

# LANDMARKS COMMISSION APPLICATION

Monthly meeting is scheduled the first Wednesday of every month.

**Application Deadline is 4:30 p.m. on the Monday of the week before the Landmarks Commission meeting (typically the last Monday of every month).**

Date Received: \_\_\_\_\_

Paid: \_\_\_\_\_ Rec'd. By \_\_\_\_\_

Trakit #: \_\_\_\_\_

I am applying for a:

- Certificate of Appropriateness (COA) - **\$15 application fee required.**
- Paint and Repair Grant (no fee)

### A. General Information:

Applicant Name: JEFFREY J. ZIEGLER  
 Phone-Home: 414.254.7868  
 Phone-Work: \_\_\_\_\_  
 E-mail: jziegler@gmail.com  
 Mailing Address: 200 WINDSOR DRIVE

### B. Income Level Information: (Required only for those applying for a LCP & R Grant.)

Based on the following chart, CHECK ONE OF THE BOXES BELOW to INDICATE WHETHER YOUR FAMILY INCOME IS ABOVE OR BELOW THE GUIDELINE amount for your household:

No. in Family	Income Level (Up to:)	No. in Family	Income Level (Up to:)
1.....	\$37,650	5.....	\$58,050
2.....	\$43,000	6.....	\$62,350
3.....	\$48,400	7.....	\$66,650
4.....	\$53,750	8.....	\$70,950

- Income is **Above** Guidelines
- Income is **Below** Guidelines

Please note: income information is for CBDG reporting only and is not used to determine whether applicants qualify for grant money.

### C. Architectural Information on Property (if unknown you may leave this section blank):

Historic Name of Building: ANDREW S. CRONK HOUSE AHI# 94420  
 Address of Historic Property: 200 WINDSOR DRIVE WAUKESHA, WI 53186  
 Construction Date/Era: 1928  
 Architectural Style: TUDOR REVIVAL  
 Historic Background (Brief): ANDREW S. CRONK HOUSE, AHI # 94420, CAPLES PARK HISTORIC DISTRICT WAS LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES 3/17/88

**PLEASE READ AND SIGN:** The information in this application is accurate to the best of my knowledge. I agree to supply any relevant documentation that is required for the proper review of this application and I understand that any missing or incomplete information may delay the review process. By signing this I also authorize the City of Waukesha or its agents to enter upon my property for the purpose of reviewing this application.

Signed:  Date: 4/26/21



Estimated start date: JUNE 1, 2021

Estimated completion date: JUNE 30, 2021

I/We intend/have already applied for the state's preservation tax credits:  Yes  No  
Status: \_\_\_\_\_

Have you done any previous restoration or repair work on this property?

No  Yes If yes, what has been done?

KITCHEN  
\_\_\_\_\_  
\_\_\_\_\_

Are you aware of any significant alterations or restoration done by previous owners?

No  Yes If yes, what has been done?

\_\_\_\_\_  
\_\_\_\_\_

Are any further repairs or alterations planned for this building for the future?

No  Yes If yes, please describe:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**E. Criteria Checklist:**

**REQUIRED FOR ALL PROJECTS**

- Photographs of affected areas and existing conditions from all sides
- Historic plans, elevations or photographs (if available)
- Material and design specifications, including samples and/or product brochures/literature when appropriate

**REQUIRED FOR ALL PROPOSED NEW CONSTRUCTION, ADDITIONS, EXTERIOR ALTERATIONS, FENCING AND LANDSCAPING**

- Site and/or elevation plan – to scale (required for all new construction or proposed additions)

**REQUIRED FOR EXTERIOR PAINT WORK**

- Color samples (including brand of paint and product ID number) and placement on the structure

**REQUIRED FOR ALL LCP&R APPLICATIONS**

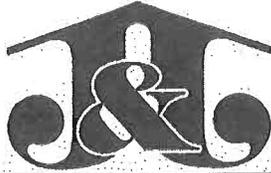
Provide a detailed cost estimate for these repair(s), based on the number of gallons of paint, the amount of lumber, or the number of panes of glass, etc. Be certain to separate material costs from labor. Include a written estimate(s) if available:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## **SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION OF HISTORIC PROPERTIES, APPLIED BY THE WAUKESHA LANDMARKS COMMISSION**

To receive a Certificate of Appropriateness, a rehabilitation project must be determined by the Landmarks Commission to be consistent with the historic character of the structure(s) and, where applicable, the district in which it is located. The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials or alteration of features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



**J&J CONTRACTORS I LLC**

6600 School Way, Greendale WI 53129  
414.423.9200 - 414.423.9201 fax

**Proposal No. #11792-A**

**April 19, 2021**

**Proposal Submitted:**

**Name:** Martha Ziegler  
**Address:** 200 Windsor Drive  
**City, State, Zip:** Waukesha, WI 53186  
**Phone:** 414.333.1956  
**Cell:**  
**Email:** [jjziegler@gmail.com](mailto:jjziegler@gmail.com)  
[Marthaziegler1229@gmail.com](mailto:Marthaziegler1229@gmail.com)

**Work to Be Performed at:**

Down Payment: \$ 10,821.50  
Date: 4.24.21  
Check #: 1636  
M.H.

**We hereby propose to furnish all materials and provide all labor for the following home improvement scope of work. Roof, Aluminum Seamless Gutters, EPDM Roofing & Railings. House & Garage**

**TOTAL: \$21,643.10 (Initial)**

- Secure all permits necessary
- J&J Contractors I LLC to comply with all OSHA safety regulations
- Remove and dispose existing asphalt shingles and underlayment on the entire house and garage to the roof deck below.
  - Note to take special care of any and all landscaping, decking, flower beds, ect
- Repair any rotted roof decking. (2) sheets of 4' X 8' OSB or (10ft.) of 1 x 's included in initial estimate. Any damaged wood beyond the initial allowance will incur a cost of \$82/per sheet of OSB or \$5.75/per linear foot of 1 x 's for any additional roof deck repairs.
- Re-sheet the entire roof area of the garage with new 7/16 OSB
- Install 6ft. of ice and water shield on the gutter lines, 3ft. around any penetration, and install ice and water shield up the walls that meet the siding on the entire house. Install 12 ft. of ice and water shield on the front low pitch area of the roof
- Continue with synthetic roof underlayment on the balance of the house
- Install new drip edge on all the gable ends of the house. Color-
- Install new "W" style prefinished galvanized steel valleys. Color-
- Install new pipe flashings and new Broan vents (If needed)
- Install CertainTeed self-sealing starter strip shingles on all gutter lines, gables, and valleys on the house and garage
- Fabricate and install new "cut-in" style chimney flashing. Wrap the base of the chimney with ice and water shield, install new step flashings. Fabricate and install new counter flashing, color to match.
- Reroof with CertainTeed Landmark Lifetime dimensional shingles. Color- *Weather Wood*
  - Shingles will be installed with a 5-nail pattern equaling 10 nails per shingle
  - Upgraded wind warranty for the Landmark's available upon request
- Install CertainTeed Shadow Ridge premium hip and ridge cap shingles
- Plug existing attic vents with wood. Cut and install approx. 67 linear feet of heavy-duty baffled ridge vent.
- Cut and install approx. 34ft. of edge vent on the back upper portion of the house

