

OBJECT TYPE:
Building ICC
TRANSACTION ID:
TBD - Per City of Waukesha
SITE ID:
TBD - Per City of Waukesha
MAJOR OCCUPANCY:
Storage
UNHEATED SPACE
TYPE:
IIB - Non-Combustible
TOTAL PROJECT SQ.FT:
6,000 sf (3,200 STORAGE)(2,800 SLAB ON GROUND)
SPRINKLERED:
None
OCCUPANCY:
Storage 2B - Low Hazard
SEISMIC DESIGN CATEGORY:
B

APPLICABLE CODES :

BUILDING:
International Building Code 2015 Edition
SPS 361-366 and Appendix A & B Latest Edition

ACCESSIBILITY:
ANSI 117.1 2009

HVAC:
International Mechanical Code 2015 Edition

ENERGY:
International Energy Conservation Code 2015 Edition
NOTE: BUILDING IS AN UNHEATED SPACE

ELECTRICAL:
International Electrical Code 2015 Edition

PLUMBING:
International Plumbing Code 2015 Edition

FIRE:
International Fire Code 2015 Edition

CONSTRUCTION TYPE:	IIB (Non-Combustible - Unprotected)
HEIGHT AND AREA:	ONE STORY
OCCUPANCY TYPE:	Storage
<u>BUILDING TYPE (Chapter 6):</u>	IIB Non-Sprinklered
SECTION 602.2	

OCCUPANT LOAD: (IBC CHAPTER 10)				
<u>SPACE NAME</u>	<u>OCCUPANCY</u>	<u>SQUARE FEET</u>	<u>DENSITY</u>	<u>TOTAL</u>
STORAGE	STORAGE	3,200	200 Gross	16
TOTAL OCCUPANT LOAD -----				16


<u>SPACE NAME</u>	<u>OCCUP. LOAD</u>	<u>STAIR FACTOR</u>	<u>STAIR WIDTH</u>	<u>STAIR PROV.</u>	<u>EGRESS FACTOR</u>	<u>EGRESS WIDTH</u>	<u>WIDTH PROV.</u>
ENTIRE SPACE	16	N/A	N/A	N/A	.2	3.2"	72"

The diagram illustrates four types of markers used in architectural drawings:

- EXTERIOR ELEVATION MARKER:** A circle with a horizontal line through the center. The top half is shaded. Labels point to the "ELEVATION NUMBER" (top), "SHEET NUMBER" (bottom), and the marker itself.
- SECTION MARKER:** A circle with a horizontal line through the center. The right half is shaded. Labels point to the "SECTION NUMBER" (top), "SHEET NUMBER" (bottom), and the marker itself.
- INTERIOR ELEVATION MARKER:** A diamond shape with a horizontal line through the center. The left half is shaded. Labels point to the "ELEVATION" (top), "DETAIL NUMBER" (right), "SHEET NUMBER" (bottom), and the marker itself.
- DETAIL MARKER:** A circle with a horizontal line through the center. Labels point to the "DETAIL NUMBER" (top) and "SHEET NUMBER" (bottom).

DIAMETER	CLR.	CLEAR
SQUARE FOOT/FEET	C.M.	CONSTRUCTION MANAGER
AT	C.M.U.	CONCRETE MASONRY UNIT
CENTERLINE	C/O	CLEANOUT
POUND OR NUMBER	CONC.	CONCRETE
EXISTING	CONN.	CONNECTION
NEW	CONSTR.	CONSTRUCTION
	CONT.	CONTINUOUS
	CONTR.	CONTRACTOR
	CONTR.	CONTRACTOR
ANCHOR BOLT		
AIR CONDITIONING		
ACOUST.		
ACOUSTICAL		
AFF.	DBL.	DOUBLE
ALUM.	DEPT.	DEPARTMENT
APPROX.	DET.	DETAIL
APPROXIMATE	D.F.	DRINKING FOUNTAIN
ARCHITECTURAL	DIA.	DIAMETER
ARCH.	DIM.	DIMENSION
S.R.	DIMS.	DIMENSIONS
BD.	DWG.	DRAWING
BLDG.		
BLOCK		
BLKG.	E.	EAST
	EA.	EACH
	ELEC.	ELECTRICAL
CEILING JOIST		
CLG.		
CEILING		

SITE



An aerial photograph of a city area, likely in the San Francisco Bay Area, showing a river, roads, and various buildings. A red dot is placed on a building in the center of the map, and a black arrow points to it from the word "SITE" at the top. A north arrow is located in the bottom right corner.

Diagram illustrating various symbols used in architectural drawings:

- DETAIL NUMBER:** A circle containing a hash symbol (#) with a leader line pointing to it.
- SHEET NUMBER:** A circle containing a hash symbol (#) with a leader line pointing to it.
- WALL TYPE MARKER:** A circle containing a hash symbol (#) with a leader line pointing to it.
- FINISH TYPE MARKER:** A rectangle containing a hash symbol (#).
- TAIL WINDOW MARKER:** A large circle.
- CODED NOTE REFERENCE:** A hexagon containing a hash symbol (#).
- EQUIPMENT TYPE:** An oval containing a hash symbol (#).
- DOOR TYPE:** A rounded rectangle containing a hash symbol (#).

E.P.	ELEVATION	GA.	GAUGE	LAM.	LAMINATED	O.O.	OPENING
EL.	ELECTRICAL PANEL	GALV.	GALVANIZED	LAV.	LAVATORY	O.I.	OUTLET
E.Q.	EQUAL	G.C.	GENERAL CONTRACTOR	LT.	LIGHT	O.P.	OPENING
EQUIP.	EQUIPMENT	G.I.	GALVANIZED IRON			OPT.	OPTION
E.W.	EACH WAY	G.L.	GLASS	MAX.	MAXIMUM		
EXIS.	EXISTING	GND.	GROUND	M.B.	MACHINE BOLT		
EXT.	EXTERIOR	GR.	GRADE	M.C.H.	MECHANICAL	PARTN.	PARTNER
		GYP.	GYPSUM	MET.	METAL	P.	PISTON
F.F.	FINISH FLOOR			MFR.	MANUFACTURER	PLAS.	PLASTER
FIN.	FINISH	HDR.	HEADER	M.H.	MANHOLE	PLYB.	PLYWOOD
FIX.	FIXTURE	HDW.	HARDWARE	MIN.	MINIMUM	PLYME.	PLYMENT
FLR.	FLOOR	HT.	HEIGHT	MISC.	MISCELLANEOUS	P.	PUMP
		H.M.	HOLLOW METAL	MASONRY	MASONRY OPENING		
FLUOR.	FLUORESCENT	HOR.	HORIZONTAL	MTD.	MOUNTED		
F.H.	FIRE HYDRANT	HDWD.	HARDWOOD	MUL.	MULCH		
F.F.F.	FACE OF FINISH	H.V.A.C.	HEATING, VENTILATION AND AIR CONDITIONING				
F.O.M.	FACE OF MASONRY			N.	NORTH	R.A.C.	RACE
F.O.S.	FACE OF STUD	I.D.	INNER DIAMETER	N.C.	NOT IN CONTRACT	R.F.	REFLECTOR
F.S.	FLOOR SINK	IN.	INCH	N.O.	NUMBER	REF.	REFERENCE
F.S.R.	FIRE SPRINKLER RISER	INSUL.	INSULATION	NOM.	NOMINAL	REIN.	REINFORCEMENT
FT.	FOOTFEET	INT.	INTERIOR	N.T.S.	NOT TO SCALE	REQD.	REQUIRED
FTG.	FOOTING	JT.	JOINT			RESI.	RESISTANCE
FUT.	FUTURE			O.A.	OVERALL		

1. ALTHOUGH EVERY EFFORT HAS BEEN MADE IN THE PREPARATION AND CHECKING OF THESE PLANS FOR ACCURACY, ALL CONTRACTORS SHALL CHECK, VERIFY AND BE RESPONSIBLE FOR ALL DETAILS AND DIMENSIONS ON NEW OR EXISTING STRUCTURE.
2. ALL WORK ON THIS PROJECT IS TO BE GOVERNED BY THE LATEST EDITION OF THE CODES APPLICABLE TO THE LOCAL ORDINANCES.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACCEPTED BUILDING PRACTICES AND INDUSTRY STANDARDS.
4. VERIFY AND USE ONLY WRITTEN DIMENSIONS. DO NOT SCALE OR MEASURE DIMENSIONS DIRECTLY FROM PRINT.
5. ALL CONTRACTORS MUST BE RESPONSIBLE FOR ALL AND ANY DAMAGE TO "EXISTING" STRUCTURE CAUSED EITHER DIRECTLY OR INDIRECTLY BY THEIR TRADES
6. VERIFY ANY UNCERTAIN ITEMS WITH OWNER, BUILDER, AND/OR ARCHITECT.
7. ARCHITECT WILL NOT BE RESPONSIBLE FOR EXISTING OR PRE-EXISTING SOIL OR STRUCTURAL CONDITIONS.
8. THE ARCHITECT WILL NOT BE REQUIRED TO MAKE EXHAUSTIVE OR CONTINUOUS ON SITE INSPECTIONS TO CHECK THE QUALITY OR QUANTITY OF WORK PERFORMED.
9. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK AND HE SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS' FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
10. LIMITATION OF WARRANTY OF ARCHITECT'S WORK PRODUCT : THE ARCHITECT AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND THE COMPLETENESS OF THE WORK PRODUCT THEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE WORK PRODUCT, THE ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ARCHITECT OF SUCH CONDITIONS SHALL ABSOLVE THE ARCHITECT FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTION TAKEN WITHOUT THE KNOWLEDGE AND CONSENT OF THE ARCHITECT, OR IN THE CONTRADICTION TO THE ARCHITECT'S WORK PRODUCT OR RECOMMENDATIONS SHALL BECOME THE RESPONSIBILITY NOT OF THE ARCHITECT, BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.
11. THESE PLANS DO NOT INCLUDE THE FOLLOWING :
 - 11.1. HVAC DESIGN
 - 11.2. PLUMBING DESIGN
 - 11.3. ELECTRICAL DESIGN
 - 11.4. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN THESE DESIGNS AND TO COORDINATE ALL WORK FOR ALL TRADES INVOLVED.

ON CENTER	R.M.	ROOM	T.B.	TOP OF BEAM	W/O.	WITHOUT
OUTSIDE DIAMETER	R.O.	ROUGH OPENING	TEL.	TELEPHONE	W.R.	WATER RESISTANT
OVERFLOW DRAIN	R.O.W.	RIGHT OF WAY	T.G.	TONGUE AND GROOVE		
OPENING	S.	SOUTH	T.G.	THICK		
OPPOSITE	S.A.N.	SCALE AS NOTED	T.C.B.	TOP OF CURB		
PARTITION	S.A.T.	SUSPENDED ACOUSTICAL TILE	T.O.P.	TOP OF PARAPET		
PROPERTY LINE	S.C.	SOLID CORE	T.O.P.	TOP OF SHEATHING		
PLASTER	SCHED.	SCHEDULE	T.O.W.	TOP OF WALL		
PLUMBING	SECT.	SECTION	TYP.	TYPICAL		
PLYWOOD	SHT.	SHEET	U.B.C.	UNIFORM BUILDING CODE		
PRESSURE TREATED	SHTG.	SHEATHING	U.O.N.	UNLESS OTHERWISE NOTED		
QUARRY TILE	SIM.	SIMILAR	V.B.	VINYL BASE		
	SPEC.	SPECIFICATION	VERT.	VERTICAL		
	SQ.	SQUARE	V.C.T.	VINYL COMPOSITION TILE		
	SSK.	SERVICE SINK	V.T.R.	VENT THROUGH ROOF		
RISER	SS.	STAINLESS STEEL				
RADIUS	STD.	STANDARD				
ROOF DRAIN	STL.	STORAGE	W.	WEST		
REFERENCE	STOR.	STORAGE	W/H	WITH		
REFRIGERATOR	STRUCT.	STRUCTURAL	W.C.	WATER CLOSET		
REINFORCED	SYM.	SYMMETRICAL	W.D.	WOOD		
REQUIRED			W.H.	WATER HEATER		
RESILIENT	T.	TREAD				

