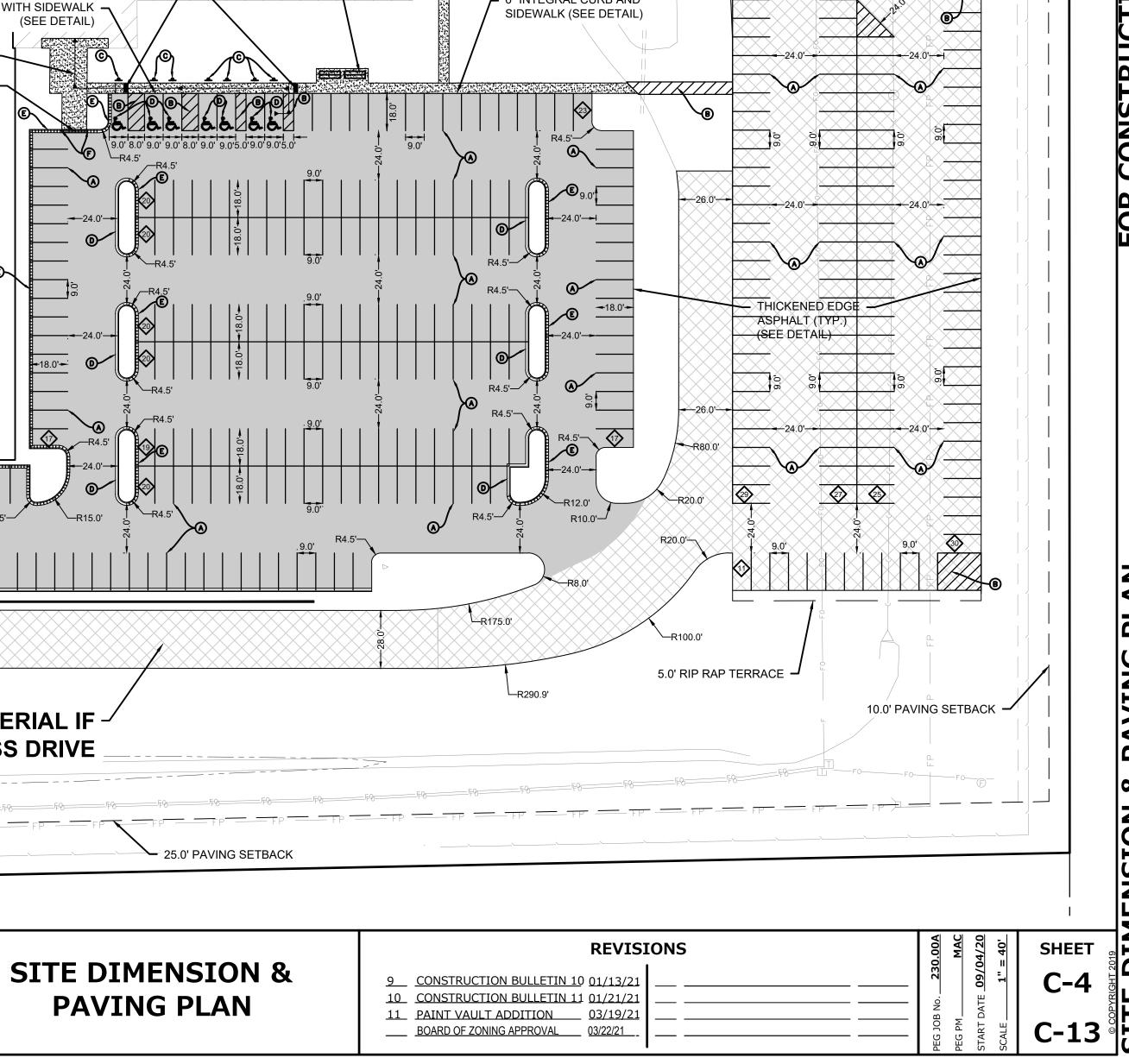