- CertainTeed 5 Star Extended Manufacturer's Warranty
- 25 Year Workmanship Warranty
- 50 Year Non-prorated shingle warranty transferable 1 time
- Cleanup and removal of all debris
- Roller magnet will be used around project site upon completion of work
- 5 Year Workmanship Warranty on all work performed.
- Remove and dispose of existing gutters and downspouts located on the house and garage
- Install new 5" aluminum seamless gutters on the house and garage. Color- *White*
- Ice and water shield to drape behind the existing gutter and in front of the fascia
- Install new 4" aluminum downspouts and ground extensions. *White*
- Install all new gutter apron and screw-in gutter brackets
- Apply matching caulk as needed
- Remove and dispose of the low slope membrane roof area on the back of the house and the wood railings
- Furnish and install new ½" hardboard insulation. Install new plates and screws
- Furnish and install new 60 MIL EPDM rubber roofing on the back low slope roof area
- New EPDM roofing will terminate around the sides and into the gutters located in that area
- Fabricate and install new flashings for the entire perimeter of the new low slope roofing system
- Install new 6" cover tape over the newly installed perimeter flashings
- Cut and install new wall flashing for the back low slope area of the roof. Flashing color to match as close as possible
- Furnish and install new AC2 treated 4" X 4" posts
- Furnish and construct a new AC2 treated wood railings to duplicate the existing look and profile of the existing railings currently in service
- Remove and dispose of existing wood soffit located in the front center of the house
- Install new LP Smart Side composite vented cedar grooved soffit paneling in the front center of the house. Approx. 13 linear feet. Color: *Color to match*
- Apply matching caulk as needed
- Cleanup and removal of all debris

Respectfully submitted by: Erik Hart



Signature: \_\_\_\_\_ Date \_\_\_\_\_

*All project quotes are valid for twenty-one days and may be withdrawn at any time at the discretion of J & J Contractors I LLC*

**ADDITIONAL PROJECT DETAILS – (Items apply where applicable)**

1. Load roof and secure all materials in a manner in conformance with the load bearing specifications of the roof support structure and structural integrity of the existing deck materials.
2. Inspect Roof for Water-Tightness each day before leaving the job site.
3. Inspect Roof upon completion by the onsite foreman.
4. Submit all Warranty information to customer to be submitted to manufacturer.
5. Walk and Inspect Roof Project with owner to ensure Full Satisfaction with Project Completeness and Cleanliness.
6. Upon completion of work all remaining materials are property of J & J Contractors I LLC.
7. There is a 5 Year Workmanship Warranty on all work performed.

**TERMS AND CONDITIONS:**

1. Project Start and Completion date shall be deemed approximate and shall be subject to delays caused by weather, acts of God, fires or other reasons not under the control of J & J Contractors I LLC, the Contractors, including the availability of materials. Estimated start date will be given upon receiving a signed contract:  
\_\_\_\_\_ Work will be completed within \_\_\_\_\_ week of project start date unless otherwise noted in this contract. Completion timeframe is subject to delays as noted within this paragraph.
2. J & J Contractors I LLC will obtain all permits required for described work.
3. Customer agrees that any adjustment shall not be cause for failure to make payment of the full purchase price. Any failure of the Customer to make payments as called for in this agreement shall allow Contractor to stop working without a penalty.
4. Customer agrees to remove or protect any personal property inside and outside the Site. Contractor shall take reasonable efforts to avoid damage to existing property and in such event shall not be responsible for damage to Owner's property, including existing walks, concrete steps, driveways, curbs, septic tanks, sewer lines, water or gas lines, telephone or electric lines, lawn, shrubs, trees, and other interior and exterior plantings or vegetation, whether caused in whole or in part by the Contractor, its employees or subcontractors, or their suppliers in the performance of work or in the delivery of materials to the Site.
5. **Payment Terms:** Payments are to be made as follows: 50% due upon signing of contract and balance due upon completion of work. If a credit card is used as payment, a 3% fee will be applied. Lien waiver and warranty information will be submitted upon receiving final payment.
6. As required by Wisconsin construction Lien Law, the Contractor hereby notifies the Customer that companies furnishing materials or labor for construction on the Customer's land may have lien rights on the Customer's land and building if they are not paid. Those entitled to lien rights, including the undersigned Contractor, are those who directly contract with the Customer or those who give the Customer notice within thirty (30) days after they first furnish materials or labor for the construction.
7. Any delays in payment shall be subject to the interest rate of 18% per annum and in no event higher than the rates provided by law. If the Contractors incur any attorney's fees and cost in collecting any provision of this Agreement, the Customer shall be responsible for all actual attorney's fees and costs.
8. Customer provided with Wisconsin's "Right to Cure" Law Brochure.
9. This agreement sets forth the entire agreement between the parties. All changes to the agreement shall be made by separate document.

**Wis. Stat. 779.02 is as follows:**

**"AS REQUIRED BY THE WISCONSIN CONSTRUCTION LIEN LAW, CLAIMANT HERBY NOTIFIES OWNER THAT PERSONS OR COMPANIES PERFORMING FURNISHING, OR PROCURING LABOR, SERVICES, MATERIALS, PLANS, OR SPECIFICATIONS FOR THE CONSTRUCTION ON OWNER'S LAND MAY HAVE LIEN RIGHTS ON OWNER'S LAND AND BUILDINGS IF NOT PAID. THOSE ENTITLED TO LIEN RIGHTS, IN ADDITION TO THE UNDERSIGNED CLAIMANT, ARE THOSE WHO CONTRACT DIRECTLY WITH THE OWNER OF THOSE WHO GIVE THE OWNER NOTICE WITHIN 60 DAYS AFTER THEY FIRST PERFORM, FURNISH, OR PROCURE LABOR, SERVICES, MATERIALS, PLANS OR SPECIFICATIONS FOR THE CONSTRUCTION. ACCORDINGLY, OWNER PROBABLY WILL RECEIVE NOTICES FROM THOSE WHO PERFORM, FURNISH, OR PROCURE LABOR, SERVICES, MATERIALS, PLANS, OR SPECIFICATIONS FOR THE CONSTRUCTION, AND SHOULD GIVE A COPY OF EACH NOTICE RECEIVED TO THE MORTGAGE LENDER, IF ANY. CLAIMANT AGREES TO COOPERATE WITH THE OWNER AND THE OWNER'S LENDER, IF ANY, TO SEE THAT ALL POTENTIAL LIEN CLAIMANTS ARE DULY PAID."**

**NOTICE OF CANCELLATION:** The purchaser and J & J Contractors I LLC have the option to cancel this Agreement at any time for any reason within three (3) business days from the date of this Agreement in writing. In the event of cancellation of this agreement by the owner thereafter, Contractors shall receive immediate reimbursement from the owner for all expenses incurred to that date.