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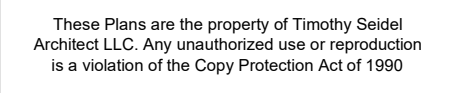
Design Data by Source

PLUMBING

OWNER	
COMPANY NAME	WAUKESHA IRON & METAL
GENERAL CONTRACTOR	
COMPANY NAME	FORD CONSTRUCTION CO., INC.
CONTACT NAME	BOB FORD
CONTACT INFORMATION	1419 POPLAR DRIVE WAUKESHA, WI 53188 OFFICE: 262-896-9370
ARCHITECT	
COMPANY NAME	TIMOTHY SEIDEL ARCHITECT LLC

MOBIL: 262-424-5797

PROJECT TEAM DIRECTORY (8)



**1419 Poplar Drive
Waukesha, WI 53188
262-896-9370
262-896-9371 fax
E-Mail: fordcon@tds.net**

**WAUKESHA IRON & METAL
FINES BUILDING
1351 EAST MAIN STREET
WAUKESHA, WI 53186**

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Scale : As Noted

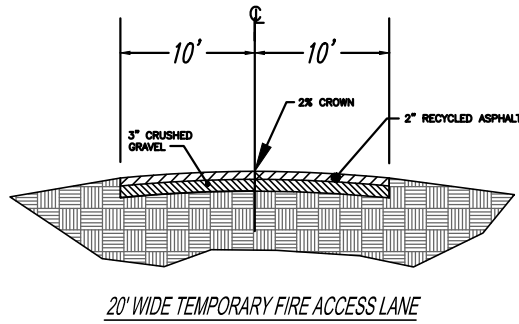
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9-101

Title Sheet

- LEGEND**
- SECTION CORNER MONUMENT
 - FOUND 1" IRON PIPE OR AS NOTED
 - POST
 - UTILITY POLE
 - GUY POLE
 - GUY WIRE
 - CULVERT
 - UTILITY PEDESTAL
 - ELECTRIC PEDESTAL
 - SEPTIC FACILITY
 - SEPTIC CLEANOUT
 - TV MANHOLE
 - YARD LIGHT
 - INLET
 - SOIL TEST LOCATION W/ ELEV.
 - WELL
 - FENCE
 - RECORD DIMENSION
 - SAN- SANITARY SEWER
 - ST- STORM SEWER
 - WM- WATERMAIN
 - OH- OVERHEAD POWER/UTILITY
 - G- UNDERGROUND GAS
 - E- UNDERGROUND ELECTRIC
 - C- UNDERGROUND CABLE
 - EXISTING SPOT ELEVATION
 - EXISTING CONTOUR
 - PROPOSED SPOT ELEVATION
 - PROPOSED CONTOUR
 - PROPOSED DRAINAGE DIRECTION
 - FF 846.00 PROPOSED FLOOR GRADE



- EROSION CONTROL SPECIFICATIONS AND CONSTRUCTION SEQUENCING:**
- The timing and sequence of construction is scheduled as follows:
- Before grading begins the PROJECT SURVEYOR will stake out the all fence to the limits shown on the plan. The general contractor is charged with installing and maintaining all all fences, seeding and other erosion control practices.
 - A list of all project contacts, phone numbers, e-mail addresses, etc. are on the permit application.
 - Construction is scheduled to begin on or about November 1, 2025.
 - Grading and all all fences shall be installed as shown on the plan.
 - Strip the area in the proposed BUILDING AND CONCRETE areas and haul away.
 - Construct building (Complete land disturbance by December 30, 2025).
 - Erosion control inspections will be performed weekly and after each rain event of 0.5 inches or larger by the general contractor and inspection forms will be filled out and kept on site.
 - Any disturbed area that remains inactive for greater than 7 days shall be stabilized with temporary measures such as soil treatment, temporary seeding or mulching.
 - "Inactive" means that no all grading, landscaping or utility work is occurring on the site and that rain is not limiting these activities. Frozen soils do not exclude the site from this requirement.
 - Restoration of all disturbed areas will be stabilized in accordance with the late season stabilization specifications listed below.
 - Seeding rates and mixes shall conform to WisDOT Roadway Standard Section 630.
- Late Season Stabilization:**
- The objective is to stabilize the site with 70% vegetative coverage of all previous disturbed areas before the end of the growing season. After November 15, no land disturbing activity is permitted outside of active building envelopes, and all other disturbed areas must be stabilized by November 15 per the following schedule:
- Permanent Vegetation (Before September 15):**
 - Seeding: Prepare seedbed and sow seeds per the rates and mixes of Wisconsin Department of Transportation (WisDOT) Roadway Standard Section 630.
 - Erosion Control: Immediately apply mulch, erosion control matting, or other permanent stabilization BMPs as specified in the approved erosion control plans and per DNR technical standards.
 - Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full vegetative cover is obtained, and repair any erosion problems, wash outs, etc.
 - Temporary Vegetation (September 15 - October 15):**
 - Seeding: The above noted seeding mix must include a minimum of 2 lbs. per 1,000 sq. ft. of a temporary cover (i.e. winter wheat or annual ryegrass for fall plantings) per Section 630.
 - Erosion Control: Immediately apply mulch, erosion control matting, or other stabilization BMPs as specified below, following DNR technical standards. The approved plans may be more restrictive:
 - Channel Flow (roadside swales, etc.) and Backstop: Stake erosion matting over all the entire channel cross-section and all backstop using a minimum WisDOT Erosion Control Product Acceptability (PAL) Class 3 Type A matting, unless otherwise called for in the approved plan.
 - Other disturbed areas: Apply Type B Soil Stabilizer, mulch and tackifier from the WisDOT Product Acceptability List to all disturbed areas that remain exposed.
 - Intake/Outfalls: Install sod pads (2 rolls) at all culvert outfalls, and other high-erosion locations in accordance with County standards.
 - Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full temporary cover is obtained, and repair any erosion problems, wash outs, etc.
 - Decommission Seeding (October 15 - November 15):**
 - Seeding Rate: Same seed mix as subsection (b) (including temporary cover crop) except the rates for perennial species must applied at 1.5 x WisDOT section 630 rates (apply rates of 3-5 lbs./1,000 sq.ft.).
- Erosion Control:**
- Channel Flow (roadside swales, etc.) and Backstop: Apply Type A soil stabilizer and staked PAL Class 3 Type A erosion matting over the entire channel and all backstop.
 - Other Areas: Apply Type A Soil Stabilizer from the WisDOT Product Acceptability List to all other disturbed areas that remain exposed.
 - Intake/Outfalls: Install sod pads (2 rolls) at all culvert outfalls, and other high-erosion locations in accordance with County standards.
 - Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full temporary cover is obtained, and repair any erosion problems, wash outs, etc.
- If construction schedules should change significantly, this plan narrative will be updated and resubmitted.

GENERAL NOTES:

- Horizontal datum is NAD 1983/2011.
- All site improvements and construction shown on the plans shall conform to the current City of Waukesha Design and Construction Manual. Where the plans do not comply, it shall be the sole responsibility and expense of the Developer to make revisions to the plans and/or constructed infrastructure to comply. Legend shown hereon in lue of call outs on individual sheets.

GENERAL CONSTRUCTION SPECIFICATIONS:

- All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; the City of Waukesha Ordinances; and the State of Wisconsin Standard Specifications for Sewer and Water Construction in Wisconsin. All permits must be obtain by the DEVELOPER and CONTRACTOR prior to commencing work.
- All erosion control measures specified on the project Erosion Control Plan shall meet the design criteria, standards and specifications as set forth in the Department of Natural Resources Wisconsin Technical Standards and City of Waukesha Ordinances.
- All erosion control devices (i.e., silt fence, gravel entrance, etc.) shall be installed prior to commencing mass grading.
- All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time. Haul off excess topsoil.
- The general contractor shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
- The contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
- Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the gravel entrance to the property.
- Contractor shall be responsible for maintaining the Public Roadways. The Public Roadways adjacent to this project shall be kept free of silt or dirt tracked from areas under construction by sweeping at the end of each work day or more often, as required. Dust generated by construction activities shall be minimized by use of watering, construction scheduling or other appropriate methods.
- Upon completion of the work as specified, respread gravel over all disturbed open space areas.
- All disturbed areas shall be revegetated within 7 days of no disturbance. Highway mix #40 shall be used for seeding with an application rate of 4.0 lbs/1000 sq. ft.
- All erosion control devices shall be routinely inspected every seven days or within 24 hours of a rainfall greater than 0.5 inches. (By CERTIFIED EROSION CONTROL INSPECTOR).

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY CAPITOL SURVEY, INC. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

NOTES:

- DISTURBED AREA = 13,070 S.F. (0.3 ACRES)
- NET INCREASE IN IMPERVIOUS AREA = 0 S.F.
- BASED ON THE ABOVE VALUES, STORM WATER MANAGEMENT IS NOT REQUIRED FOR THIS PROJECT.



Waukesha Iron & Metal Addition to Fines Building

City of Waukesha, WI

Grading, Paving & Drainage Plan

With Erosion Control

ELLENA ENGINEERING CONSULTANTS, LLC

SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT

700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122

Phone: 262-719-6183 Email: mellen@eeceng.com

DATE

DESCRIPTION

WISCONSIN

MARK R. ELLENA

E-24090

WALESE, WI

PROFESSIONAL ENGINEER

DATE: 11-01-25

BY: MARK R. ELLENA, P.E.

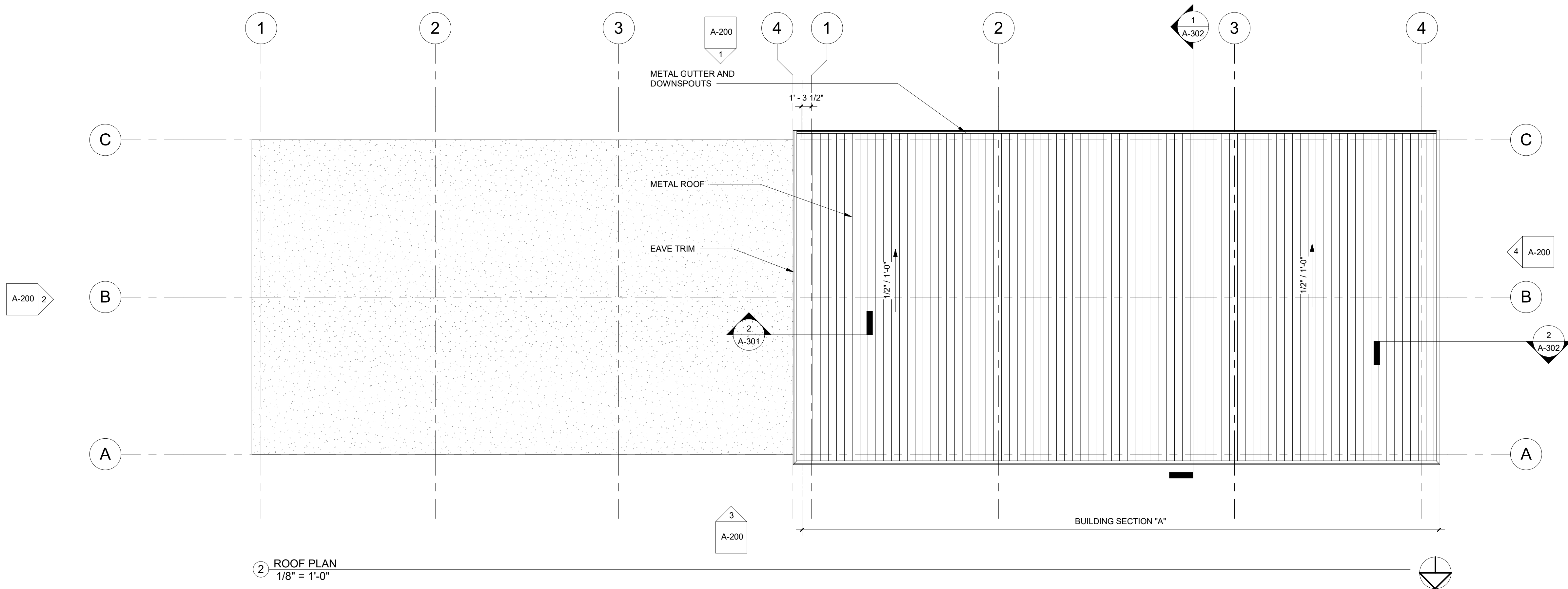
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SHEET NUMBER

