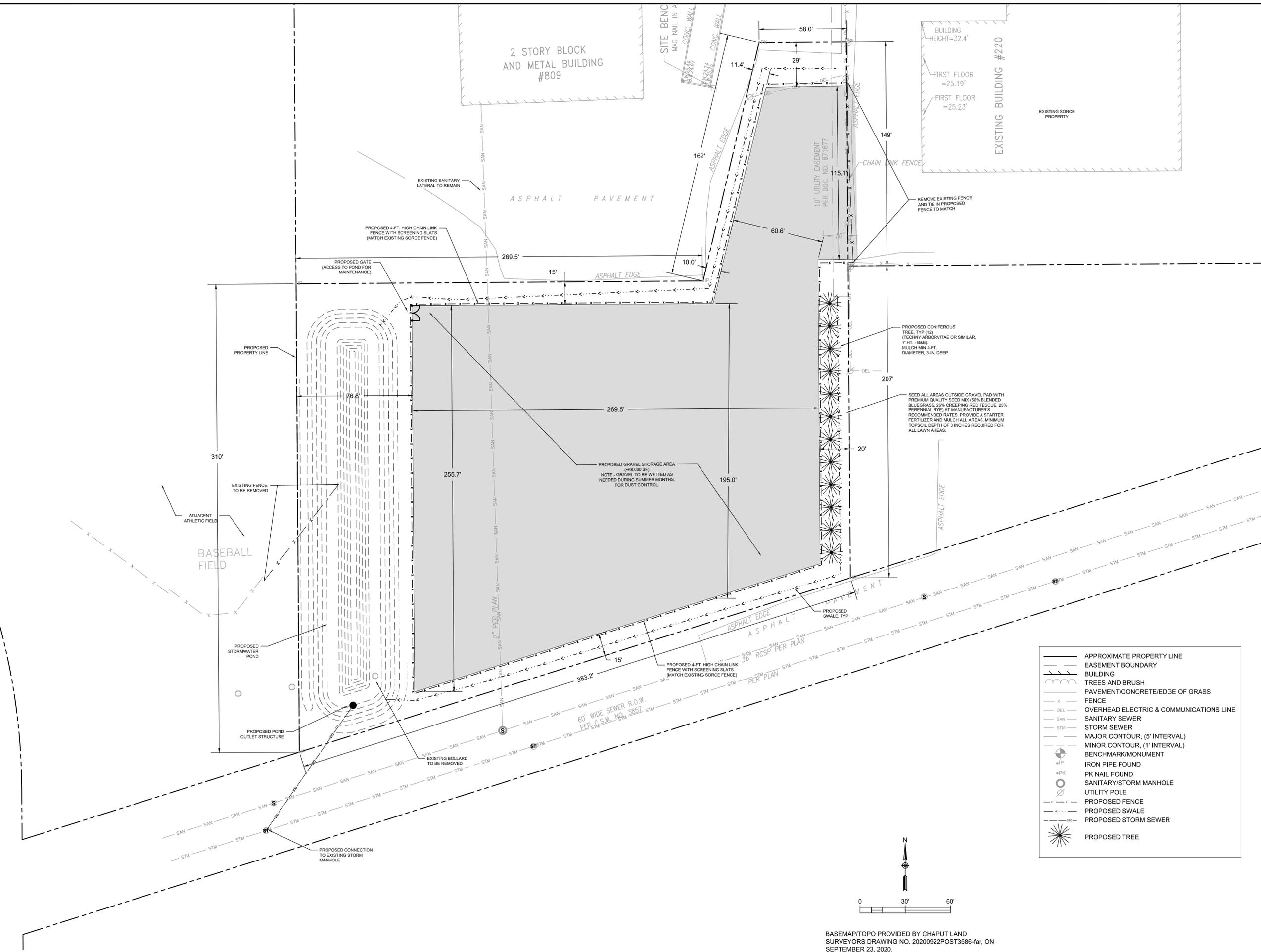
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SEPTEMBER 28, 2020

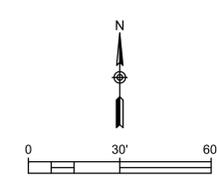
220 SOUTH PRAIRIE AVENUE
WAUKESHA, WISCONSIN 53186