Sign here if you want to cancel \_\_\_\_\_ Date \_\_\_\_\_

**Customer Submitted:**

*Martha Ziegler*  
200 Windsor Drive  
Waukesha, 53186

**Addendum A: 2013 WISCONSIN ACT 24**

Please indicate whether, to the best of your knowledge, the work contemplated by this contract is related to a claim under a property insurance policy:

\_\_\_\_\_ YES, to the best of my knowledge, the work contemplated by this contract is related to a claim under a property insurance policy.

\_\_\_\_\_ NO, to the best of my knowledge, the work contemplated by this contract is not related to a claim under a property insurance policy.

Date: \_\_\_\_\_

Customer's signature: \_\_\_\_\_

Residential contractor's signature:



You may cancel this contract at any time before midnight on the third business day after you have received written notice from your insurer that the claim has been denied in whole or in part under the property insurance policy. See the attached notice of cancellation form for an explanation of this right.

**NOTICE OF CANCELLATION**

If you are notified by your insurer that the claim under the property insurance policy has been denied in whole or in part, you may cancel the contract by personal delivery or by mailing by 1st class mail a signed and dated copy of this cancellation notice or other written notice to (name of contractor) at (contractor's business address) at any time before midnight on the third business day after you have received the notice from your insurer. If you cancel the contract, any payments made by you under the contract, except for certain emergency work already performed by the contractor, will be returned to you within 10 business days following receipt by the contractor of your cancellation notice.

**I CANCEL THIS CONTRACT**

Date: \_\_\_\_\_

Customer's signature: \_\_\_\_\_

**COVID-19 Updates:** In order to help reduce the increased spread of COVID-19, options for accessing our headquarters building have changed. [Click here for more information.](#)




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## PROPERTY RECORD

# 200 WINDSOR DR

## Architecture and History Inventory

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1928.  200 WINDSOR DR, a Tudor Revival house, built in Waukesha, Wisconsin in 1928.

 200

### NAMES

Historic Name: **Andrew S. Cronk House**

Other Name: **Mrs. Edith B. Hofman House**

Contributing: **Yes**

Reference Number: **94420**

### PROPERTY LOCATION

Location (Address): **200 WINDSOR DR**

County: **Waukesha**

City: **Waukesha**

Township/Village:

Unincorporated Community:

Town:

Range:

Direction:

Section:

Quarter Section:

Quarter/Quarter Section:

## PROPERTY FEATURES

Year Built: **1928**

Additions:

Survey Date: **1986**

Historic Use: **house**

Architectural Style: **Tudor Revival**

Structural System:

Wall Material: **Stone - Unspecified**

Architect: **William Keller**

Other Buildings On Site:

Demolished?: **No**

Demolished Date:

## DESIGNATIONS

National/State Register Listing Name: **Caples' Park Historic District**

National Register Listing Date: **3/17/1988**

State Register Listing Date: **1/1/1989**

National Register Multiple Property Name:

## NOTES

**Additional Information:**

**Bibliographic References:**

## RECORD LOCATION

**Wisconsin Architecture and History Inventory, State Historic Preservation Office, Wisconsin Historical Society, Madison, Wisconsin**

### Have Questions?

If you didn't find the record you were looking for, or have other questions about historic preservation, please email us and we can help:

**[leah.penzkover@wisconsinhistory.org](mailto:leah.penzkover@wisconsinhistory.org)**

If you have an update, correction, or addition to a record, please include this in your message:

- AHI number
- Information to be added or changed
- Source information

Note: When providing a historical fact, such as the story of a historic event or the name of an architect, be sure to list your sources. We will only create or update a property record if we can verify a submission is factual and accurate.

## How to Cite

For the purposes of a bibliography entry or footnote, follow this model:

### **Wisconsin Architecture and History Inventory Citation**

Wisconsin Historical Society, Wisconsin Architecture and History Inventory, "Historic Name", "Town", "County", "State", "Reference Number".