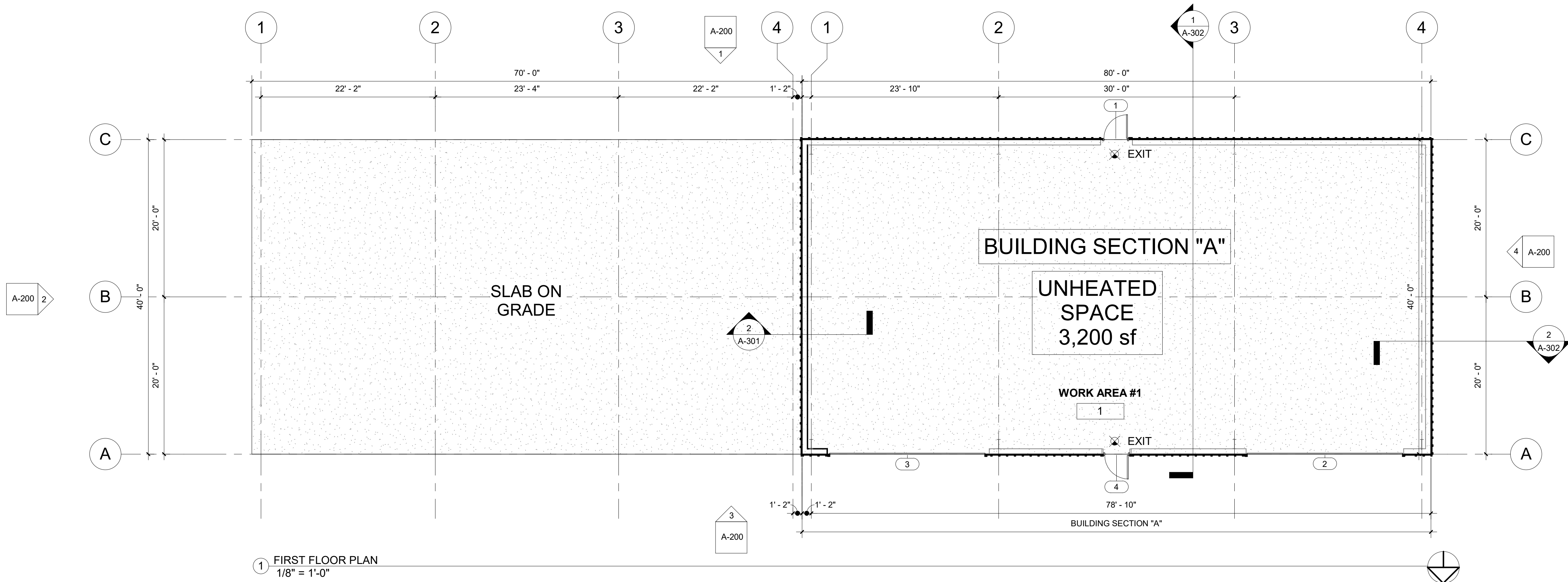
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Revisions :		
No.	Description	Date

Date :	September 26, 2025
Scale :	As Noted
File Number :	FINES
Drawn :	TES
Project :	202504
Sheet Number :	A-101



Door Schedule							
Number	Width	Height	Thickness	Finish	Doors		
					Type	Glazing	Material
1	3' - 0"	6' - 8"	0" - 1 3/4"	PAINT		NONE	HOLLOW METAL
2	19' - 9 1/4"	16' - 0"	0" - 1 1/2"	PAINT		NONE	GALVANIZED STEEL
3	19' - 9 1/4"	16' - 0"	0" - 1 1/2"	PAINT		NONE	GALVANIZED STEEL
4	3' - 0"	6' - 8"	0" - 1 3/4"	PAINT		NONE	HOLLOW METAL





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Ford Construction Co., Inc.

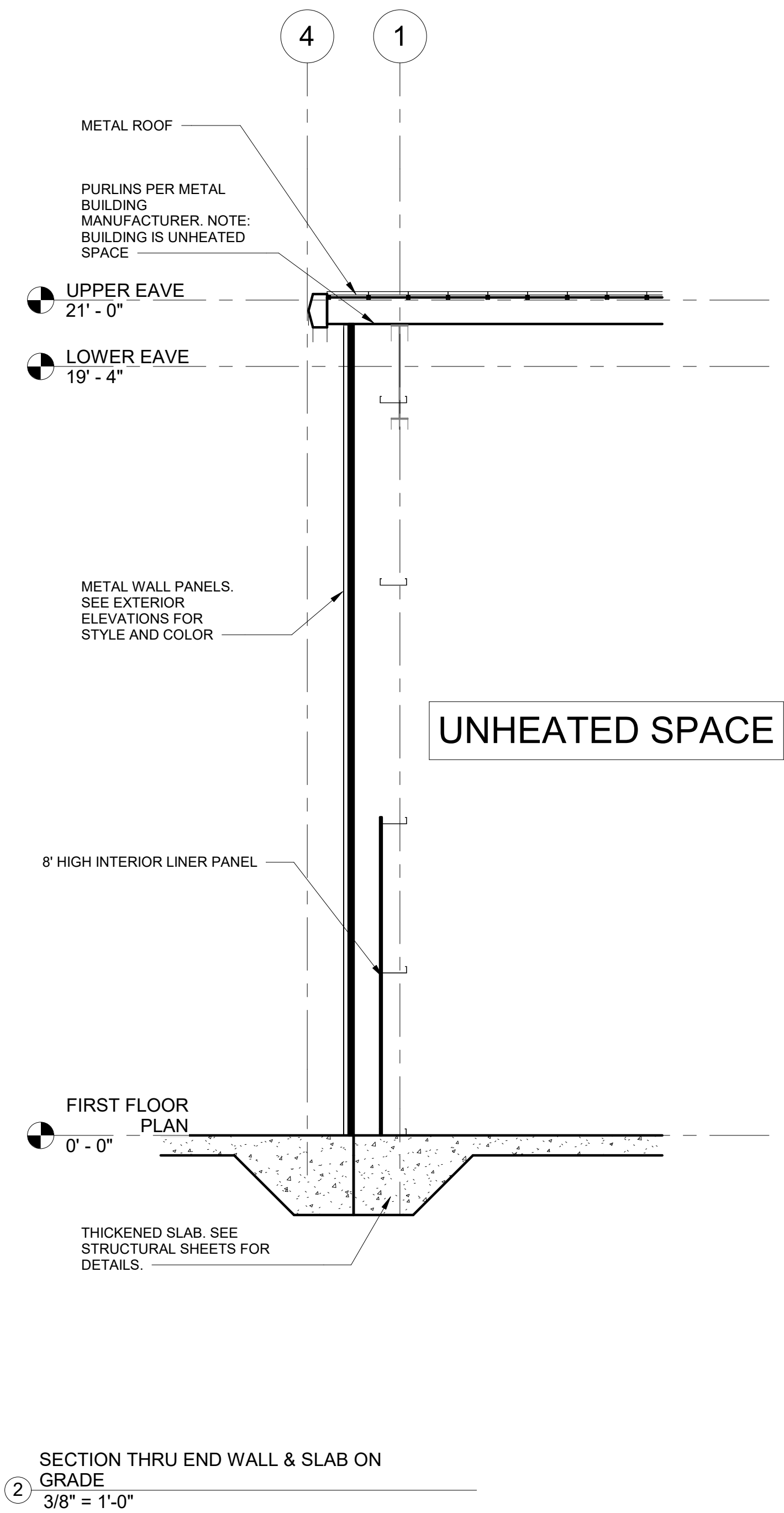
General Contractors
Construction Managers

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262-896-9370
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E-Mail: fordcon@tds.net

WAUKESHA IRON & METAL
FINES BUILDING
1351 EAST MAIN STREET
WAUKESHA, WI 53186



REVISIONS :

No.	Description	Date

Date : September 26, 2025

Scale : As Noted

File Number : FINES

Drawn : TES

Project : 202504

Sheet Number :

A-301

**WAUKESHA IRON & METAL
FINES BUILDING**
1351 EAST MAIN STREET
WAUKESHA, WI 53186

REVISIONS :

No.	Description	Date

Date : September 26, 2025

Scale : As Noted

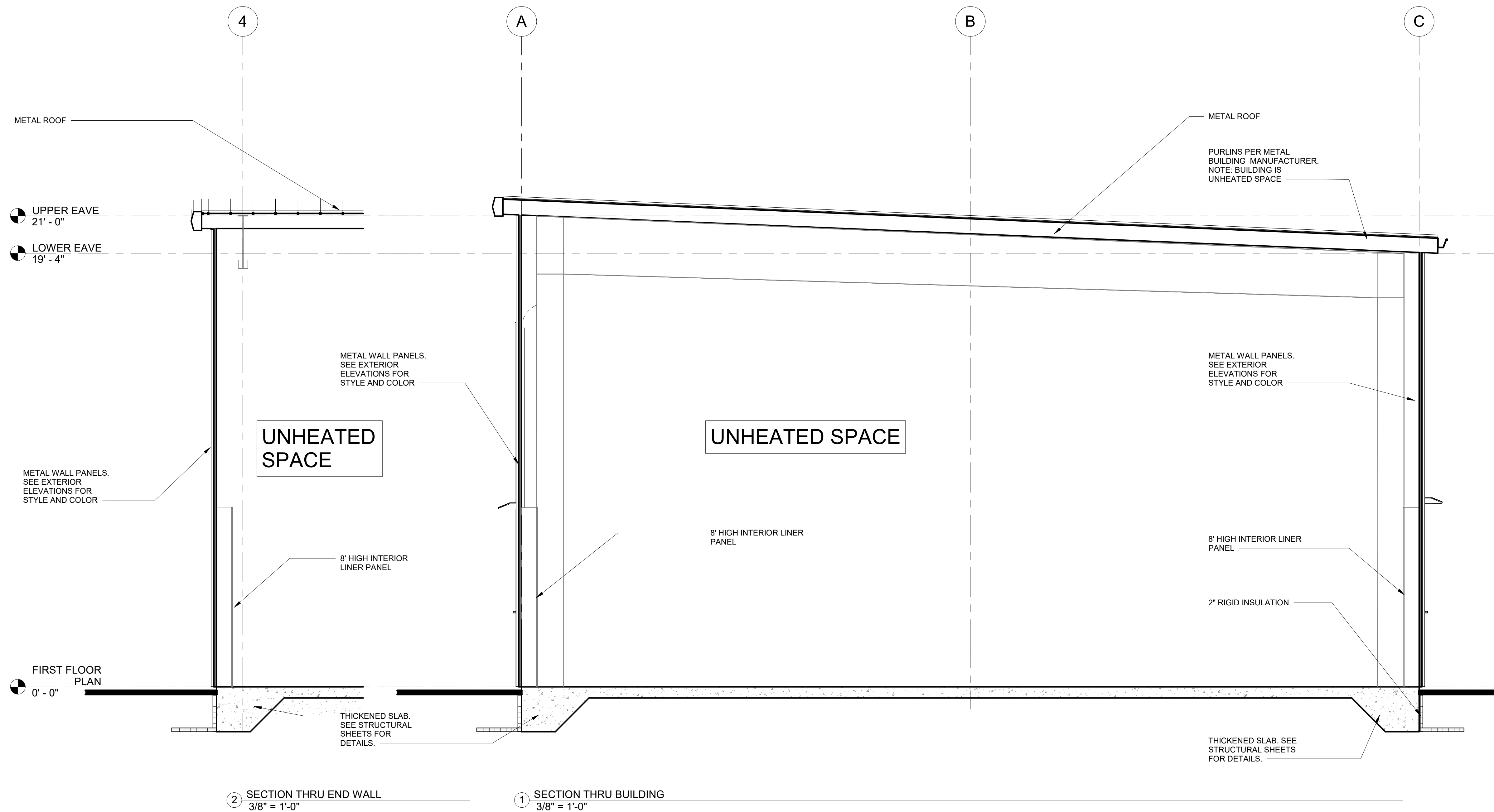
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Drawn : TES