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Sep 28, 2020 1:20pm PLOTTED BY: jehonon SAVED BY: jehonon
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	APPROXIMATE PROPERTY LINE
	EASEMENT BOUNDARY
	BUILDING
	TREES AND BRUSH
	PAVEMENT/CONCRETE/EDGE OF GRASS
	FENCE
	OVERHEAD ELECTRIC & COMMUNICATIONS LINE
	SANITARY SEWER
	STORM SEWER
	MAJOR CONTOUR, (5' INTERVAL)
	MINOR CONTOUR, (1' INTERVAL)
	BENCHMARK/MONUMENT
	IRON PIPE FOUND
	PK NAIL FOUND
	SANITARY/STORM MANHOLE
	UTILITY POLE
	PROPOSED FENCE
	PROPOSED SWALE
	PROPOSED STORM SEWER
	PROPOSED TREE



BASEMAP/TOPO PROVIDED BY CHAPUT LAND
 SURVEYORS DRAWING NO. 20200922POST3586-far, ON
 SEPTEMBER 23, 2020.

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ONE SORCE PROPERTIES - PROPERTY EXPANSION
SITE AND LANDSCAPE PLAN
 220 SOUTH PRAIRIE AVENUE
 WAUKESHA, WI

DRAWN BY: JAH DATE: 09/28/2020
 CHECKED BY: NWD DATE: 09/28/2020
 APPROVED BY: JAH DATE: 09/28/2020

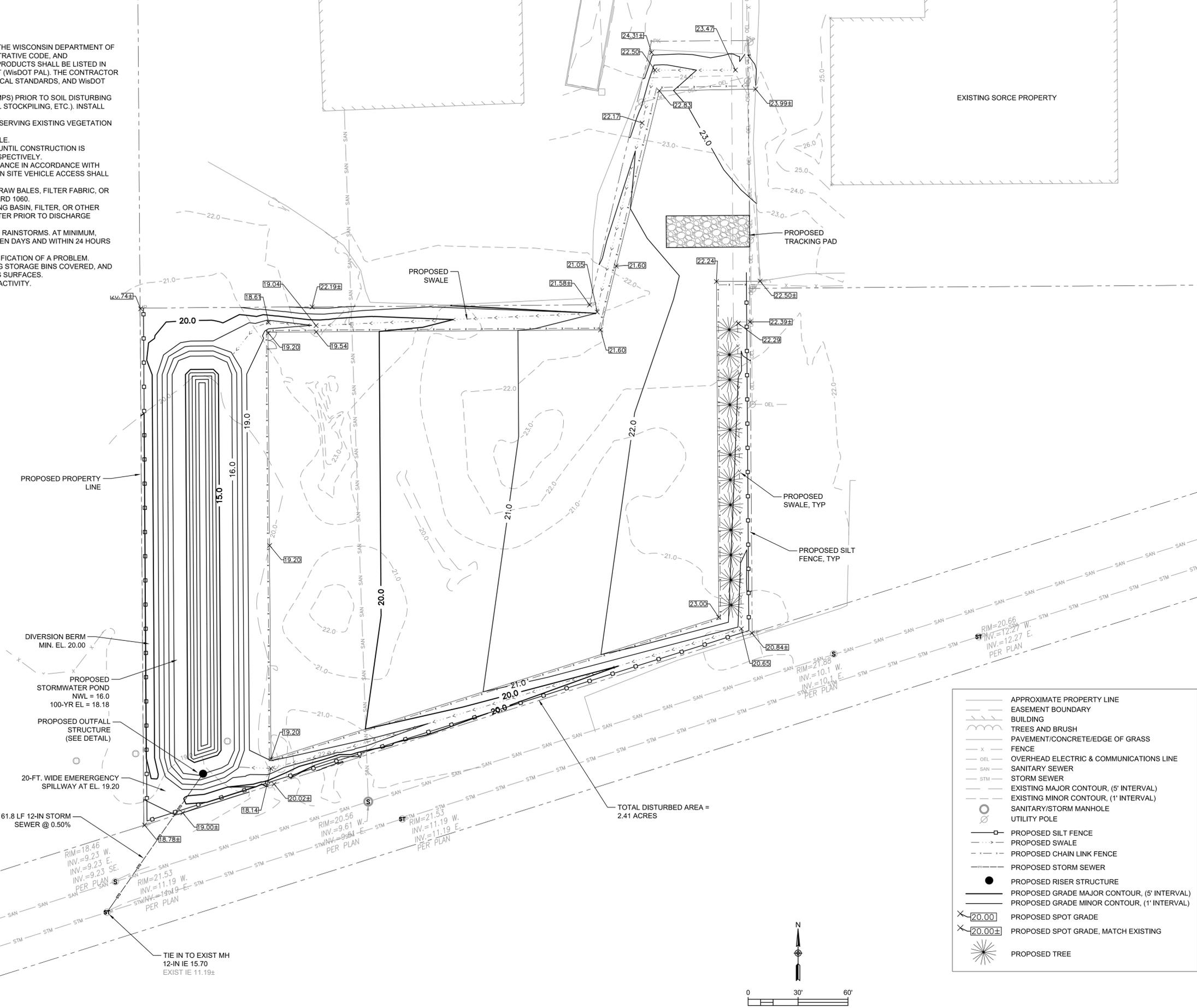
PROJECT NO.
 138-005-003
 SHEET NO.
C1

EROSION AND SEDIMENT CONTROL

1. CONSTRUCT AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) CHAPTERS NR 151 AND NR 216, WISCONSIN ADMINISTRATIVE CODE, AND APPROPRIATE WDNR TECHNICAL STANDARDS. EROSION AND SEDIMENT CONTROL PRODUCTS SHALL BE LISTED IN THE WISCONSIN DEPARTMENT OF TRANSPORTATION PRODUCT ACCEPTABILITY LIST (WisDOT PAL). THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF THESE STATE REQUIREMENTS, TECHNICAL STANDARDS, AND WisDOT PAL.
2. IMPLEMENT EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) PRIOR TO SOIL DISTURBING ACTIVITIES (E.G., CLEARING, GRUBBING, TOPSOIL STRIPING, EXCAVATION, MATERIAL STOCKPILING, ETC.). INSTALL EROSION CONTROL MEASURES AROUND STOCKPILE LOCATIONS.
3. MINIMIZE DISTURBED AREA BY PHASING OR SEQUENCING CONSTRUCTION AND PRESERVING EXISTING VEGETATION WHERE POSSIBLE.
4. DIVERT STORM WATER AWAY FROM DISTURBED OR EXPOSED AREAS WHEN POSSIBLE.
5. PROTECT ADJACENT PROPERTIES WITH SEDIMENT BALE BARRIERS OR SILT FENCE UNTIL CONSTRUCTION IS COMPLETE IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS 1055 OR 1056, RESPECTIVELY.
6. INSTALL A GRAVEL TRACKING PAD AT EACH NONPAVED CONSTRUCTION AREA ENTRANCE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPED PERIODICALLY TO REMOVE SOIL, DIRT, AND/OR DUST.