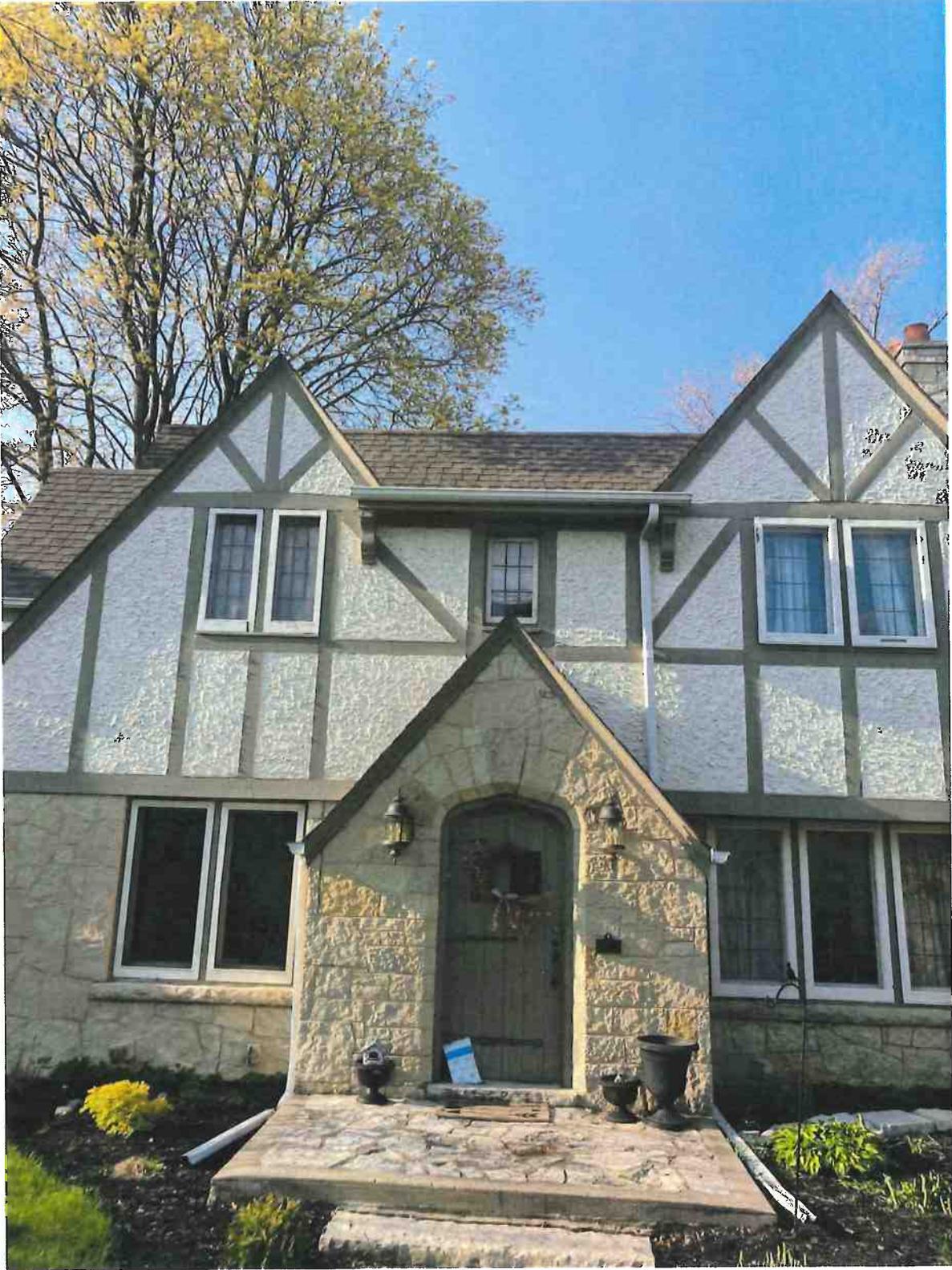
## RESOURCE DESCRIPTIONS

### **About the National Register and State Register of Historic Places**

All Wisconsin National Register of Historic Places listings are searchable on our website.

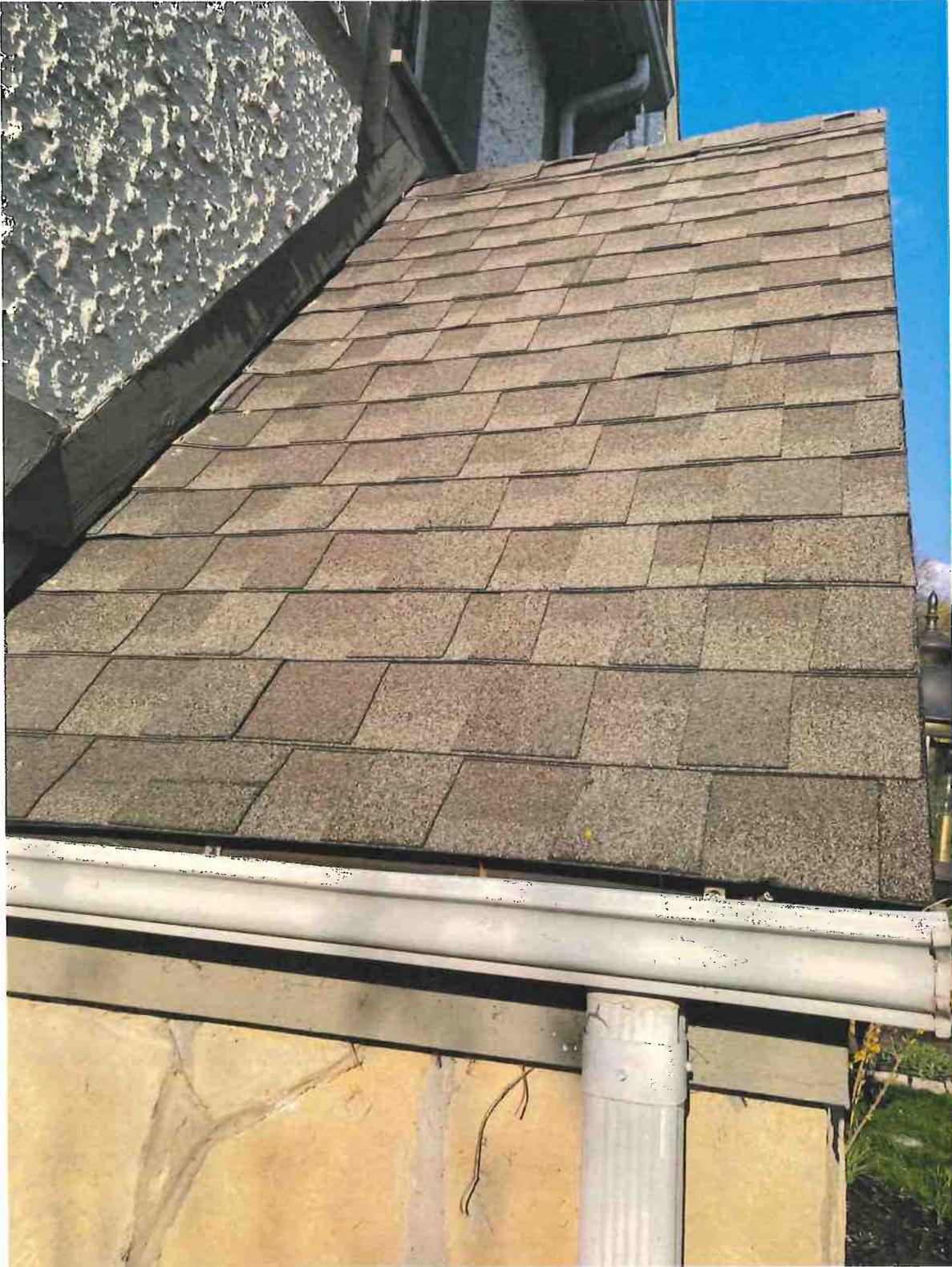
### **About Our Wisconsin Architecture and History Inventory**