Project : 202504

Sheet Number :

A-302



1. COMPLY WITH THE IBC 2009 & MODIFICATIONS SPECIFIED IN THE WISCONSIN COMMERCIAL BUILDING CODE CHAPTERS COMM. 61 & COMM. 62 AND ALL OTHER GOVERNING CODES.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND SUBMIT TO THE ENGINEER FOR REVIEW A WRITTEN REPORT INDICATING ACTUAL FIELD CONDITIONS WHICH MAY VARY FROM INFORMATION INDICATED ON DRAWINGS.
3. SUBMIT ERECTION AND DETAIL DRAWINGS OF ALL STRUCTURAL MATERIALS AND CONNECTIONS FOR REVIEW.
4. THE FOLLOWING MATERIAL & METHODS OF CONSTRUCTION SHALL BE SUBJECT TO INSPECTION IN ACCORDANCE WITH IBC 2009:
 1. WELDING
 2. HIGH STRENGTH BOLTING
 3. STEEL FRAME JOINT DETAILS
 4. CONCRETE
 5. REINFORCEMENT
 6. PRE-FABRICATED WOOD STRUCTURAL ELEMENTS
 7. MASONRY

1. ALL FOUNDATION FOOTINGS SHALL BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 PSF AS VERIFIED AND ACCEPTED BY THE OWNER'S GEOTECHNICAL CONSULTANT.
2. ALL FOOTINGS TO BE PLACED 4'-0" MIN. BELOW ADJACENT EXTERIOR GRADE.
3. THE SUBGRADE FOR ALL FOOTINGS, WALLS AND SLABS SHALL BE INSPECTED AND ACCEPTED BY THE OWNER'S TESTING AGENCY IMMEDIATELY PRIOR TO PLACING FOUNDATION CONCRETE.
4. ALL UNSUITABLE MATERIALS SHALL BE REMOVED FROM SUBGRADE AND BACKFILL AREAS AND BACKFILLED WITH ACCEPTABLE FILL ACCORDING TO THE SPECIFICATION.
5. BACKFILL AGAINST WALLS EVENLY. ALL SUPPORTING SLABS SHOULD BE IN PLACE AND THE CONCRETE SHOULD HAVE THE 28 DAY DESIGN STRENGTH.
6. NO FOOTINGS, SLABS, OR MUD SLABS SHALL BE PLACED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER OR FROST ENTER A FOOTING EXCAVATION AFTER SUBGRADE APPROVAL, THE SUBGRADE SHALL BE RE-INSPECTED BY THE OWNER'S TESTING AGENCY AFTER REMOVAL OF WATER OR FROST.
7. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY FROST OR ICE FROM PENETRATING ANY FOOTING, OR SLAB SUBGRADE BEFORE AND AFTER PLACING CONCRETE AND UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT BUILDING ENCLOSURE.
8. THE SLABS SHALL BE PLACED OVER A 6 MIL VAPOR BARRIER, LAPPED 12 INCHES AT SEAMS AND TAPED OVER 6 INCHES MINIMUM OF COMPACTED COARSE DRAINAGE MATERIAL. STONE SHALL COMPLY WITH TITUS SPECIFICATIONS GIVEN IN THE GEOTECHNICAL REPORT PREPARED BY THE OWNER'S GEOTECHNICAL CONSULTANT.

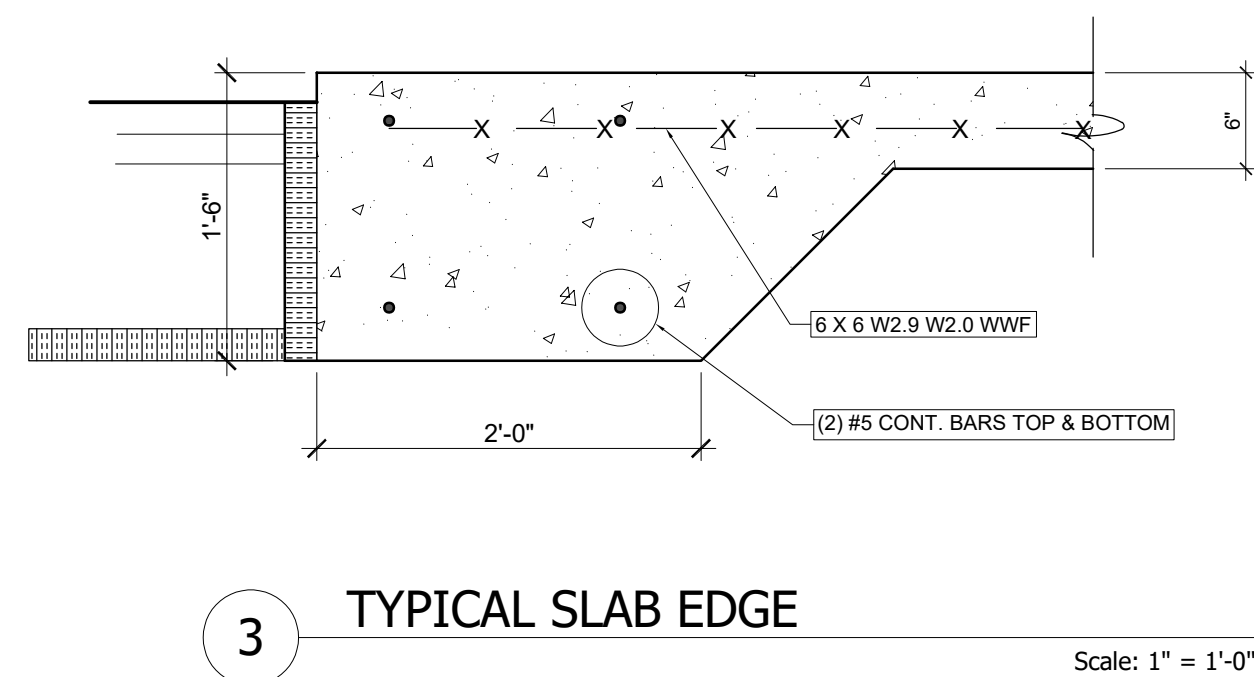
1. ALL EXCAVATION SHALL COMPLY WITH OSHA REQUIREMENTS.
2. GROUND WATER MAY BE ENCOUNTERED. PROVIDE DEWATERING AS NECESSARY.
3. THE PERIMETER OF THE GENERAL EXCAVATION SHALL BE RETAINED BY A TEMPORARY SOIL/ROCK RETENTION SYSTEM AS REQUIRED. THE DESIGN, INSTALLATION, MAINTENANCE AND REMOVAL (WHERE REQUIRED) SHALL BE THE COMPLETE AND SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ALL MEASURES AND PRECAUTIONS NECESSARY TO PREVENT DAMAGE AND SETTLEMENT OF EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS CAUSED BY CONSTRUCTION TECHNIQUES OR MOVEMENTS OF THE SOIL RETENTION SYSTEM, IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR SHALL COORDINATE ALL ELEMENTS OF THE SOIL RETENTION SYSTEM WITH ALL ELEMENTS OF THE PERMANENT BUILDING.
5. ALL EXCAVATION SHALL BE BASED ON ENGINEERED DRAWINGS PREPARED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WISCONSIN AND RETAINED BY THE CONTRACTOR. THE DRAWINGS SHALL INCLUDE PLANS AND SECTIONS OF EXCAVATION SEQUENCES. THE EXCAVATION SEQUENCES SHALL BE CONTROLLED TO MATCH THE REQUIREMENTS OF THE DESIGN OF THE SOIL RETENTION SYSTEM. THE DESIGN EARTH AND HYDRAULIC PRESSURES WILL BE REVIEWED BY THE OWNER'S GEOTECHNICAL REPRESENTATIVE.
6. THE EXCAVATIONS FOR SPREAD FOOTINGS, GRADE BEAMS, PITS, ETC., SHALL BE EXCAVATED ON AN INDIVIDUAL, LOCALIZED BASIS DOWN FROM THE SUBGRADE LEVEL. EACH EXCAVATION SHALL BE A TRIM, LEVEL SURFACE.
7. THE CONTRACTOR SHALL PROVIDE POSITIVE PROTECTION (MAT/SHEET COVERINGS) FOR ALL EXCAVATION SLOPES TO PROTECT SLOPES FROM INSTABILITY AND DETERIORATION DUE TO RAIN, WIND OR SNOW.
8. THE CONTRACTOR SHALL PROVIDE SURFACE DRAINAGE CHANNELS, SUMPS AND PUMP PUMPS TO PROTECT ALL EXCAVATIONS FROM FLOODING. FLOODING OF ANY EXCAVATION AFTER APPROVAL OF THE SUBGRADE WILL BE CAUSE FOR COMPLETE REDOING OF THE SUBGRADE AND WILL REQUIRE APPROVAL OF THE SUBGRADE.
9. THE CONTRACTOR SHALL SUBMIT THE RETENTION SYSTEM DESIGN, EXCAVATION SEQUENCES AND TECHNIQUES AND DEWATERING SYSTEM FOR REVIEW BY THE OWNER'S GEOTECHNICAL ENGINEER.

1. PROVIDE CAST-IN-PLACE CONCRETE OF THE TYPES AND MINIMUM 28-DAY COMPRESSIVE STRENGTHS AS SHOWN ON THE CONCRETE MATERIALS SCHEDULE, THIS SHEET.
2. STRUCTURAL CONCRETE SHALL CONTAIN A WATER REDUCING, PLASTICIZING ADMIXTURE, APPROVED, HIGH-RANGE WATER REDUCING ADMIXTURES MAYBE UTILIZED. ALL CONCRETE PERMANENTLY EXPOSED TO THE WEATHER (AND WITHIN 4 FEET OF FINISHED GRADE) SHALL CONTAIN AND AIR-ENTRAINING ADMIXTURE. THE MAXIMUM WATER ALL CONCRETE SHALL BE 0.5. CONTRACTOR TO SUBMIT A DESIGN MIX FOR EACH TYPE AND STRENGTH OF CONCRETE IN ACCORDANCE WITH ACI 318 FOR REVIEW AND APPROVAL OF THE ENGINEER.
3. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO THE STANDARDS OF ASTM A615, GRADE 60.
4. ALL CONCRETE REINFORCEMENT SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS AND SECURED IN PLACE IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OUTLINED IN THE LATEST EDITION OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318 AND THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES", ACI 315.