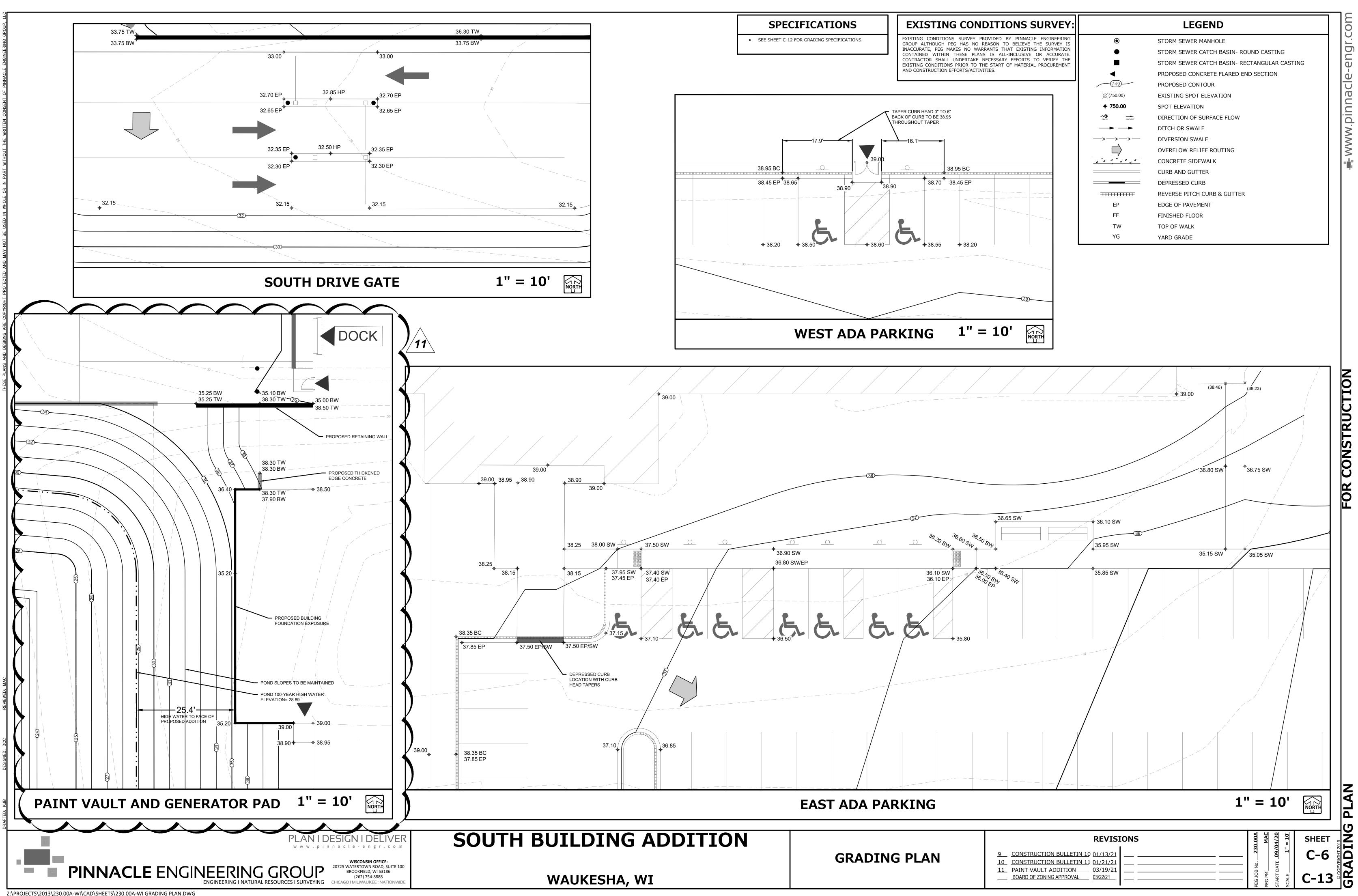
