

7/25/2025

Josh Meyerhofer, P.E., Senior Project Engineer  
MSA Professional Services, Inc.  
220 E. Buffalo Street  
Milwaukee, WI 53202

Re: **Bridge Church Addition**  
1314 S. Grand Ave  
City of Waukesha, WI  
PEG Job No. 6112.00-WI

Josh,

This letter is in response to the review comments in the letter dated July 15, 2025 and the accompanying TRAKiT notes. The original comments are presented in black text referenced to the original comment number followed by the Pinnacle response in *RED Italics*.

**General**

1. Issuance of All Engineering Requirements Met Concurrence Letter is required prior to application for & issuance of Building Permit. Items required for issuance of the Concurrence Letter include:
  - a. Final site plans with all engineering comments addressed  
*Understood*
  - b. Recorded CSM  
*Understood*
  - c. WisDNR WRAPP Permit/NOI, and NOI for fill site, if disturbance over 1-acre (current layout shows slightly less than 1-acre)  
*Understood, the intent is to keep disturbance below 1-acre*
  - d. Financial Guarantees  
*Understood*
  - e. Payment of Impact Fees  
*Understood*
  - f. Recorded Developer's Agreement  
*Understood*
  - g. Recorded Stormwater Maintenance Agreement (current layout shows slightly less than 1-acre)  
*Understood, the intent is to keep disturbance below 1-acre which would not require stormwater management.*
2. Depending on the final design, the below listed permits or approvals may be needed. Please submit digital copies of permits to City for filing prior to starting construction.
  - City of Waukesha Storm Water Erosion Control Permit if disturbance over 3,000 sf  
*A City of Waukesha Stormwater and Erosion Control Permit Application has been included with this submittal.*
  - a. City of Waukesha – Engineering Division Construction Permit for all RW work.  
*A City of Waukesha permit for work in the right-of-way will be coordinated prior to construction*
  - b. Applicable sewer connection charges per Chapter 29.11(c) will be owed to the City for this project. Coordinate with Waukesha Water Utilities.  
*Sewer connection charges will be coordinated prior to construction.*
3. The construction drawings, and financial guarantees should be reviewed and approved prior to the construction being started and building permit issued. If the location of any work needs to be changed as a result of the approved construction drawings, the drawings should be updated to reflect the needed changes.  
*Understood*

4. In accordance with Wisconsin Administrative Code A-E 2.02(4): Each sheet of plans, drawings, documents, specifications and reports for architectural, landscape architectural, professional engineering, design or land surveying practice should be signed, sealed, and dated by the registrant or permit holder who prepared, or directed and controlled preparation of, the written material.  
*Understood*
5. Submit copy of geotechnical report. Confirm elevation of water table on site  
*A copy of the geotechnical report has been included with this submittal.*
6. Add a note that all work within the City right of way and City easements to be in accordance with current City Standard Specifications and details.  
*A note has been added to the plans on Sheet C-2.*
7. Review all City sidewalk adjoining the property limits with a City Engineering representative. If the sidewalk meets replacement criteria due to cracking, missing pieces, or displacement, then the sidewalk will need to be removed and replaced.  
*The adjoining sidewalk will be reviewed by the owner's representative and noted on the plans accordingly.*
8. The existing parcel has a sanitary sewer lateral connecting the City's sewer main. Please provide a pre and post construction sewer lateral video to City for review and approval. Contact the City Engineering Department for the video format. If lateral maintenance is needed, then the lateral improvements may need to be included as part of this project. The lateral pipe and connection to the main may need to be lined or relayed to reduce infiltration into the City's sanitary sewer system or improve the structural integrity.  
*Understood*
9. Add note: Notify City Engineering Dept. 5 days prior to work in City right of way.  
*This note has been added to the demolition and clearing notes on Sheet C-1 and general notes on Sheet C-2.*
10. Add note to drawings: Limits of final City Street pavement and curb and gutter removal and replacements to be marked by City Engineering staff in field.  
*This note has been added to Sheet C-1 and Sheet C-2.*
11. Show accessible ADA route from ADA parking spot to building entrance.  
*The ADA route will not be changed in this building addition. No ADA stalls are proposed to be adjacent to the new building addition. The intent is for the ADA stalls to utilize the same entrance as they currently utilize.*
12. See all other comments included in TRAKiT software response.  
*The plans have been revised to incorporate the review comments listed in the TRAKiT software.*
13. Horizontal datum should be updated to NAD 1983/2011. See Existing Condition Survey, and City design guidelines.  
*The survey is in the correct City Datum. Benchmark information has been added to Sheet C-1.*
14. Submit all required checklists for Development Submittals. See City's Development Handbook.  
*All checklists have been included in this submittal.*
15. Verify limits of disturbance & measurements match throughout plan set. Appears to be discrepancies between pages.  
*Understood, limits of disturbance have been coordinated throughout the plan set.*
16. This site is located adjacent to the West Avenue Landfill. Included in this review are several documents noting the extents of the landfill as well as existing features associated with the landfill.  
*Understood*
17. It should be noted that additional geotechnical investigation or remediation may be needed for the proposed addition. WIDNR has required agreements & deed restrictions on many properties surrounding the landfill including subsurface gas venting systems under surrounding buildings.