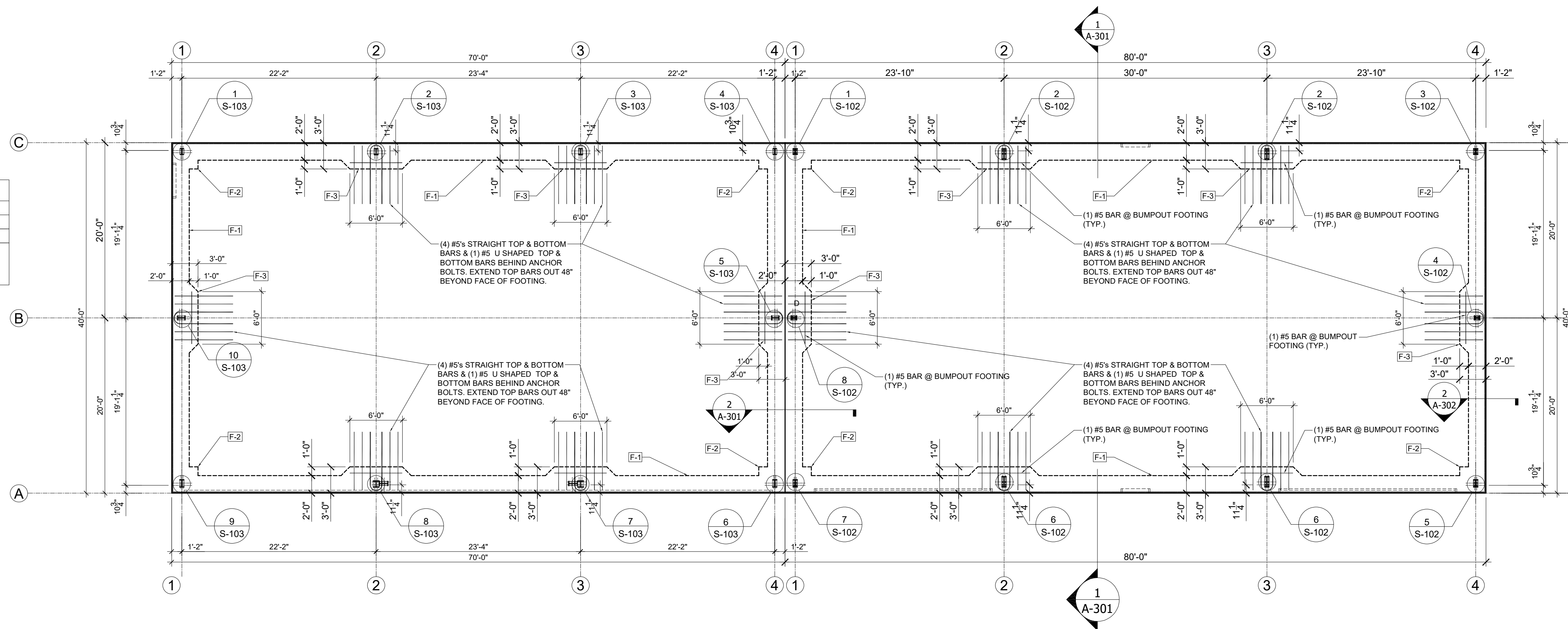
BAR SIZE	LAP SPlice (IN) (MIN.)	BAR SIZE	LAP SPlice (IN) (MIN.)
3	18	7	42
4	24	8	51
5	30	9	64
6	36	10	82
		11	100

- WHERE REQUIRED, DOWELS MATCH SIZE AND NUMBER OF MAIN REINFORCING.
- PROVIDE ADDITIONAL BARS AROUND ALL FLOOR AND WALL OPENINGS.
- WELDED WIRE FABRIC SHALL BE LAPPED TWO (2) FULL MESH PANELS AND TIED
- ALL BAR SUPPORTS SHALL BE GALVANIZED. BAR SUPPORTS IN CONTACT WITH EXPOSED SURFACES SHALL BE PLASTIC TIPPED.
- BEAM AND SLABS SHALL NOT BE BOXED OUT OR SLEEVED OR HAVE THE REINFORCING INTERRUPTED EXCEPT AS SHOWN ON THE STRUCTURAL DRAWINGS.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO THE STANDARDS OF ASTM A185.
- SECURELY.
- ALL CONSTRUCTION JOINTS SHALL BE CLEANED AND MOISTENED IMMEDIATELY PRIOR TO PLACING NEW CONCRETE. REFER TO ARCHITECTURAL DRAWINGS FOR WATER STOP AND WATERPROOFING DETAILS.
- SEE ARCHITECTURAL DRAWINGS FOR TYPE AND LOCATION OF ALL FLOOR FILL FINISHES, FLOOR DEPRESSIONS AND CURBS.
- PLACE SLABS-ON-GRADE IN ACCORDANCE WITH ACI 302 "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION.
- SEE ARCHITECTURAL, HVAC, ELECTRICAL AND PLUMBING DRAWINGS FOR SLAB OPENINGS.
- SEE ARCHITECTURAL DRAWINGS FOR ALL WATERPROOFING/DAMP-PROOFING DETAILS.
- THE CONTRACTOR SHALL INSTRUMENT CHECK ALL FORMWORK FOR COMPLIANCE WITH ACI SPECIFIED TOLERANCES PRIOR TO PLACEMENT OF THE CONCRETE THEREON.
- GROUT SHALL BE NON-SHRINK, NON-METALLIC, "FIVE STAR GROUT" BY U.S. GROUT, OR EQUAL.
- "CAST-IN-PLACE CONCRETE" TO BE:


SLAB ON GRADE	4000 PSI	145 PCF	FIBERGLASS
FOOTINGS	3000 PSI	145 PCF	
INTERIOR CONCRETE FILL AND MISCELLANEOUS CONCRETE	3000 PSI	115 PCF	
- MECHANICAL BAR SPLICERS, COUPLING AND HALF COUPLING SHALL DEVELOP 125% Fy TIMES THE AREA OF THE ATTACHED BAR.
- BEAMS ARE EQUALLY SPACED BETWEEN COLUMN LINES, UNLESS OTHERWISE NOTED.
- SEE SPECIFICATION SECTION "CAST-IN-PLACE CONCRETE FOR ADDITIONAL REQUIREMENTS.
- NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE.
- CONCRETE SEALER SHALL BE COMPATIBLE W/ APPROVED FLOOR FINISHES.



NOTATION REFERENCES COLUMN DETAILS - SEE S-102 FOR ANCHOR BOLT & COLUMN DETAILS



Scale: 1/8"=1'-0"



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**WAUKESHA IRON & METAL
FINES BUILDING
1351 EAST MAIN STREET
WAUKESHA, WI 53186**

[illegible]