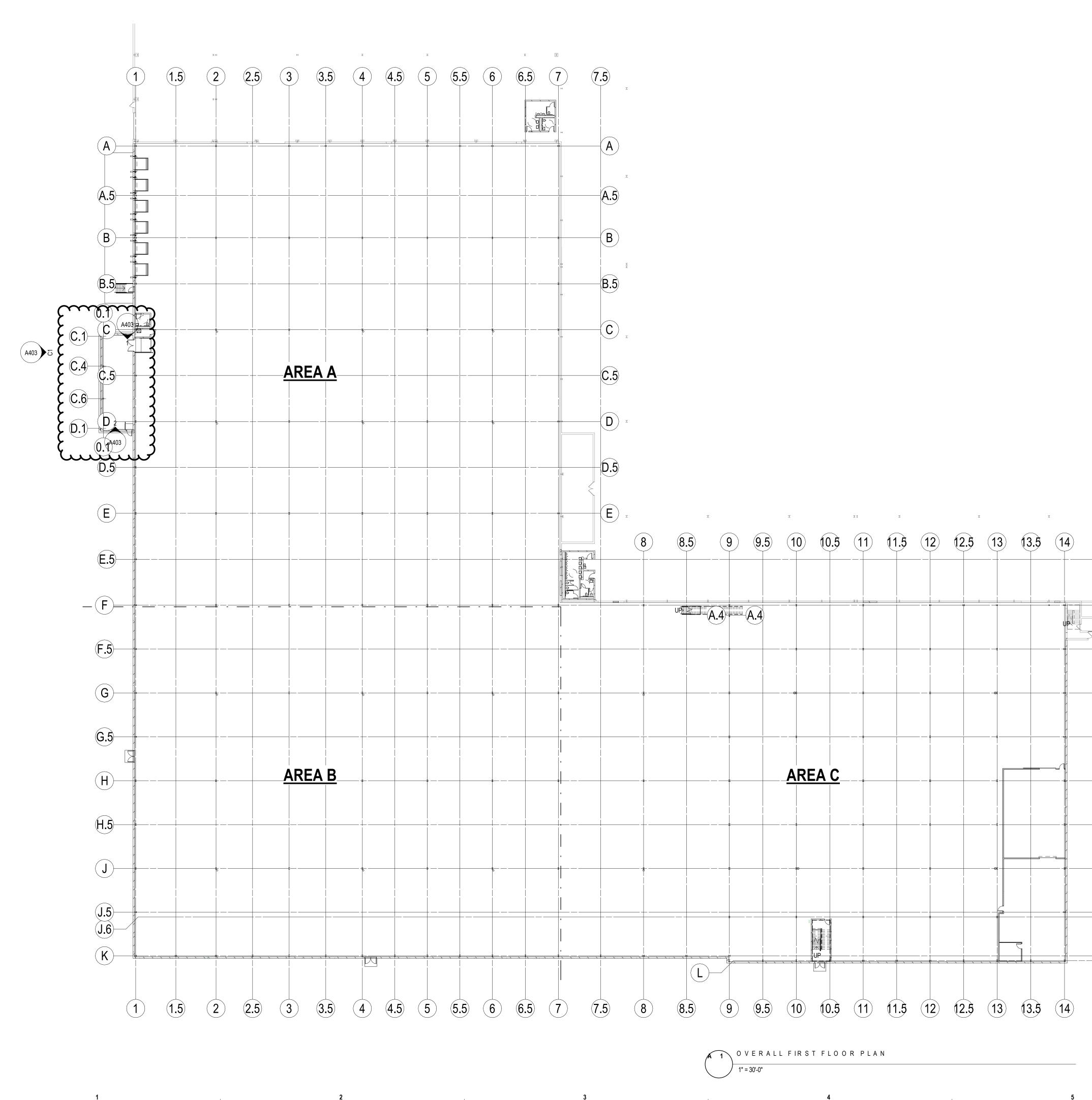