7. PROTECT INLETS, CATCH BASINS, AND OTHER CONVEYANCE STRUCTURES WITH STRAW BALES, FILTER FABRIC, OR OTHER APPROPRIATE MEASURES IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060.
8. DURING DEWATERING ACTIVITIES, UTILIZE A COMPARTMENTED CONTAINER, SETTLING BASIN, FILTER, OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICE FOR TREATING SEDIMENT-LADEN WATER PRIOR TO DISCHARGE OFF-SITE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.
9. INSPECT THE SITE REGULARLY AND PROPERLY MAINTAIN BMPs, ESPECIALLY AFTER RAINSTORMS. AT MINIMUM, INSPECTIONS OF CONSTRUCTION BMPs ARE REQUIRED AT LEAST ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5 INCH OR MORE.
10. BMPs MUST BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION OR NOTIFICATION OF A PROBLEM.
11. KEEP THE CONSTRUCTION SITE CLEAN BY PUTTING TRASH IN TRASH CANS, KEEPING STORAGE BINS COVERED, AND PREVENTING OR REMOVING EXCESS SEDIMENT ON ROADS AND OTHER IMPERVIOUS SURFACES.
12. SITE RESTORATION AND STABILIZATION MUST BE COMPLETED WITHIN 7 DAYS OF INACTIVITY.

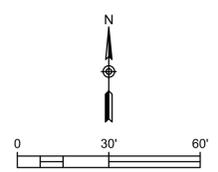
GENERAL GRADING NOTES

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
2. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
3. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
4. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION.
5. EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED AS PART OF THIS PROJECT. CONSTRUCTION ACTIVITIES MUST COMPLY WITH ALL PROVISIONS OF LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS THE SITE SPECIFIC SWPPP (IF APPLICABLE). ALL LAND DISTURBING ACTIVITIES MAY BE SUBJECT TO INSPECTION BY LOCAL AUTHORITIES AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
6. CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE EXTENT POSSIBLE. CONTRACTOR RESPONSIBLE FOR RESTORATION OF ALL DISTURBED AREAS.
7. RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE REMOVAL OF CONSTRUCTION WASTE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE SITE HAS STABILIZED.
9. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
10. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT
11. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
12. ALL SIDEWALKS AND ADA ACCESS ROUTES SHALL HAVE A MAXIMUM 2.0% CROSS SLOPE.
13. TEMPORARY EROSION CONTROL MATTING SHALL BE PLACED ON ALL SLOPES THAT ARE STEEPER THAN 4:1.
14. ALL PROPOSED CONTOURS REPRESENT FINAL FINISHED GRADE ELEVATIONS.