Date : September 26, 2025

Scale : As Noted

File Number : S-101.dwg

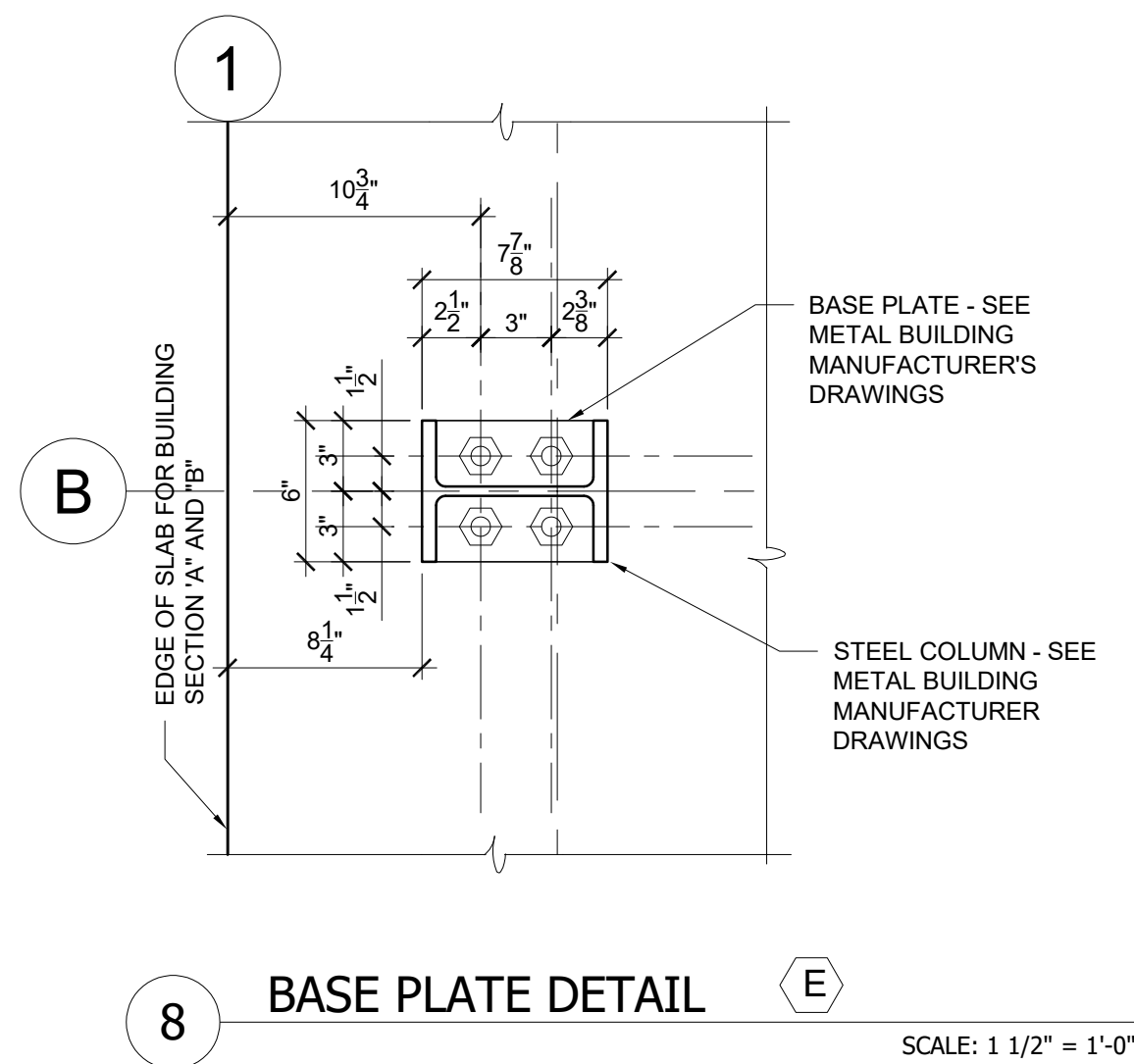
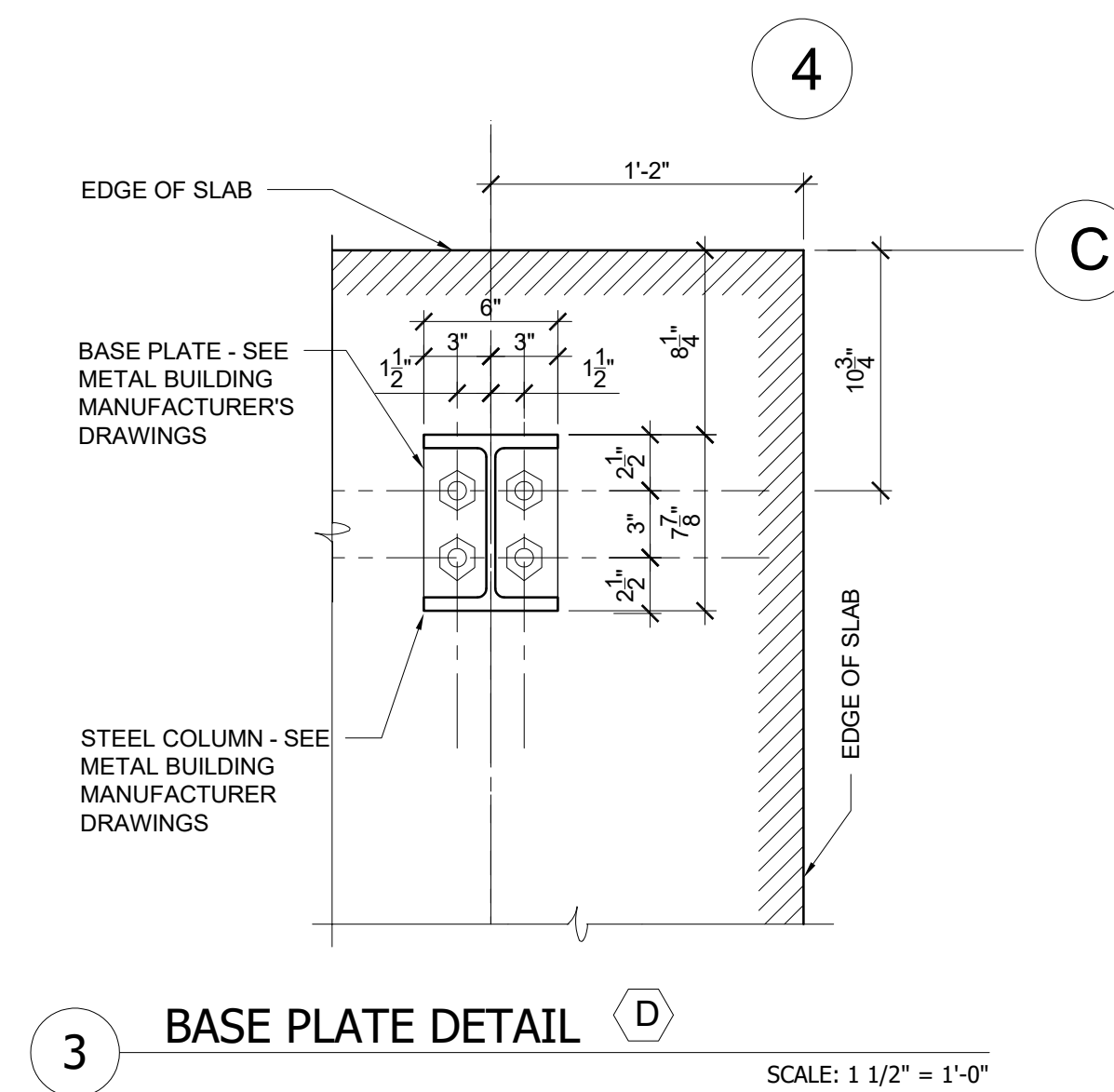
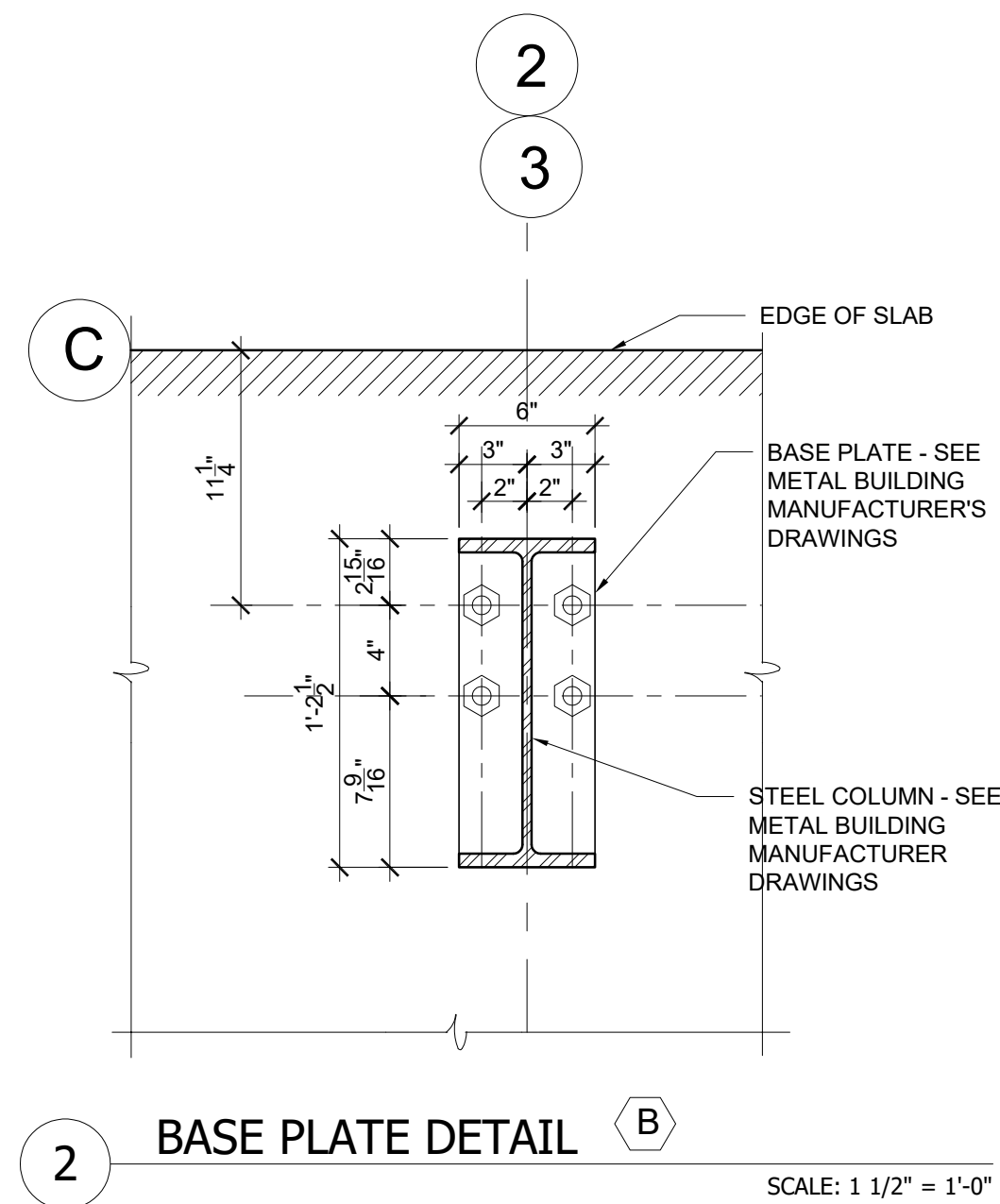
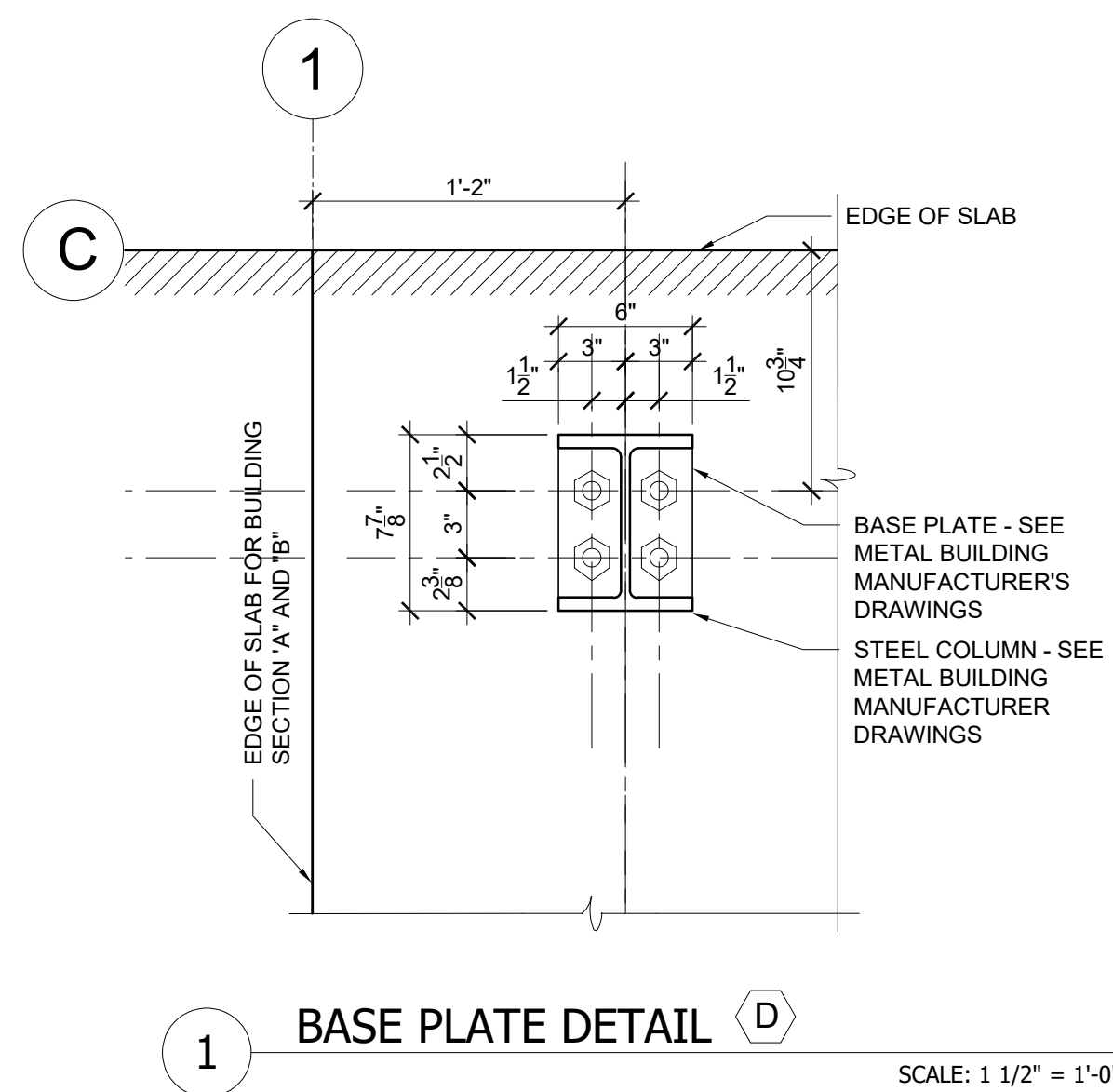
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Project : 202504

Sheet Number :