::\PROJECTS\2013\230.00A-WI\CAD\SHEETS\230.00A-WI SITE DIMENSION & PAVING PLAN.DW(







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	SHEET NOTES - FLOOR PLAN
1.	BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
2.	ALL DIMENSION STRINGS ARE TO FINISH FACE OF WALL, UNLESS NOTED OTHERWISE.
3.	VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
4.	REFER TO SHEET A010 FOR REFERENCED PARTITION TYPES AND DETAILS. WALLS NOT TAGGED ON THESE PLANS SHALL BE PARTITION TYPE S3A-S11.
5.	ALL WALLS DIRECTLY BEHIND OR ADJACENT TO PLUMBING FIXTURES SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
6.	LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
7.	REPAIR, PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEW, MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR UNFINISHED SURFACES.
8.	PATCH ALL WALL BASE SCARS AT EXISTING WALL SURFACES. PREPARE SMOOTH TO RECEIVE NEW WALL BASE FOR UNIFORM APPEARANCE.
9.	PATCH WALLS TO MATCH ADJACENT SURFACES AT ALL ABANDONED OR REMOVED OUTLET AND SWITCH LOCATIONS. BLANK COVER PLATES ARE NOT ACCEPTABLE.
10.	PREPARE FLOOR LEVEL AND SMOOTH FOR NEW HARD SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ABNORMALITIES IN CONCRETE FLOOR.
11.	ALL AREAS DISTURBED BY DEMOLITION SHALL BE PATCHED AND PROPERLY PREPARED FOR NEW FINISH APPLICATIONS. WHERE ADJACENT FINISHES ARE EXISTING TO REMAIN, PATCH AND MATCH EXISTING FINISHES. CONSULT WITH THE OWNER TO IDENTIFY ATTIC STOCK AND/OR PREVIOUS MATERIAL SPECIFICATIONS.
12.	PROVIDE BLOCKING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.
13.	AV LAYOUT SHOWN FOR BUDGETARY PURPOSES ONLY. COORDINATE FINALIZED LAYOUT WITH

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KEYNOTES PER SHEET

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milwaukee	333 East Chicago Street Milwaukee, Wisconsin 53202 414.271.5350
madison	309 West Johnson Street, Suite 202 Madison, Wisconsin 53703 608.442.5350
denver	1899 Wynkoop Street, Suite 300 Denver, Colorado 80202 303.595.4500

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Construction Corporation project information

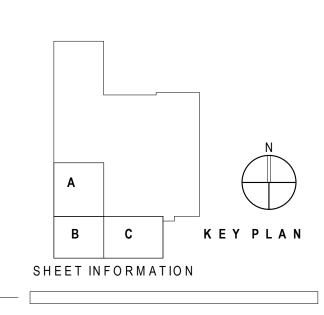
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DATE	DESCRIPTION
10/07/2020	BP-1 SHELL PACKAGE
11/05/2020	BP-1 - ADDENDUM 04
12/11/2020	PLAN REVIEW SET
12/23/2020	BID PACKAGE - INTERIORS
01/29/2021	CONSTRUCTION SET
3/22/21	BOARD OF ZONING APPROVAL