*WDNR correspondence and geotechnical investigation have been provided via email on 7/16/2025.*

18. Provide City with all DNR permits required.

*WDNR correspondence has been provided via email on 7/16/2025*

19. The City has an easement over a portion of the Church's parking lot for public use.

*Understood, this easement will remain and the parking area where the easement exists is not included within the proposed improvements.*

20. Agreements are included in the documents included with some information included below:

- a. "Due to the potential for toxic or explosive conditions from gas formation, s. NR 504.07(8) Wis. Adm. Code, prohibits the establishment or construction of any building on abandoned landfills except where approval has been granted by the WDNR through a written variance. Gas vents, methane alarms, interception trenches, vapor barriers and other features may be required before the WDNR agrees to issue approval for construction on the Property."

*WDNR correspondence has been provided via email on 7/16/2025.*

- b. "The property owner is required to obtain the prior written consent of the WDNR to excavate in areas on the property where waste is present and take all reasonable precautions with respect to excavation activities to the extent specified by the WRNR."

*WDNR correspondence has been provided via email on 7/16/2025.*

#### Sheet C-1

21. Update index sheet to match sheet numbering

*The index has been updated to incorporate the L-1.1 sheet.*

#### Sheet C-2

22. Total Disturbance Area is listed within ~3,000 sf and Total Site Disturbance is within ~1,740 sf of the 1-acre threshold which requires a SW permit through WI DNR & City of Waukesha for stormwater permit.

*Understood*

23. Plans should clearly note the difference between Total Disturbance Area & Total Site Disturbance to ensure contractors recognize the limitations so as not exceed allowable area.

*Understood*

24. Proposed conditions add 0.28 AC of impervious area, which is under the 0.5 AC threshold requiring SW permit through the City of Waukesha.

*Understood*

25. Any increase in impervious area of additional disturbance which pushes the development over these threshold will require a stormwater management plan and BMPs to be implemented.

*Understood*

26. Clarify direction of curb tapers, recommend showing "C" between western curb taper labels to clarify they are not flush throughout.

*Clarification has been added to the plans.*

#### Sheet C-3

27. Storm piping within ROW shall be RCP.

*Understood, piping has been updated to RCP in the ROW.*

28. Grading shown outside disturbance limits

*Understood, grading has been updated.*

29. Details show curb taper as 4'. Spot grades appear to show 8' to 10' curb taper.

*Understood, plans have been updated.*

30. If proposing curb ramp at NE corner of addition, include detectable warning field. Recommend pedestrian crossing signage at this location for incoming traffic view blocked by building.

*Understood, the site plan has changed and driveway has been removed in this area. This is not an ADA route.*

31. Show centerline elevation at ridgeline. Provide additional centerline grades if slope is not consistent

to CB2 & CB 3.

*Understood, plans have changed and no driveway is between the buildings.*

32. 12" storm pipe within ROW shall be RCP.

*Storm within the ROW has been updated to RCP.*

33. 18" pipe only has 1.4' of cover. City ordinances require 3' storm sewer cover.

*Understood, per conversations at comment review meeting this condition exists and design will be acceptable.*

34. Grading is shown outside of limits of disturbance on south side of building. Disturbance is right at threshold of SW permitting. Confirm actual disturbance.

*Grading has been updated.*

35. Label 18" pipe within ROW is RCP.

*Storm within the ROW has been updated to RCP.*

36. Connection of 18" RCP to existing 27" RCP is not labeled with a structure. Provide detail for connection. Assumed that new storm manhole will be required.

*A structure has been added in this location and details have been added.*

37. See SWMP comments. Dual inlets may be required.

*Plans have been revised to eliminate the driveway and provide overland relief in this area. Analysis notes that dual inlets are not required.*

#### **Sheet C-4**

38. Provide inlet protection on the east side of S. Grand Ave.

*Inlet protection has been added to the east side of S. Grand Ave.*

#### **Storm Water**

39. Provide inlet calculations 3.1.7.2 Developers Handbook. Included ponding spread for 1, 2, 10 & 100-year events.

40. Clarify the intent of 855.70 contour line on the exhibit. Intent appears to be ponding depth for the internally drained watershed along S. Grand Ave; however, exhibit suggests the ponding elevation may be higher.

*855.70 is the finished floor of the existing and proposed building. The site plan has been redesigned to provide overland flow relief at an elevation of 854.60.*

41. Provide spot elevations to determine existing ponding area and overland flow route.

*Spot elevations have been added to the plan for the overland flow route.*

42. Show overland relief route in the existing and proposed conditions.

*Overland flow arrows have been added to the plan.*

43. It appears proposed overland relief is at a lower elevation and will travel along the proposed drive entrance. Particularly once centerline spot elevation is provided and if depressed flow line is continued to the high point.