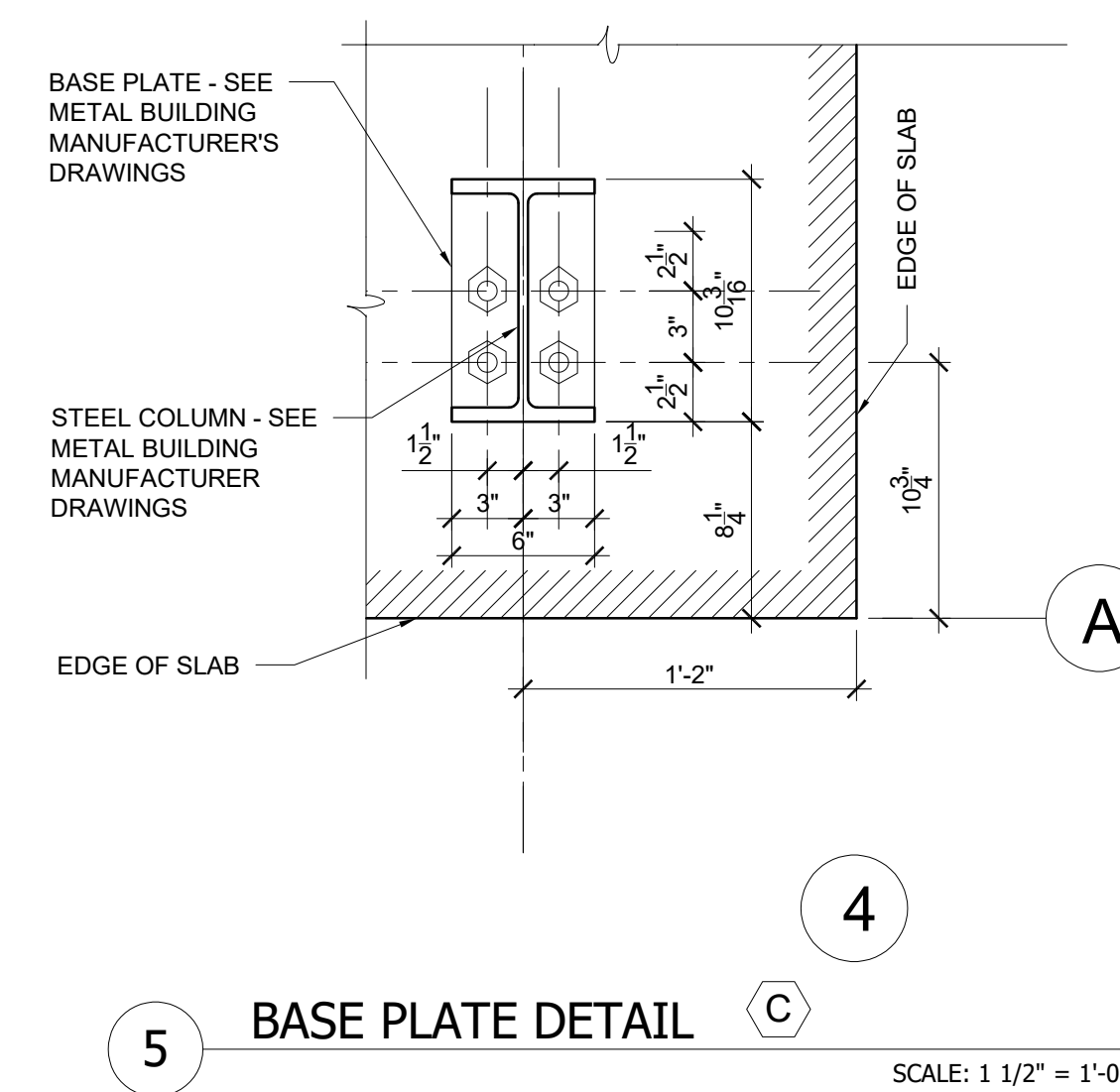
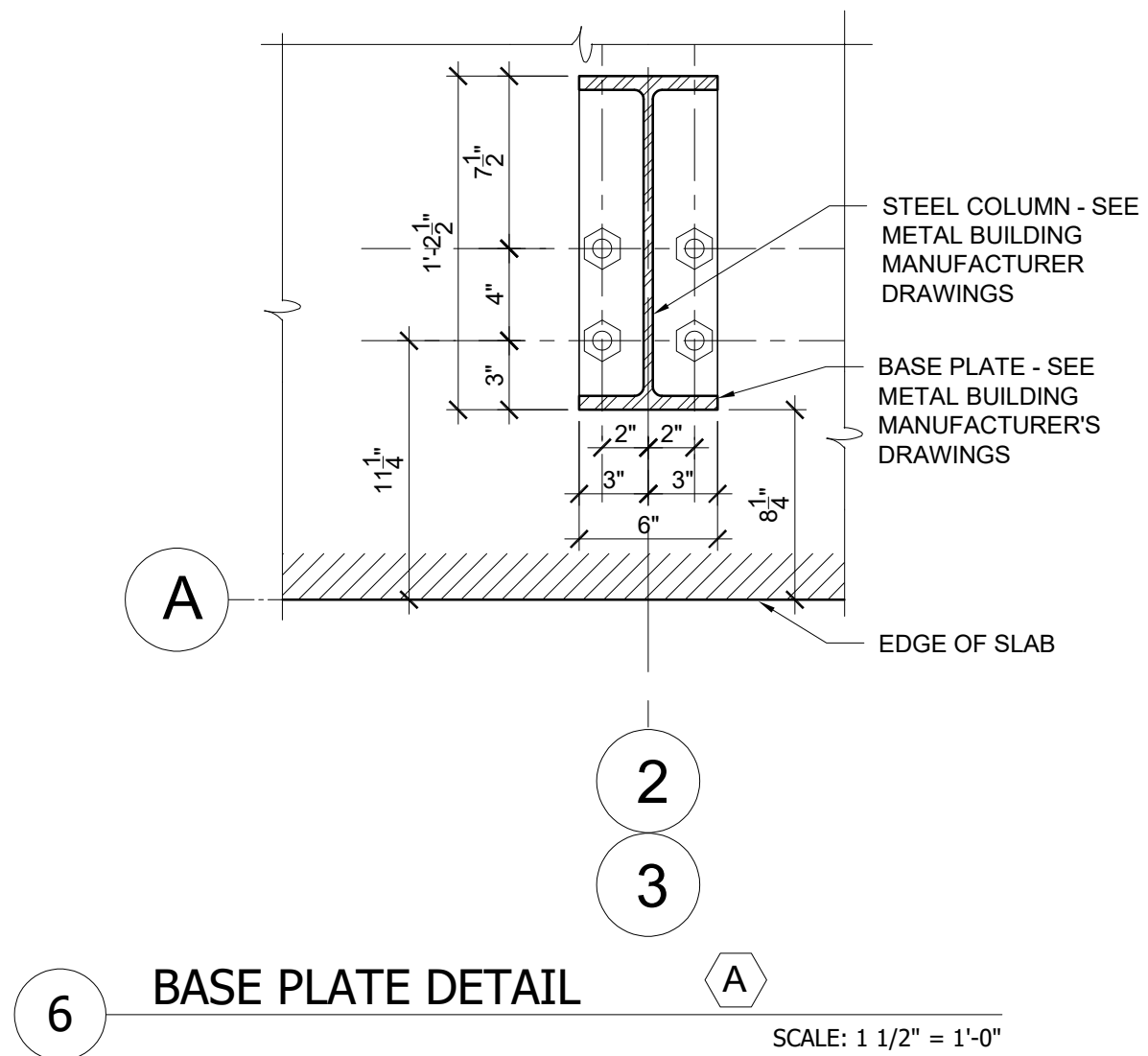
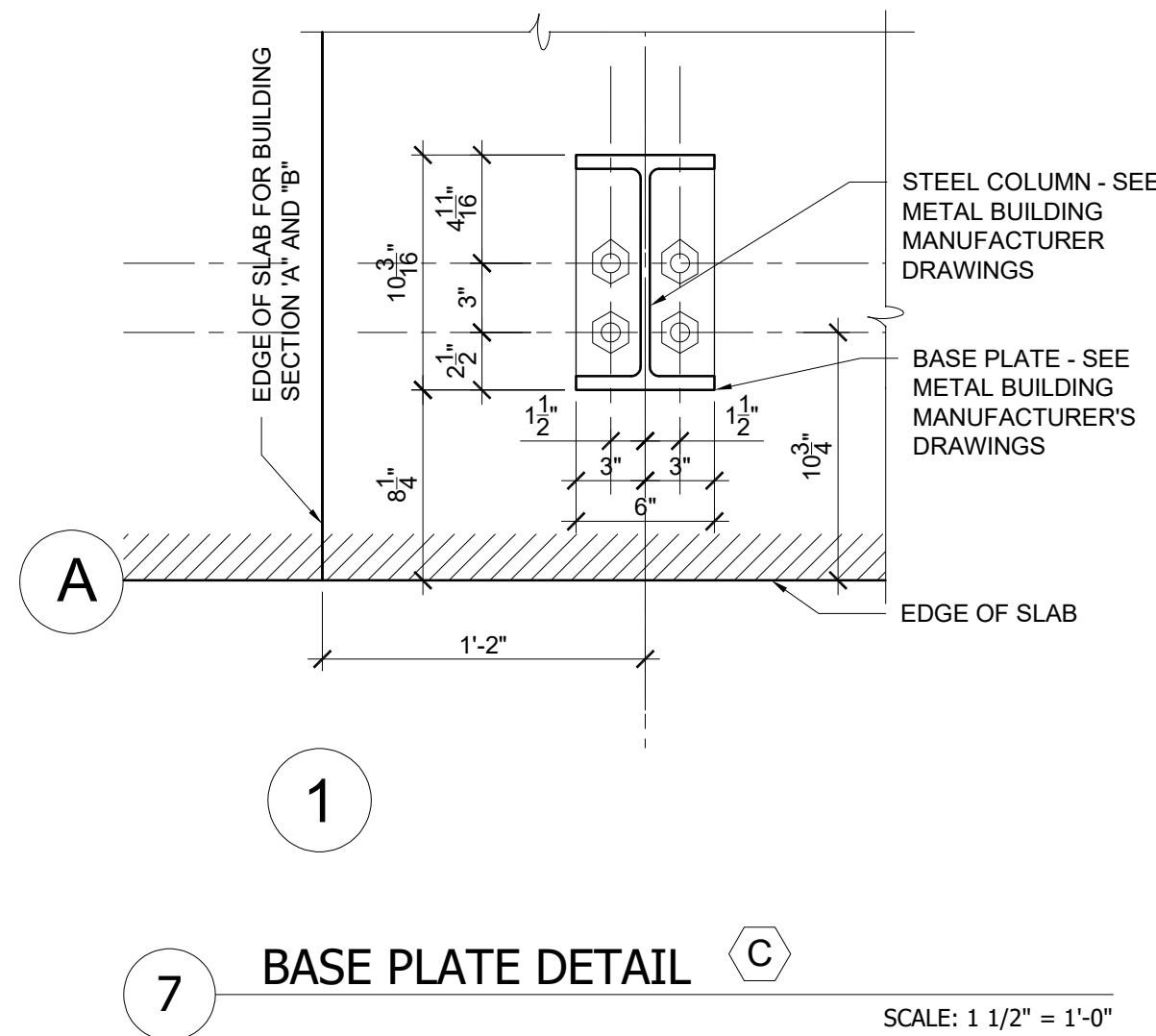
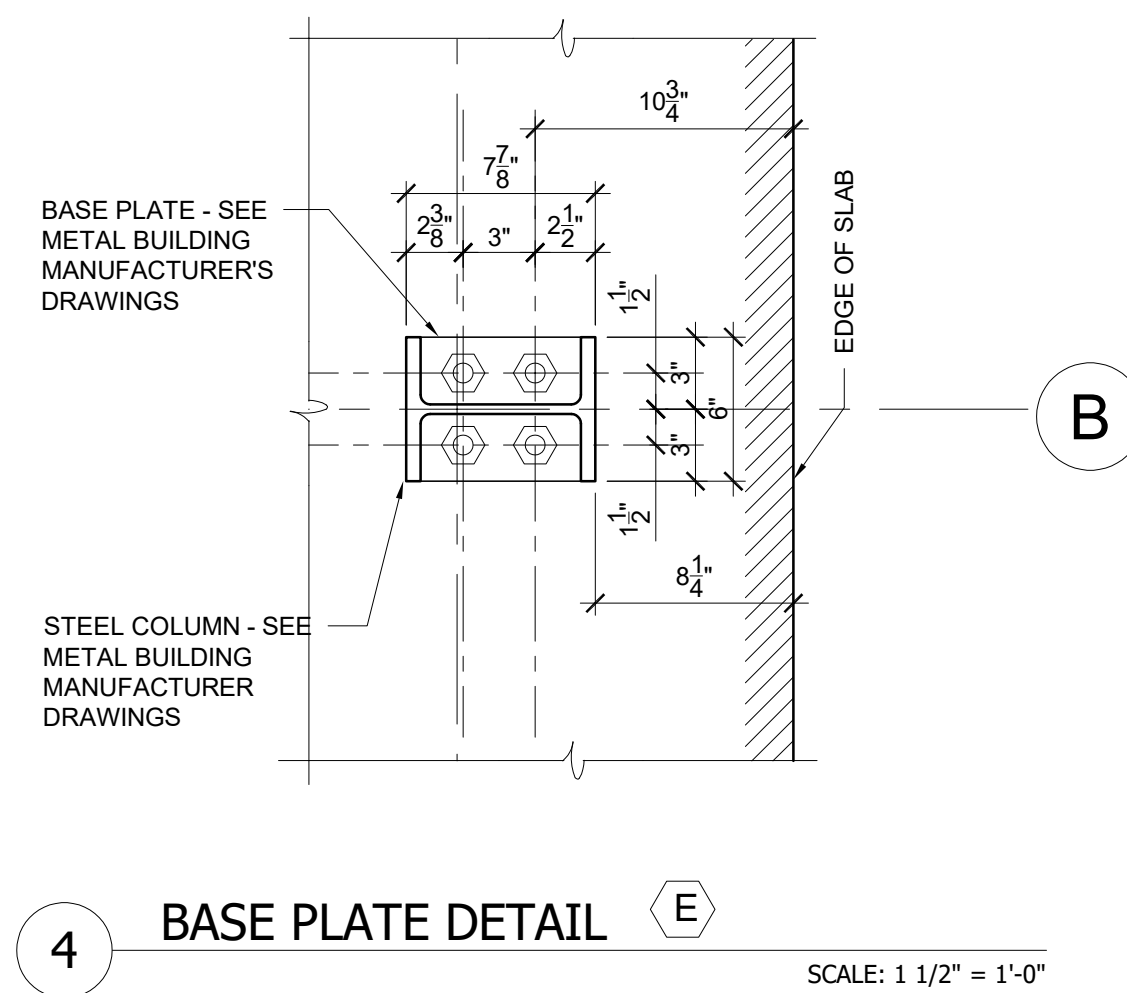
S-101

Foundation Plan



BUILDING SECTION "A"

- SHEET NOTES:**
- ALL INFORMATION IS TAKEN FROM THE STEEL BUILDING DESIGN BY METALLIC, INC.
 - * = DENOTES THE BASE PLATE DETAILS ON PLANS PREPARED BY METALLIC, INC.