200 Windsor Drive, Waukesha, WI 53186



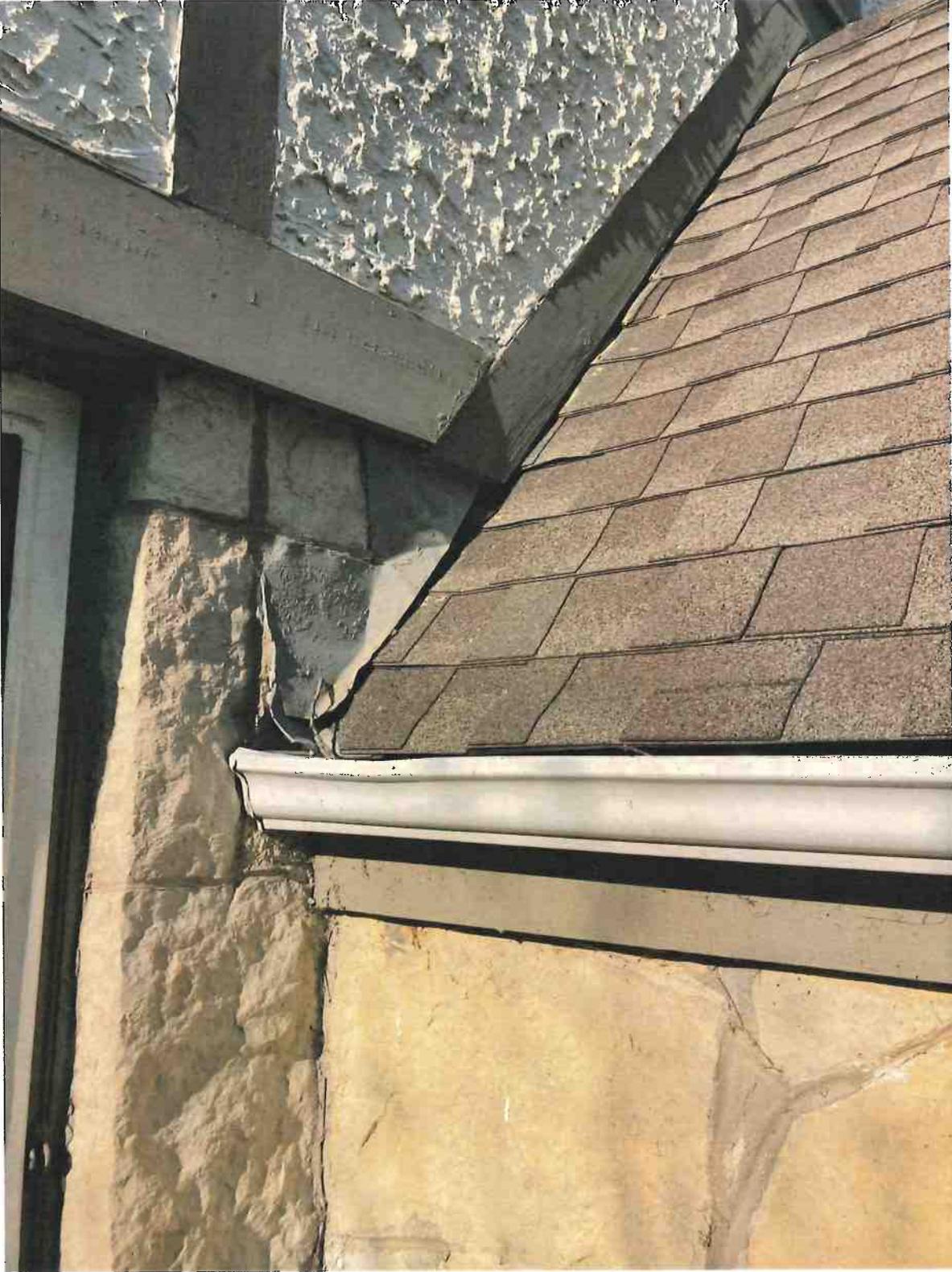
House: 200 Windsor Drive

200 Windsor Drive, Waukesha, WI 53186



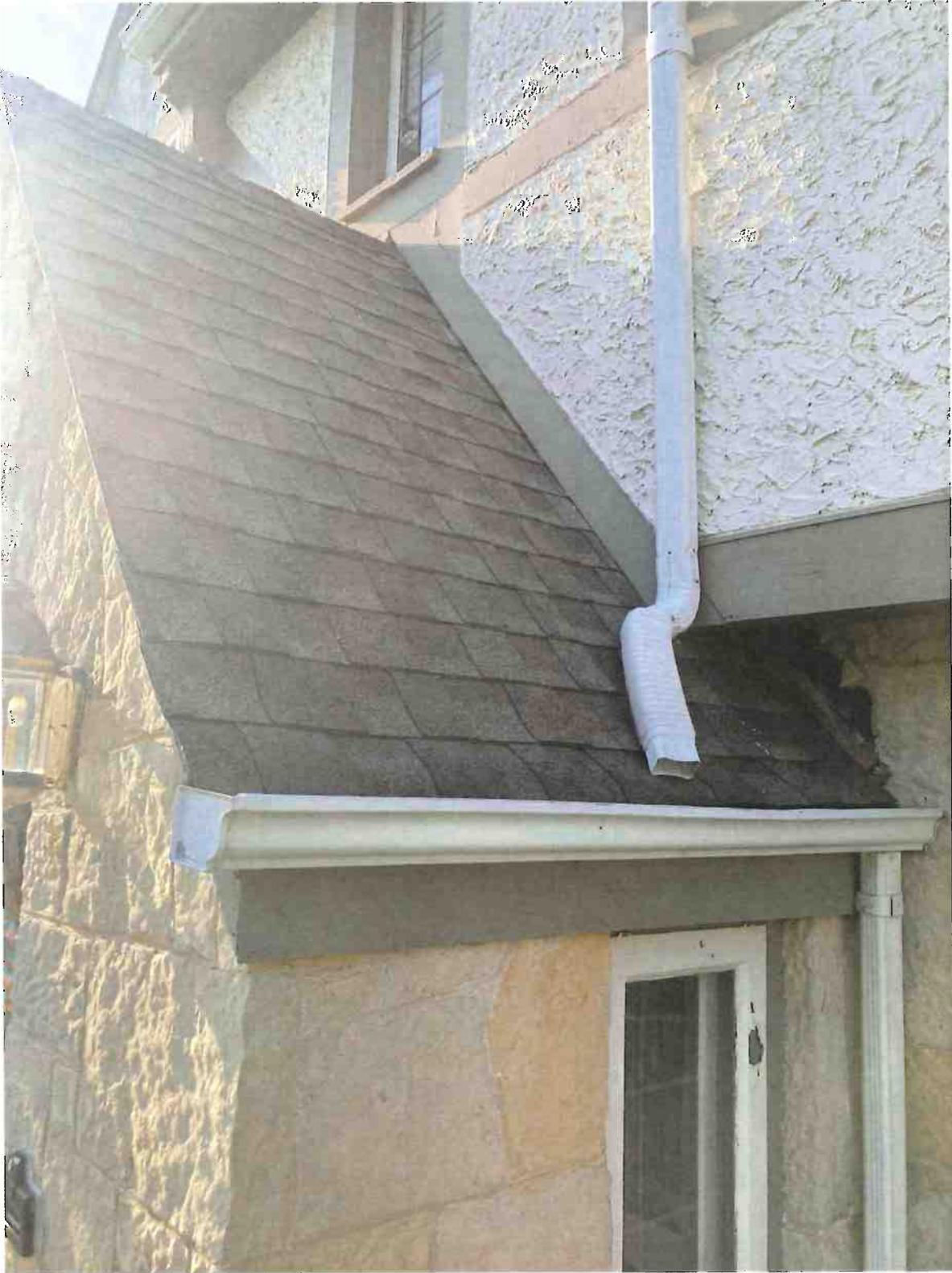
House Roof / Gutter

200 Windsor Drive, Waukesha, WI 53186