A PROJECT MANAGER CJ PROJECT NUMBER 220395 OVERALL FIRST

FLOOR PLAN

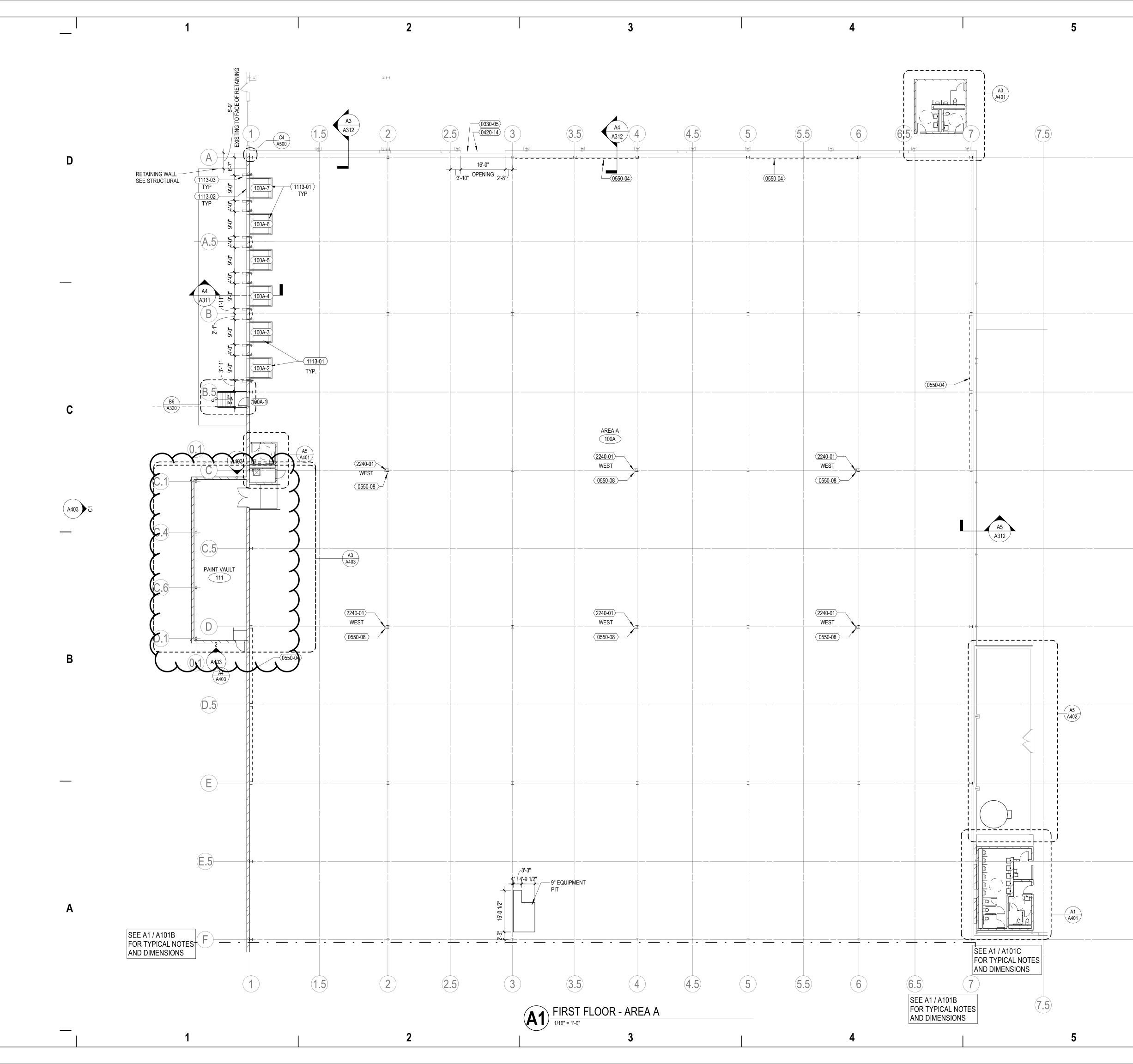
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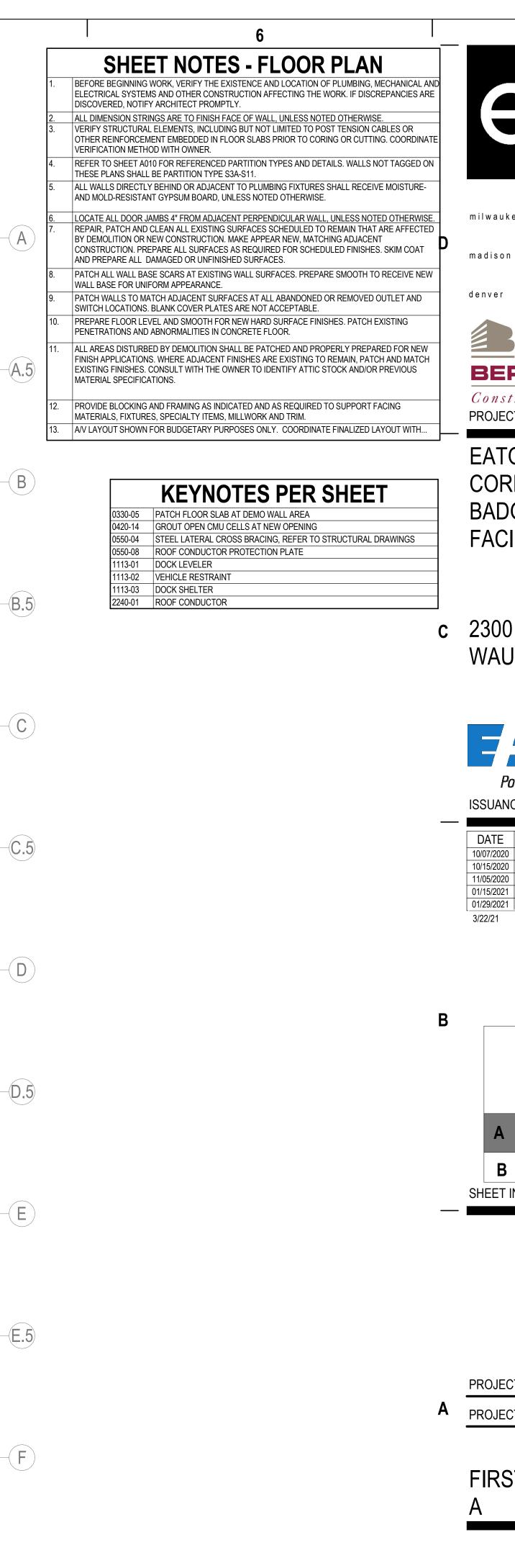
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Construction Corporation PROJECT INFORMATION