LEGEND

- APPROXIMATE PROPERTY LINE
- EASEMENT BOUNDARY
- BUILDING
- TREES AND BRUSH
- PAVEMENT/CONCRETE/EDGE OF GRASS
- FENCE
- OVERHEAD ELECTRIC & COMMUNICATIONS LINE
- SANITARY SEWER
- STORM SEWER
- EXISTING MAJOR CONTOUR, (5' INTERVAL)
- EXISTING MINOR CONTOUR, (1' INTERVAL)
- SANITARY/STORM MANHOLE
- UTILITY POLE
- PROPOSED SILT FENCE
- PROPOSED SWALE
- PROPOSED CHAIN LINK FENCE
- PROPOSED STORM SEWER
- PROPOSED RISER STRUCTURE
- PROPOSED GRADE MAJOR CONTOUR, (5' INTERVAL)
- PROPOSED GRADE MINOR CONTOUR, (1' INTERVAL)
- PROPOSED SPOT GRADE
- PROPOSED SPOT GRADE, MATCH EXISTING
- PROPOSED TREE



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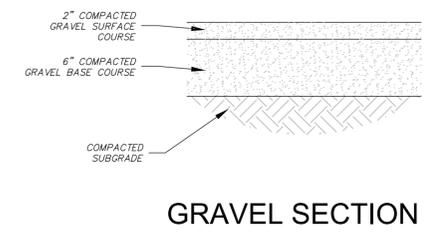
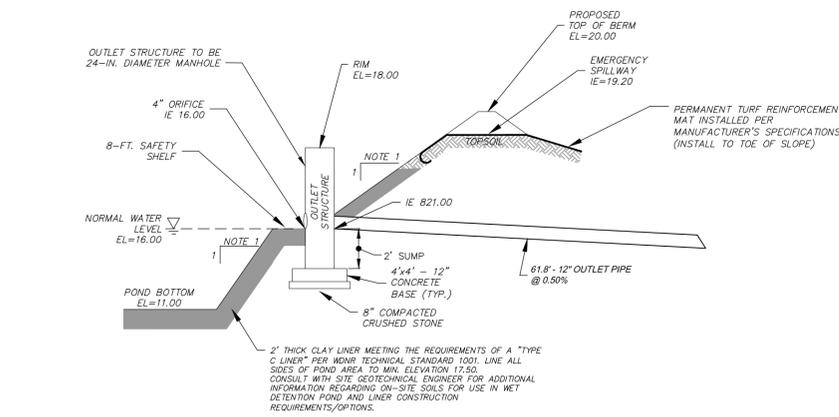
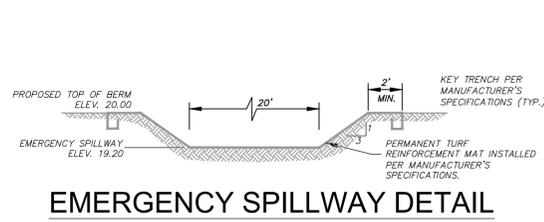
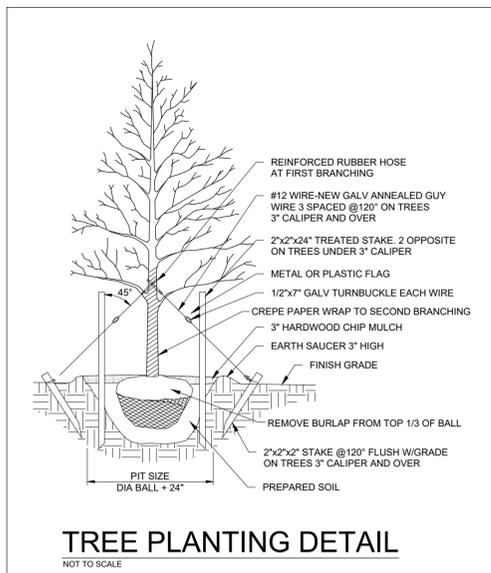
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**ONE SOURCE PROPERTIES - PROPERTY EXPANSION
 GRADING AND
 EROSION CONTROL PLAN
 220 SOUTH PRAIRIE AVENUE
 WAUKESHA, WI**

