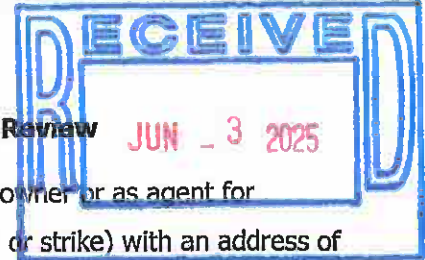


12:55PM - In person

**CITY OF WAUKESHA
2025 ASSESSMENT YEAR**



Notice of Intent to File Objection with Board of Review

I, RONALD D ARNOLD (Insert name) as the property owner or as agent for
_____ (Insert property owner's name or strike) with an address of

720 E. St Paul Ave, WAUKESHA hereby give notice of intent to file an
objection on the assessment for the following property: 720 E St, Paul Ave

(Insert address of subject property) with the parcel or tax ID number WAKC 1305,159,000 for the 2016
Assessment Year in the City of Waukesha.

Contact Information: Phone Number 414/801-6563 Fax Number 414/425-6563

THIS NOTICE OF INTENT IS BEING FILED: (please mark one)

- ☒ At least 48 hours before the Board's first scheduled meeting
☐ During the first two hours of the Board's first scheduled meeting (please complete Section A)
☐ Up to the end of the fifth day of the session or up to the end of the final day of the session if the session is less than five days (please complete Section B)

FILING OF THIS FORM DOES NOT RELIEVE THE OBJECTOR OF THE REQUIREMENT OF TIMELY FILING A FULLY COMPLETED WRITTEN OBJECTION ON THE PROPER FORM WITH THE CLERK OF THE BOARD OF REVIEW.

Ronald P. Arnold (signed) if WRITTEN Received by: _____
6/3/25 (date) Check here if ORAL _____ On (date): _____

Section A: The Board of Review shall grant a waiver of the 48-hour notice of an intent to file a written or oral objection if a property owner who does not meet the notice requirement appears before the Board during the first two hours of the meeting, SHOWS GOOD CAUSE FOR FAILURE TO MEET THE 48-HOUR NOTICE REQUIREMENT AND FILES A WRITTEN OBJECTION. My good cause is as follows:

Section B: The Board of Review may waive all notice requirements and hear the objection even if property owner fails to provide written or oral notice of an intent to object 48 hours before the first scheduled meeting, and fails to request a waiver of the notice requirement during the first two hours of the meeting, if the property owner appears before the Board at any time up to the end of the fifth day of the session or up to the end of the final day of the session if the session is less than five days, and FILES A WRITTEN OBJECTION AND PROVIDES EVIDENCE OF EXTRAORDINARY CIRCUMSTANCES. Proof of my extraordinary circumstances is as follows:

A WRITTEN OBJECTION ON THE PROPER FORM MUST BE PROPERLY FILED WITH THE CLERK OF THE BOARD OF REVIEW NO LATER THAN WEDNESDAY JUNE 4, 2025 AT 9:00AM.

Objection to Real Property Assessment

To file an appeal on your property assessment, you must provide the Board of Review (BOR) clerk written or oral notice of your intent, under state law (sec. 70.47(7)(a), Wis. Stats.). You must also complete this entire form and submit it to your municipal clerk. To review the best evidence of property value, see the Wisconsin Department of Revenue's Guide for Property Owners.

Complete all sections:

Section 1: Property Owner / Agent Information				* If agent, submit written authorization (Form PA-105) with this form.			
Property owner name (on changed assessment notice) RONALD P ARNOLD				Agent name (if applicable) NA			
Owner mailing address 11899 PARKVIEW LN				Agent mailing address			
City HALES CORNERS	State WI	Zip 53130	City	State	Zip		
Owner phone (414) 801-6563		Email ronarnold32@hotmail.com		Owner phone		Email	
Section 2: Assessment Information and Opinion of Value							
Property address 720 E. St Paul				Legal description or parcel no. (on changed assessment notice)			
City Waukesha	State WI	Zip 53189	1305,159,000				
Assessment shown on notice - Total \$568,000				Your opinion of assessed value - Total 325,000			


If this property contains non-market value class acreage, provide your opinion of the taxable value breakdown:

Statutory Class	Acres	\$ Per Acre	Full Taxable Value
Residential total market value			
Commercial total market value			
Agricultural classification: # of tillable acres	@	\$ acre use value	
# of pasture acres	@	\$ acre use value	
# of specialty acres	@	\$ acre use value	
Undeveloped classification # of acres	@	\$ acre @ 50% of market value	
Agricultural forest classification # of acres	@	\$ acre @ 50% of market value	
Forest classification # of acres	@	\$ acre @ market value	
Class 7 "Other" total market value		market value	
Managed forest land acres	@	\$ acre @ 50% of market value	
Managed forest land acres	@	\$ acre @ market value	

Section 3: Reason for Objection and Basis of Estimate	
Reason(s) for your objection: (Attach additional sheets if needed) assessment too high for this small apt bldg	Basis for your opinion of assessed value: (Attach additional sheets if needed) Offer received from real estate broker & cash flow available. See attached Schedule E