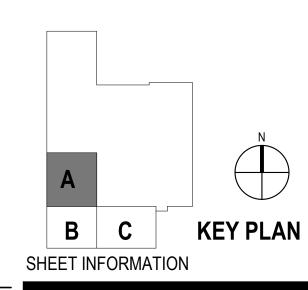
EATON CORPORATION BADGER DRIVE FACILITY

c 2300 BADGER DR WAUKESHA, WI



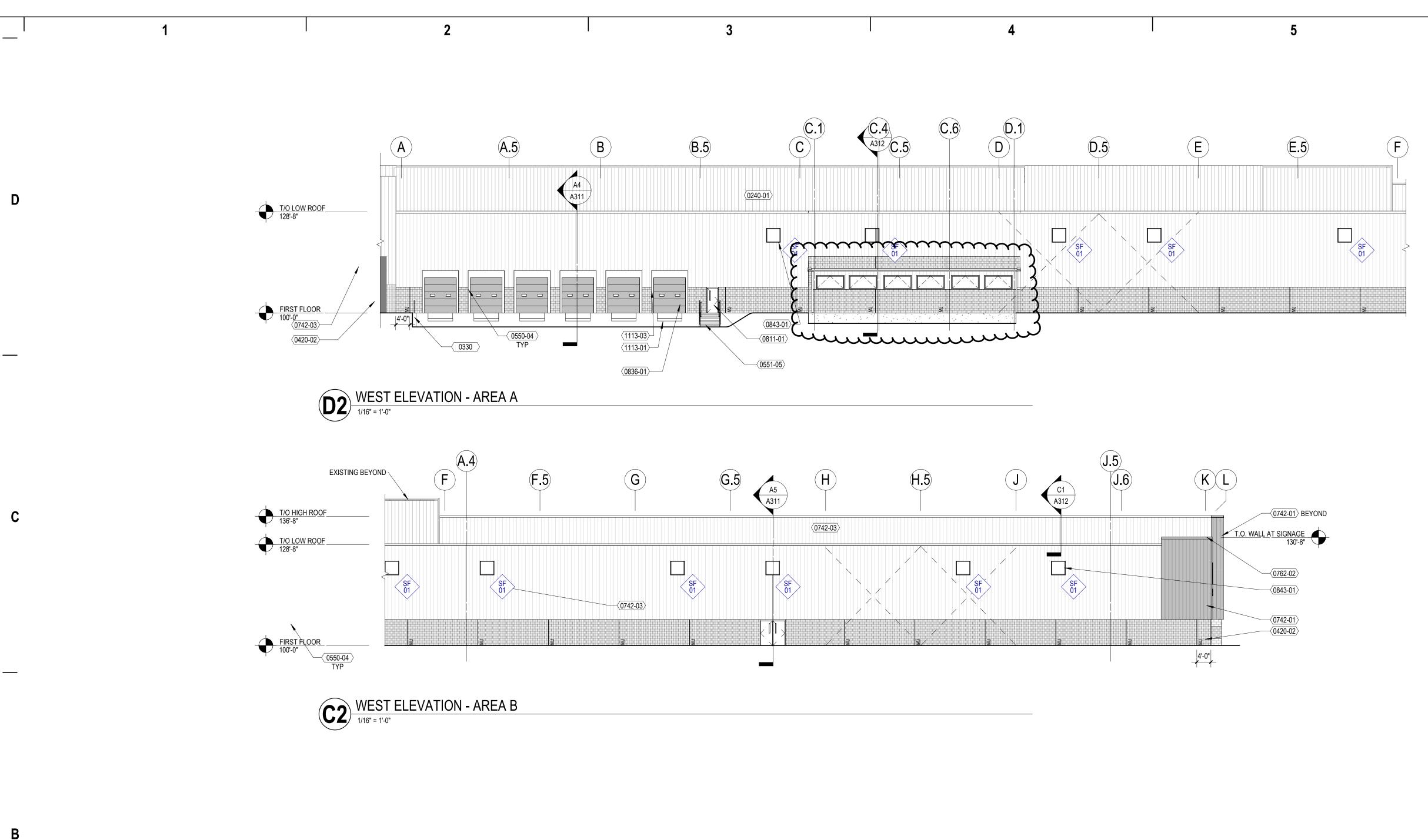
Powering Business Worldwide ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/07/2020	BP-1 SHELL PACKAGE
10/15/2020	BP-1 - ADDENDUM 01
11/05/2020	BP-1 - ADDENDUM 04
01/15/2021	PLAN REVIEW REVISION
01/29/2021	CONSTRUCTION SET
3/22/21	BOARD OF ZONING APPROVAL