*The site plan has been revised and overland flow occurs through a new grass swale.*

44. Once an overland relief route is established, determine ponding extents prior to utilizing.

*Ponding extents have been analyzed and a memo has been provided with this resubmittal.*

45. Provide pipe flow calculations of existing & proposed conditions for the 27" storm main on Grand Ave.

*Pipe flow calculations have been provided with this resubmittal.*

46. Recommend upsizing RD 2 diameter

*RD 2 has been updated based on recommendations.*

47. Provide roof scupper/emergency overflow locations for larger events.

*Understood*

**TRAKiT Comments****Erosion Control**

1. Extend silt fence along S Grand Ave going South and toe it to the building to reduce runoff.  
*Silt fence has been extended along Grand Ave through the limits of disturbance and returns to the building.*
2. Extend construction entrance going west.  
*The construction entrance has been relocated due to site plan updates.*
3. Obtain City of Waukesha Erosion Control Permit by contacting Rob Wheeler.  
*Understood*

**Sanitary Sewer**

1. The plans do not show any existing or proposed sanitary sewer facilities  
*Existing sanitary laterals have been added per plan based on the City of Waukesha Sanitary and Storm sewer map.*
2. If the lateral for 1312 S Grand is to be reused, it shall be inspected with a sewer video camera. The video shall be reviewed by the City Engineering Department and any defects requiring repairs shall be made by the owner. If the lateral will not be reused, it shall be abandoned at the mainline sewer.  
*Understood*
3. Sewer lateral video. The existing building has a sanitary sewer lateral connecting the City's sewer main. Please provide a sewer lateral video to City for review and approval. Contact the City Engineering Department for the video format. If lateral maintenance is needed, then the lateral improvements may need to be included as part of this project. The lateral pipe and connection to the main may need to be lined or relayed to reduce infiltration into the City's sanitary sewer system or improve the structural integrity.  
*Understood*
4. A record drawing of the sanitary/storm sewer facilities sealed by a professional engineer or registered land surveyor shall be submitted to the Engineering Division and at a minimum include:
  - a. Rim/cover elevation
  - b. Invert elevation
  - c. Distances
  - d. Slopes
  - e. Materials
  - f. Contractor
  - g. Installation dates (month and year completed)
  - h. Any notes related to major field changes (ie additional/deleted structures, etc)
  - i. Signed and sealed by a professional engineer or registered land surveyor
  - j. Autocad drawing for importing into GIS
    - A redlined copy of the plans with the proposed information crossed out and the actual information next to it is acceptable and helps the review process
    - A video of the completed sanitary lateral from the building to the mainline sewer shall be submitted to the Engineering Division

*Understood***Engineering Construction**

All work in the ROW will require permits and inspection. Contact Mat Vincent ([mvincent@waukesha-wi.gov](mailto:mvincent@waukesha-wi.gov)) for inspection and to obtain permits. 24-hr notice will need to be given prior to inspection.

Trenches made in the roadway will have to be permanently repaired immediately after work is completed in the roadway.

*Understood***Planning**

1. The landscape plan should identify trees to be removed by size and species and incorporate replacements into the landscape plan around the site.  
*Tree removals and replacements have been added to the landscape plan.*

2. East and west elevations appear to be switched around or mislabeled.  
*The elevations have had labeling updated to reflect the views.*
3. Details of the trash enclosure are required. Be sure the unit is large enough to handle all trash dumpsters and recyclables kept outside on the site.  
*Details of the trash enclosure have been provided with this submittal.*
4. Provide dimensional details for the size and setback for the proposed patio and decorative wall.  
*Additional details for the proposed patio have been provided with this submittal.*
5. Provide dimensions for the addition along with the overall building dimensions.  
*Dimensions have been added for the addition.*

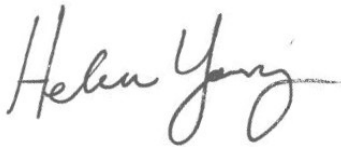
**Water Utility**

1. You will need to fill out a water lateral application that can be found on our website. All fees must be made prior to WWU making the tap.  
*Understood*
2. WWU will make the tap and provide the tapping sleeve, valve, and valve box. Contractor responsible for excavation, trench shoring, and means to lower parts into the ditch.  
*Understood*
3. You will need to abandon the existing 1" copper service at the water main by turning the corp off and capping the line.  
*Understood, a note has been added to the plan.*

If you have any questions on the information contained within, please do not hesitate to contact me at 262-754-8822 or via email at [hyoung@pinnacle-eng.com](mailto:hyoung@pinnacle-eng.com).

Thank you for your time in this matter.

Best Regards,  
Pinnacle Engineering Group



Helen Young  
Project Engineer | Landscape Designer

Cc: Brandon Schwenn, City of Waukesha  
Ehan Whitney, Groth Design Group