Section 4: Other Property Information	
A. Within the last 10 years, did you acquire the property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide acquisition price \$ _____ Date - - - - - <input type="checkbox"/> Purchase <input type="checkbox"/> Trade <input type="checkbox"/> Gift <input type="checkbox"/> Inheritance (mm-dd-yyyy)	
B. Within the last 10 years, did you change this property (ex: remodel, addition)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe _____ Date of changes - - - - - Cost of changes \$ _____ Does this cost include the value of all labor (including your own)? <input type="checkbox"/> Yes <input type="checkbox"/> No (mm-dd-yyyy)	
C. Within the last five years, was this property listed/offered for sale? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, how long was the property listed (provide dates) - - - - - to - - - - - (mm-dd-yyyy) (mm-dd-yyyy) Asking price \$ 400,000 - List all offers received 325,000 -	
D. Within the last five years, was this property appraised? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide: Date - - - - - Value _____ Purpose of appraisal _____ (mm-dd-yyyy) If this property had more than one appraisal, provide the requested information for each appraisal.	

Section 5: BOR Hearing Information	
A. If you are requesting that a BOR member(s) be removed from your hearing, provide the name(s): _____ Note: This does not apply in first or second class cities.	
B. Provide a reasonable estimate of the amount of time you need at the hearing 5 min minutes.	
Property owner or Agent signature Ronald P Arnold	Date (mm-dd-yyyy) 06-3-2025

 Outlook

Assessment 720 E St Paul

From Accurate A. Assessor <AAssessor@waukesha-wi.gov>

Date Mon 6/2/2025 4:46 PM

To ronarnold32@hotmail.com <ronarnold32@hotmail.com>

Hi Ron,

Thank you for taking the time to speak with me today. Your new value will be \$568,600. Have a great day.

Best,

Lori Sacco
Assessor 3
Commercial Assessment – City of Waukesha
920-716-9227

Notice: Please be aware that email sent to, or received from, the City of Waukesha should be presumed to be a public record, that it will be retained by the City as a public record, and will be subject to public disclosure under Wisconsin's open records law. If you are not the intended recipient of this email, please do not read it or forward it to another person, but notify the sender and then delete it.

2025 NOTICE OF CHANGED ASSESSMENT**THIS IS NOT A TAX BILL**

Under state law (Sec. 70.365, Wis. Stats.), your property assessment for the current year is listed below.



*****AUTO**ALL FOR AADC 530 1,083 T5 P1
 RONALD D & SUSAN K ARNOLD REV TRST DTD
 NOVEMBER 10
 11899 PARKVIEW LN
 HALES CORNERS WI 53130-2335

Previous Value:	Land: \$185,400 Buildings: \$210,100	Total: \$395,500
Current Value:	Land: \$185,400 Buildings: \$542,100	Total: \$727,500
Total Difference (Previous to Current):	\$332,000	
Reason for Valuation Change:	2025 Citywide Revaluation	
Preliminary Assessment Ratio:	100.00 %	

Parcel Number: 1305.159.000

Property Address: 720 E ST PAUL AVE

Legal Description:

PT OF--LOT 5 BLK A GRIFFIN'S ADD & LOT 12 BLK XD
 CLINTON'S SUB PT SE 1/4 SEC 34 T7N & NE 1/4 SEC 3
 T6N R19E--W OF HWY 164 BEING 30' W OF FOL LI BEG
 CTR COLLINS ST 70.95' N50 6'30 W OF ST PAUL AV, N5
 31'1 E 418.94' R2923/1393 & DOC NO 3408101

Open Book: April 28, 2025—May 16, 2025

Board of Review: Friday, June 6, 2025 @ 9.00a

BOR Location: Waukesha City Hall

201 Delafield St, Council Chambers

See Reverse Side for Open Book and Board of Review information

Assessment Information

State law (sec. 70.32, Wis. Stats.) requires the assessment of taxable property (except agricultural, agricultural forest, and undeveloped) at full value as of January 1 each year. Assessments at a percentage of full value are acceptable when applied uniformly. To determine if your assessment is fair, you must analyze it in relation to full value. This is done by dividing your assessment by the general level of assessment for your municipality.

Under Wisconsin law, generally, the assessor may not change the assessment of a property based solely on the recent arm's length sale of the property without adjusting the assessed value of comparable properties in the same market area. For information on the assessment of properties that have recently sold, visit the Internet site of the Department of Revenue at <https://www.revenue.wi.gov/Pages/ERE/ER/data-home.aspx>.

To Appeal Your Assessment

First, discuss with your local assessor during Open Book – questions can often be answered by the assessor during Open Book and not require an appeal to Board of Review (BOR).

To file a formal appeal – give notice of your intent to appeal by contacting the BOR clerk at least 48 hours before the BOR begins.

Complete and file your appeal form with the BOR clerk no later than the first two hours of the BOR's first meeting. Make sure you file a completed form or the BOR may not review your appeal.

For more information on the formal appeal process:

- Contact your municipal clerk listed below.
- Review the "Guide for Property Owners" (<https://www.revenue.wi.gov/Pages/HTML/govpub.aspx>). Contact the DOR for a paper copy at hapdor@wisconsin.gov or (608) 266-7750.

Contact Information

Accurate Assessor: Lori Sacco • AAssessor@waukesha-wi.gov • (920) 716-9227

City Clerk/Treasurer: Katie Panella • clerktreas@waukesha-wi.gov • (262) 524-3550