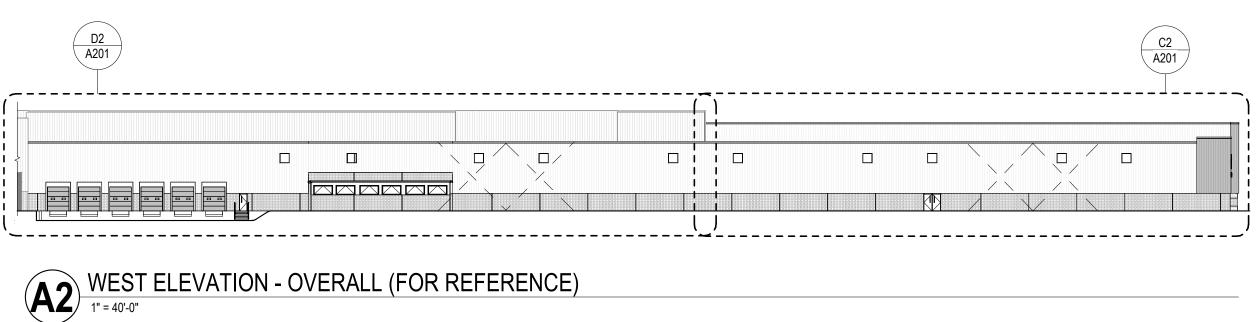


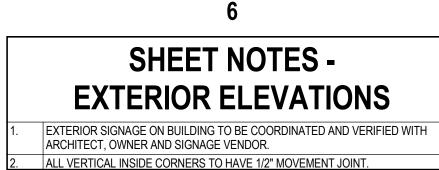
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FIRST FLOOR -	AREA
PROJECT NUMBER	220395
PROJECT MANAGER	CJ

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	KEYNOTES PER SHEET
0240-01	EXISTING WALL
0330	CAST-IN-PLACE
0420-02	CMU-1 PAINTED 12" 5 SCORE WIRECUT CMU BLOCK W/ SPRAY FOAM INSULATION
0550-04	STEEL LATERAL CROSS BRACING, REFER TO STRUCTURAL DRAWINGS
0551-03	STEEL PIPE GUARDRAIL
0551-05	GALVANIZED EXTERIOR STAIRS W/ METAL GRATE TREADS & LANDING
0742-01	EXPOSED FASTENER METAL WALL PANEL (MP-1)
0742-03	CONCEALED FASTENER METAL WALL PANEL (MP-3)
0762-02	PREFINISHED METAL COPING
0811-01	PAINTED HOLLOW METAL DOOR & FRAME
0836-01	INSULATED SECTION OVERHEAD DOOR W/ POWER OPERATOR
0843-01	ALUMINUM-FRAMED STOREFRONT, ALIGN FACE W/ OUTSIDE SURFACE OF SHEATHING
1113-01	DOCK LEVELER
1113-03	DOCK SHELTER



milwaukee D madison

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denver



BERGHAMMER Construction Corporation

PROJECT INFORMATION

EATON CORPORATION BADGER DRIVE FACILITY

c 2300 BADGER DR WAUKESHA, WI



DATE	DESCRIPTION
10/07/2020	BP-1 SHELL PACKAGE
11/05/2020	BP-1 - ADDENDUM 04
12/11/2020	PLAN REVIEW SET
01/29/2021	CONSTRUCTION SET
3/22/21	BOARD OF ZONING APPROVAL

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SHEET INFORMATION

PROJECT MANAGER CJ 220395 PROJECT NUMBER EXTERIOR ELEVATIONS



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