DRAWN BY: JAH DATE: 09/28/2020
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 APPROVED BY: JAH DATE: 09/28/2020

PROJECT NO.
 138-005-003
 SHEET NO.
C2

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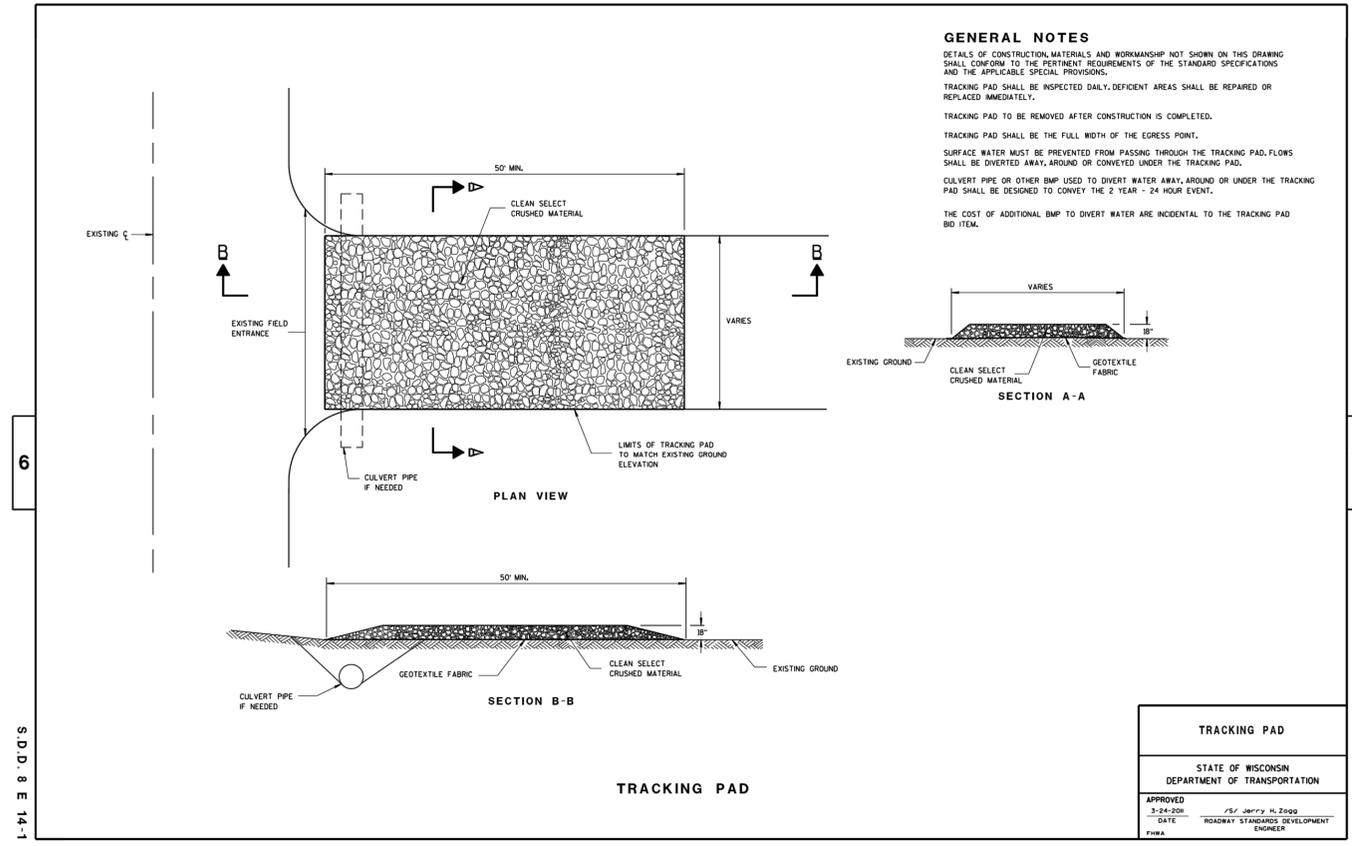
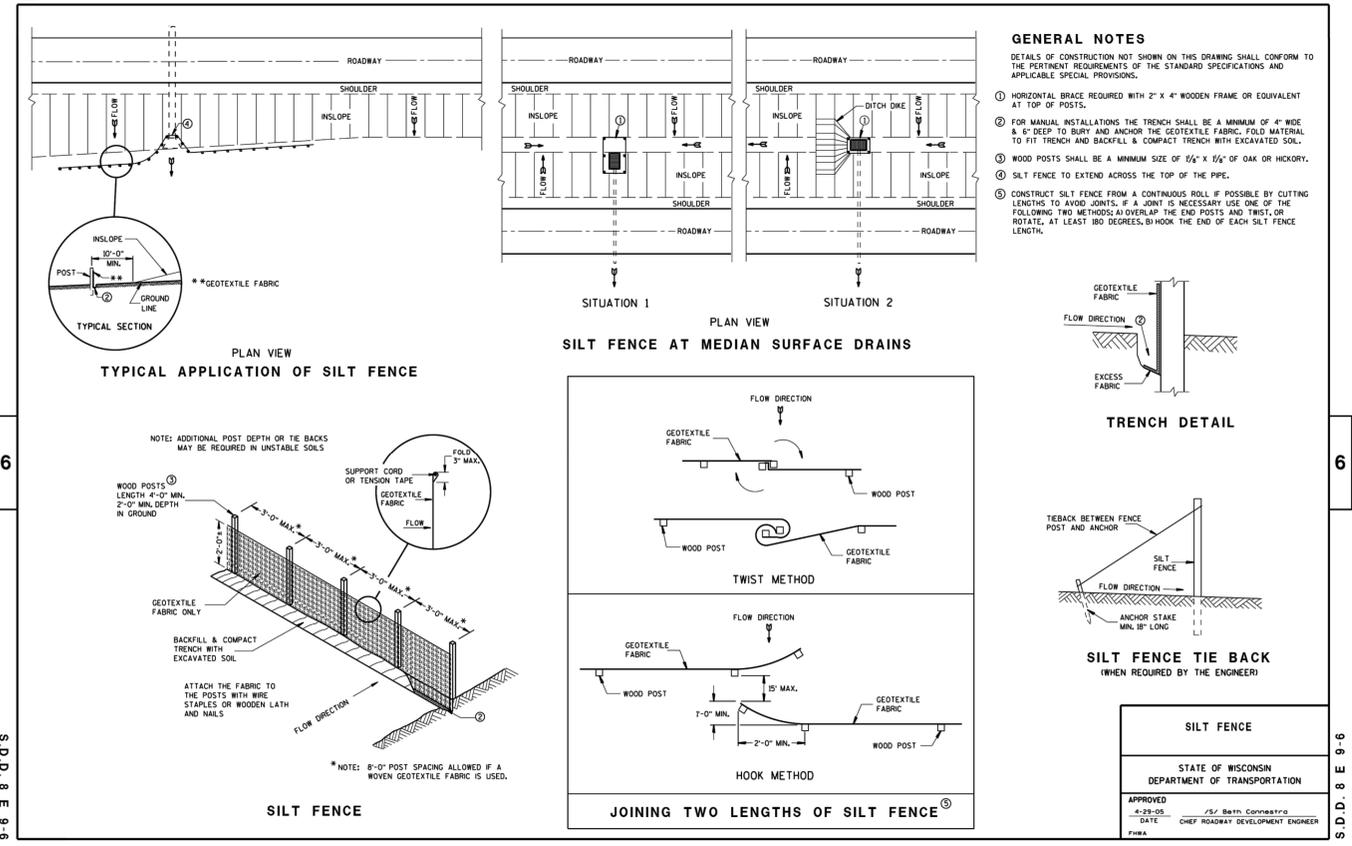


DETENTION POND CROSS SECTION W/ OUTLET STRUCTURE DETAIL

DETENTION POND NOTES:
1. SIDESLOPES ABOVE THE OUTLET STRUCTURE TO BE 3:1. SIDESLOPES BELOW OUTLET STRUCTURE SHALL BE 2:1.

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ONE SOURCE PROPERTIES - PROPERTY EXPANSION
NOTES AND DETAILS
220 SOUTH PRAIRIE AVENUE
WAUKESHA, WI

DRAWN BY: JAH DATE: 09/28/2020
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APPROVED BY: JAH DATE: 09/28/2020

PROJECT NO.
138-005-003

SHEET NO.
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