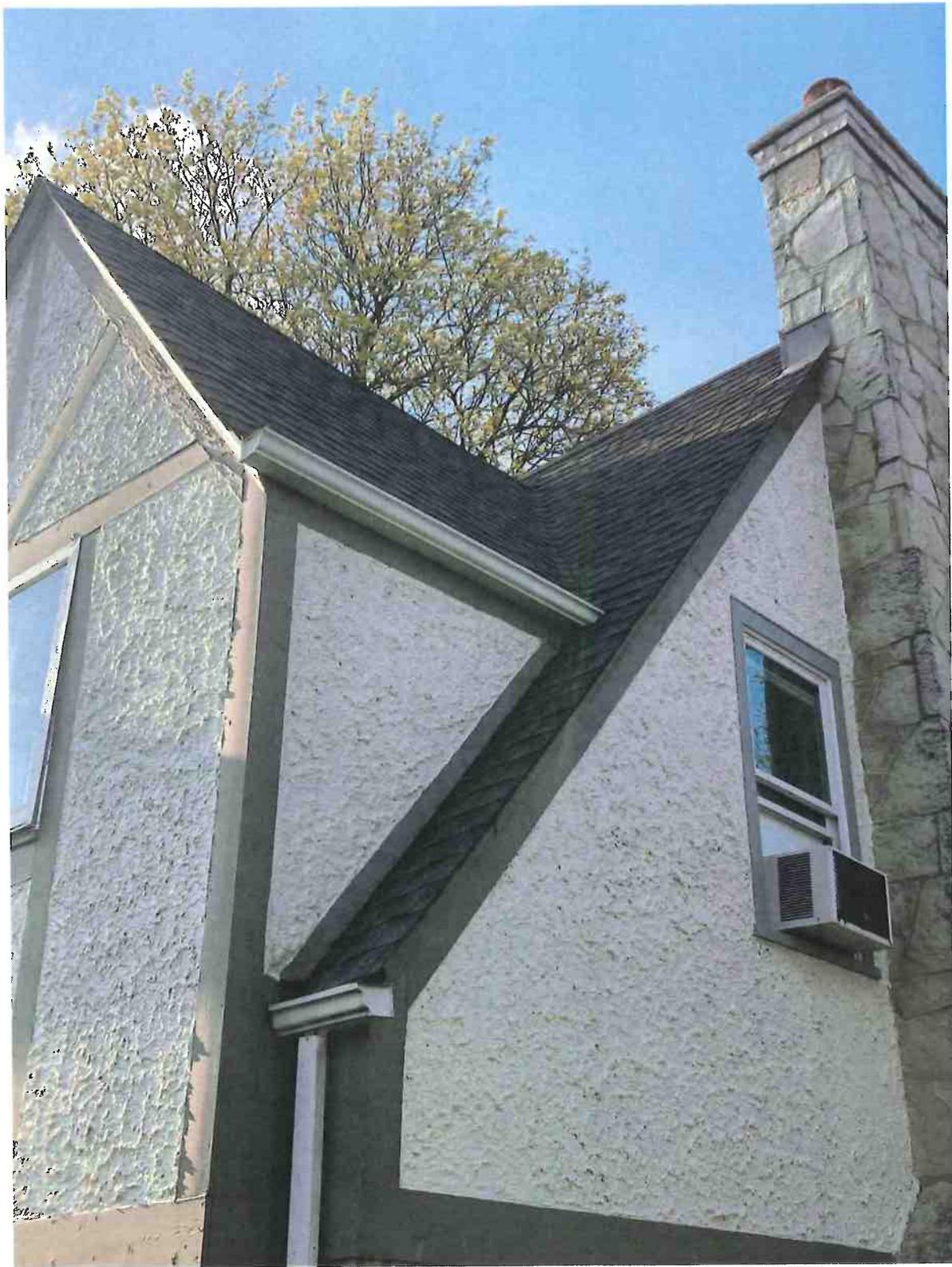
House Roof

200 Windsor Drive, Waukesha, WI 53186



House Roof / Gutters

200 Windsor Drive, Waukesha, WI 53186



House Roof - East

200 Windsor Drive, Waukesha, WI 53186



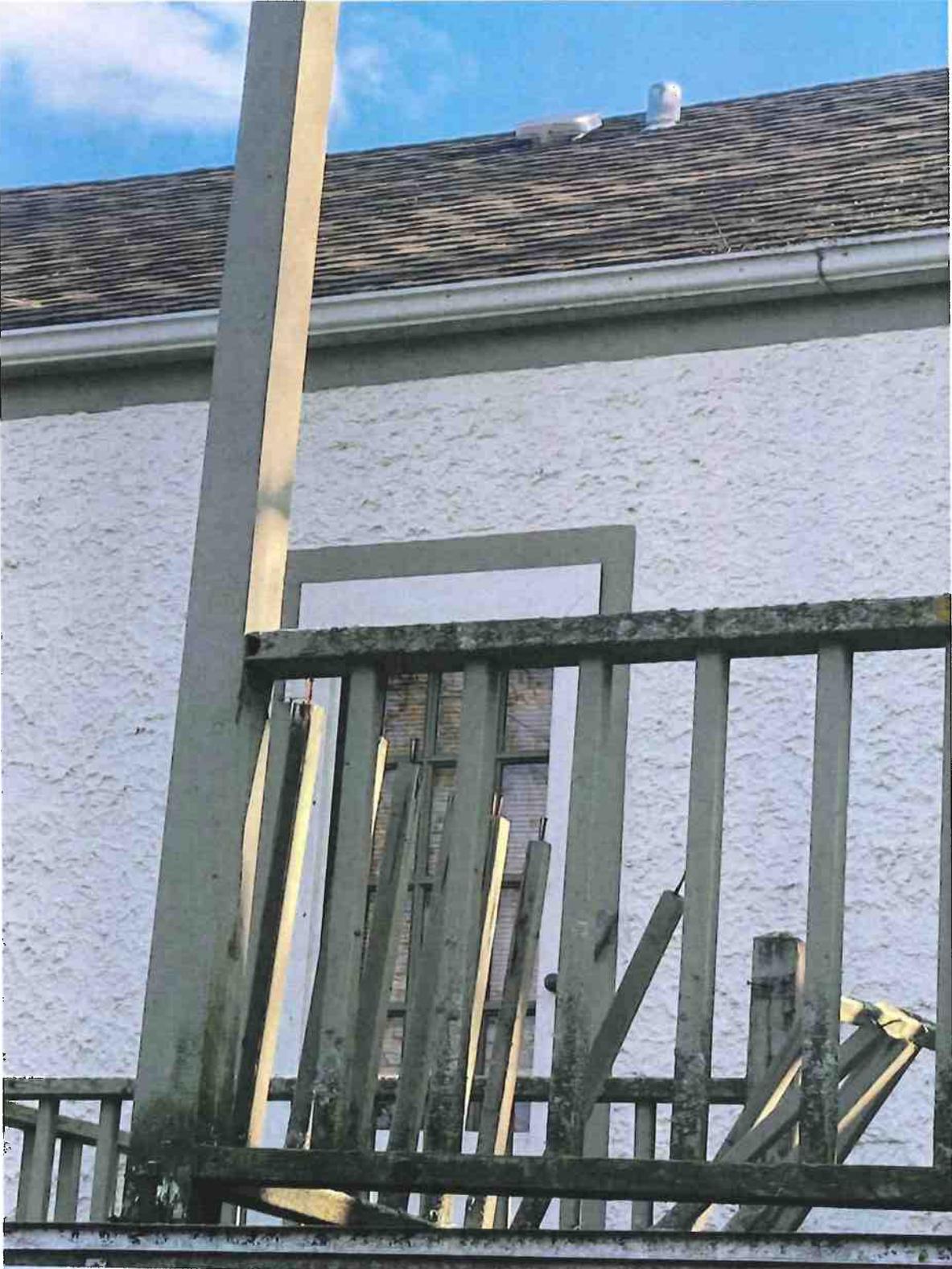
House Roof / Gutter (Rear)

200 Windsor Drive, Waukesha, WI 53186



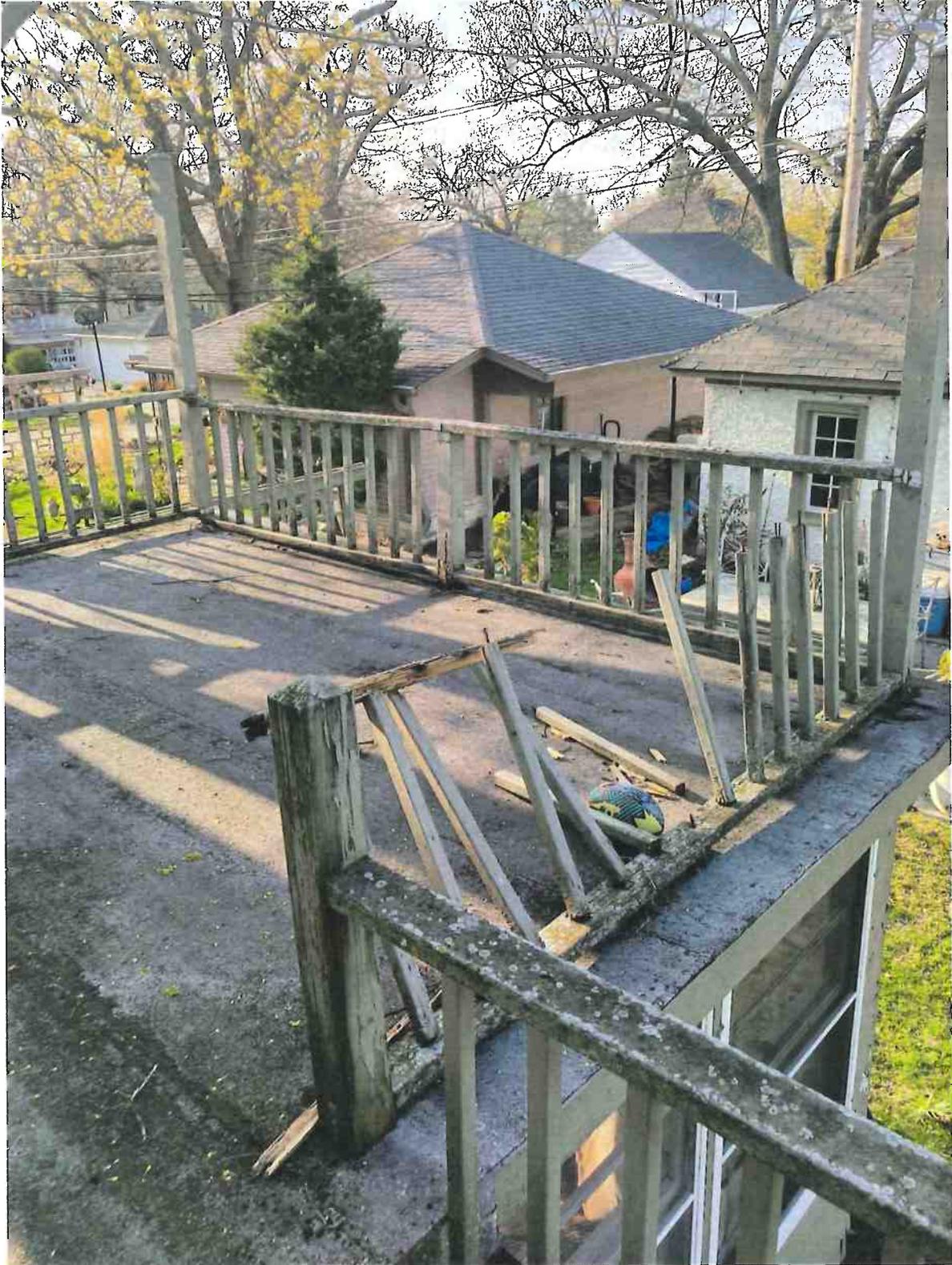
Porch Roof / Railing

200 Windsor Drive, Waukesha, WI 53186



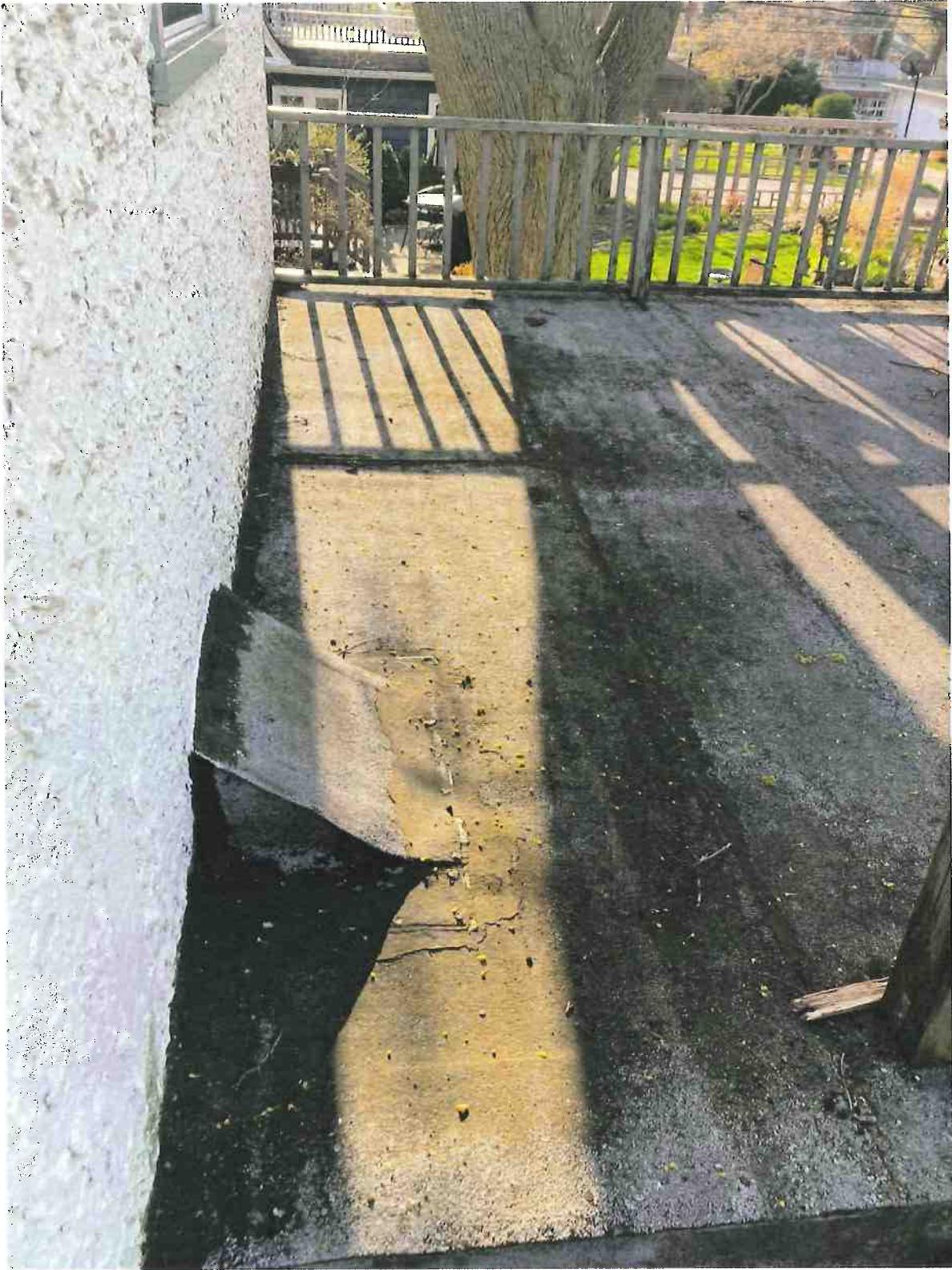
House Roof / Porch Railing

200 Windsor Drive, Waukesha, WI 53186



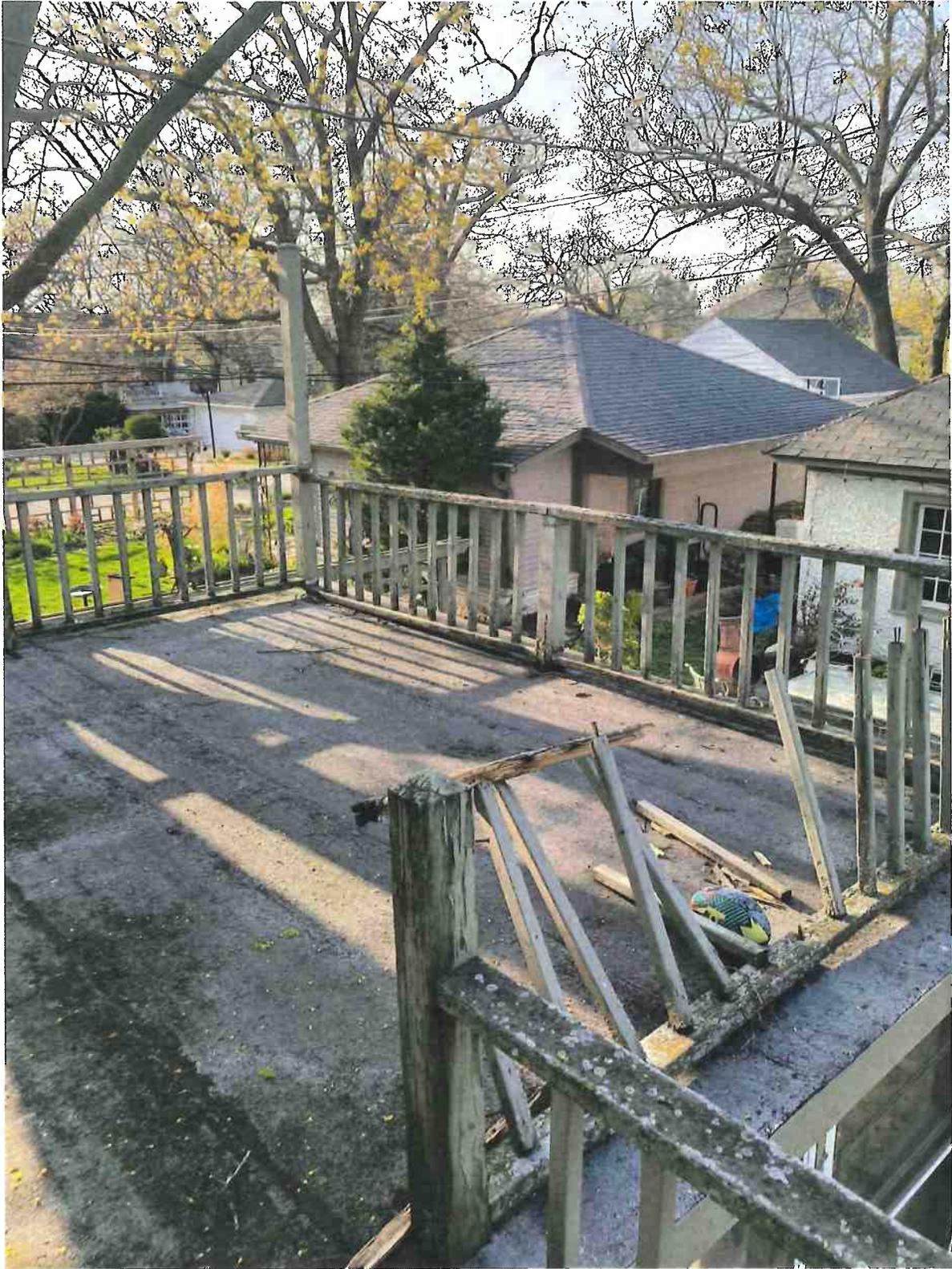
Porch Roof / Railing

200 Windsor Drive, Waukesha, WI 53186



Porch Roof / Railing

200 Windsor Drive, Waukesha, WI 53186



Porch Roof / Railing

200 Windsor Drive, Waukesha, WI 53186

# Garage



200 Windsor Drive, Waukesha, WI 53186



Garage



Georgetown Gray



Weathered Wood



Pewter



Moire Black



Resawn Shake



Cottage Red