REVISIONS :		
No.	Description	Date

Date :	September 26, 2025
Scale :	As Noted
File Number :	S-102.dwg
Drawn :	TES
Project :	202504
Sheet Number :	S-102

WAUKESHA IRON & METAL
FINES BUILDING
1351 EAST MAIN STREET
WAUKESHA, WI 53186

REVISIONS :

No.	Description	Date

Date : September 26, 2025

Scale : As Noted

File Number : S-103.dwg

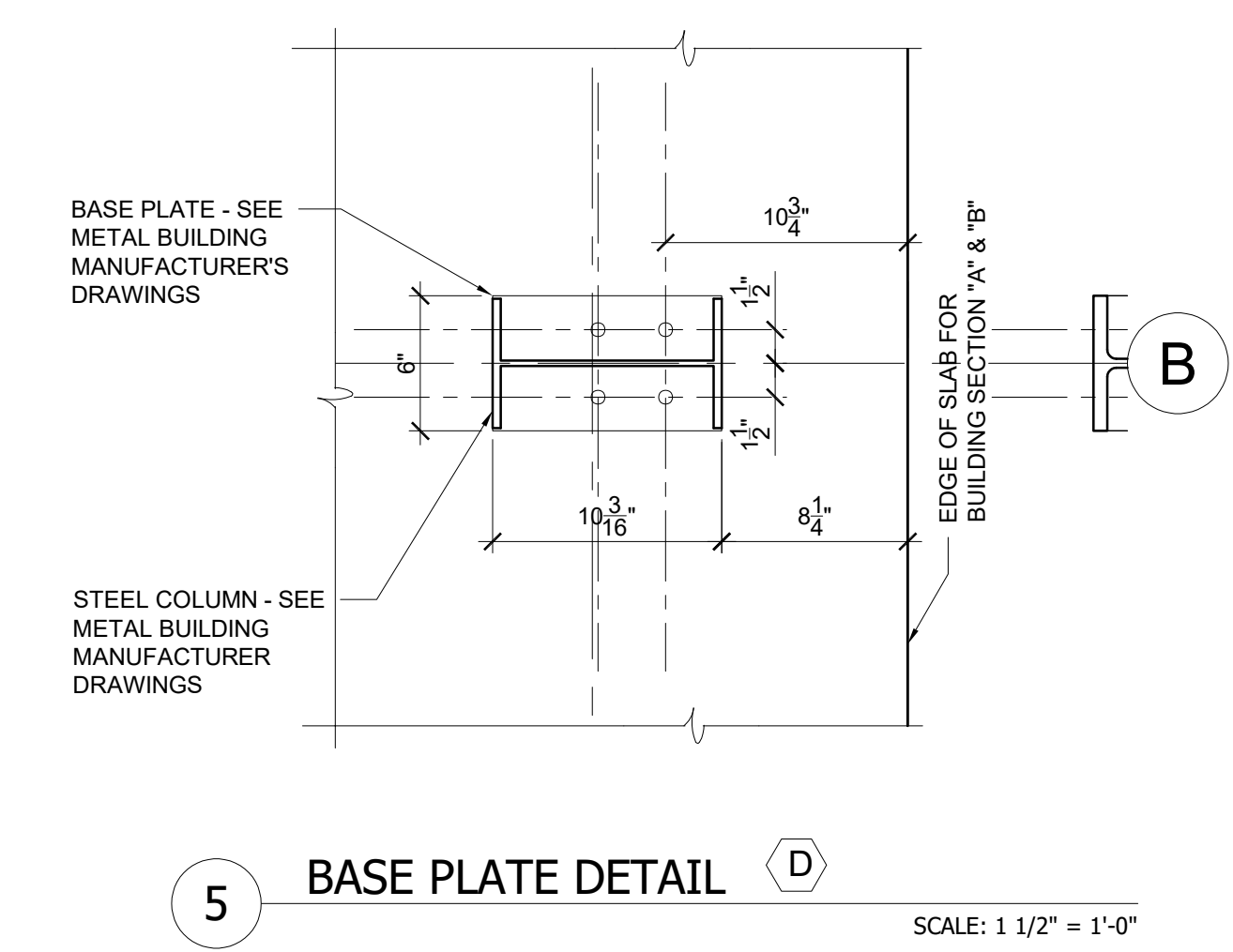
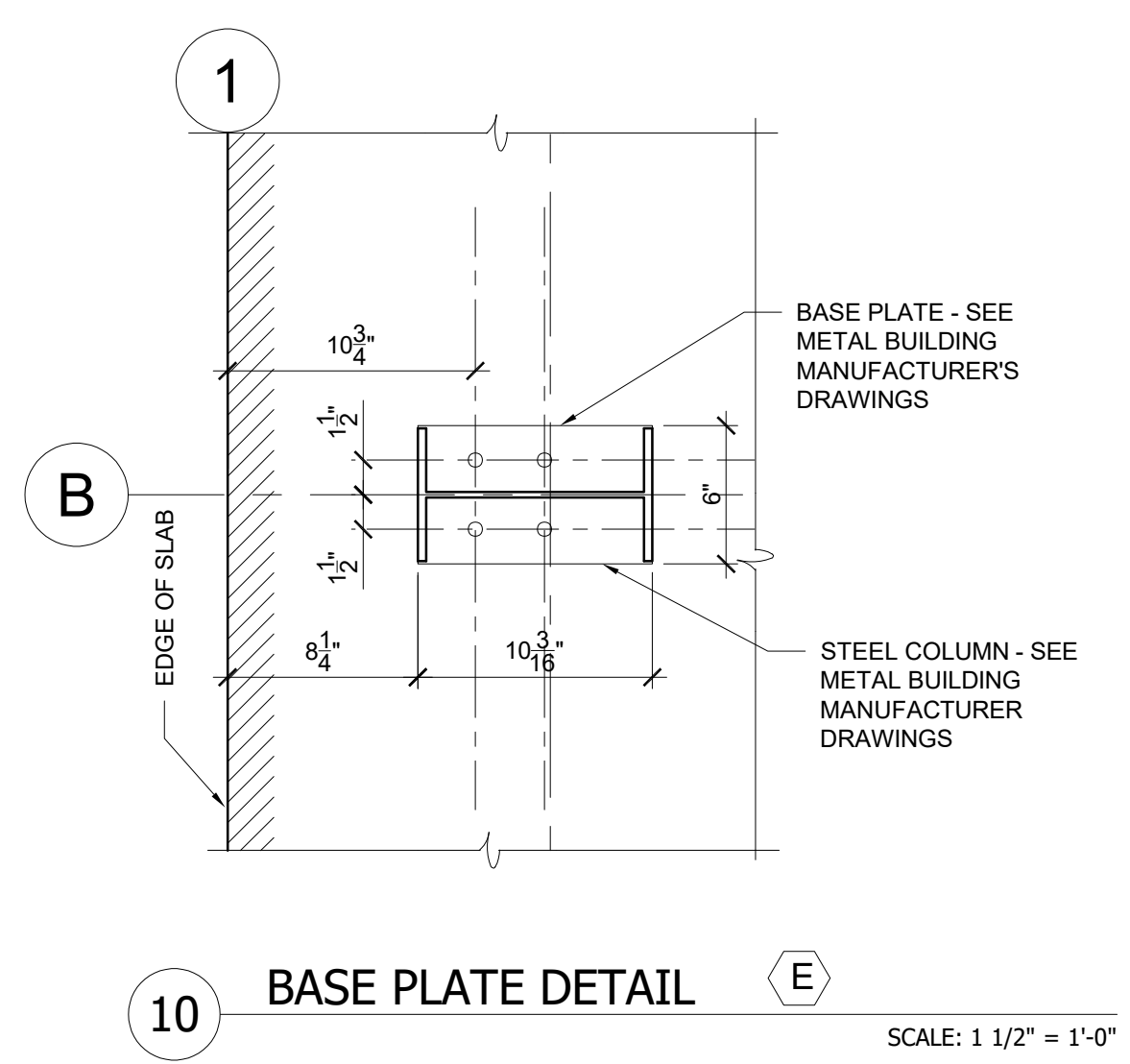
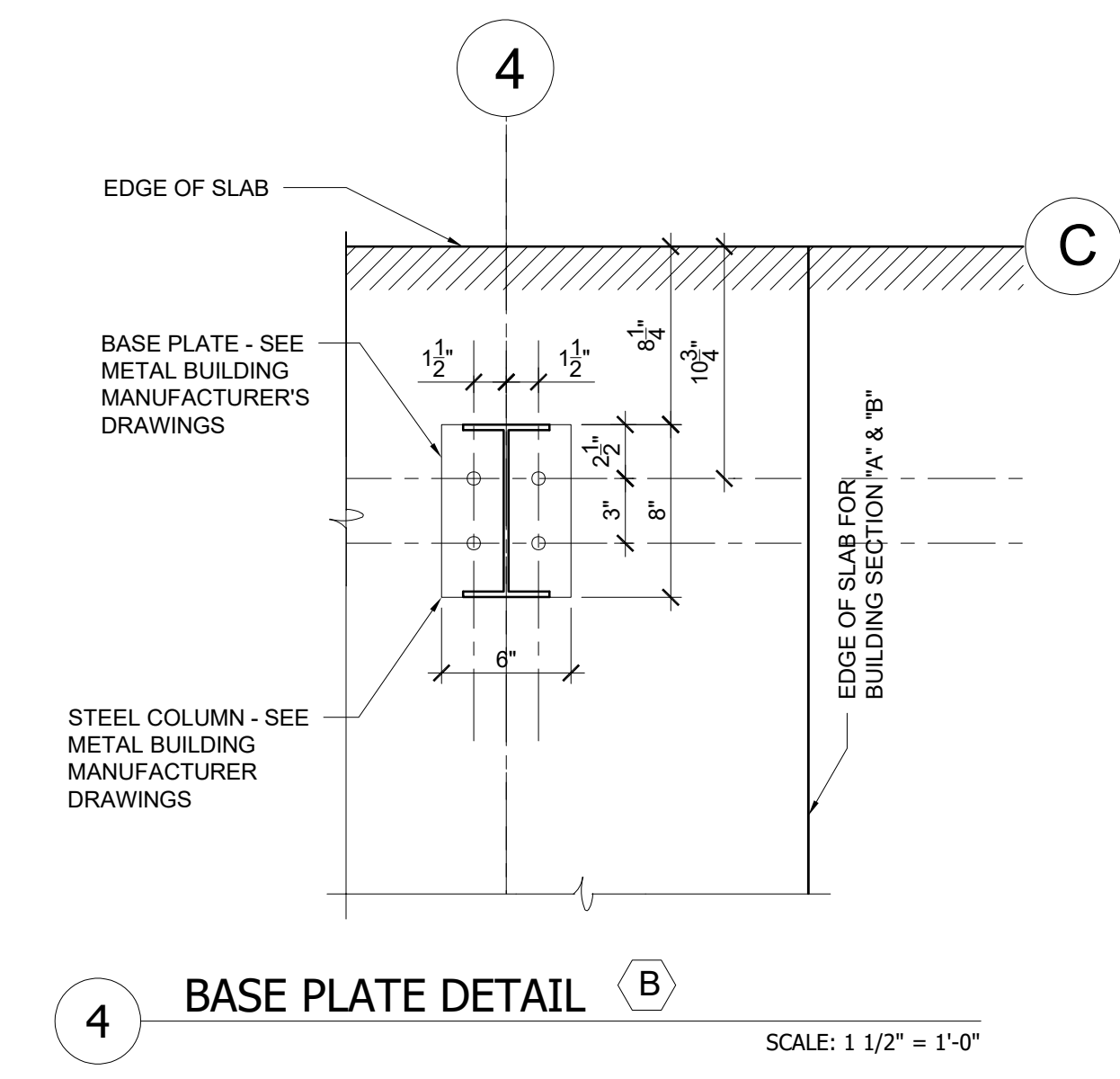
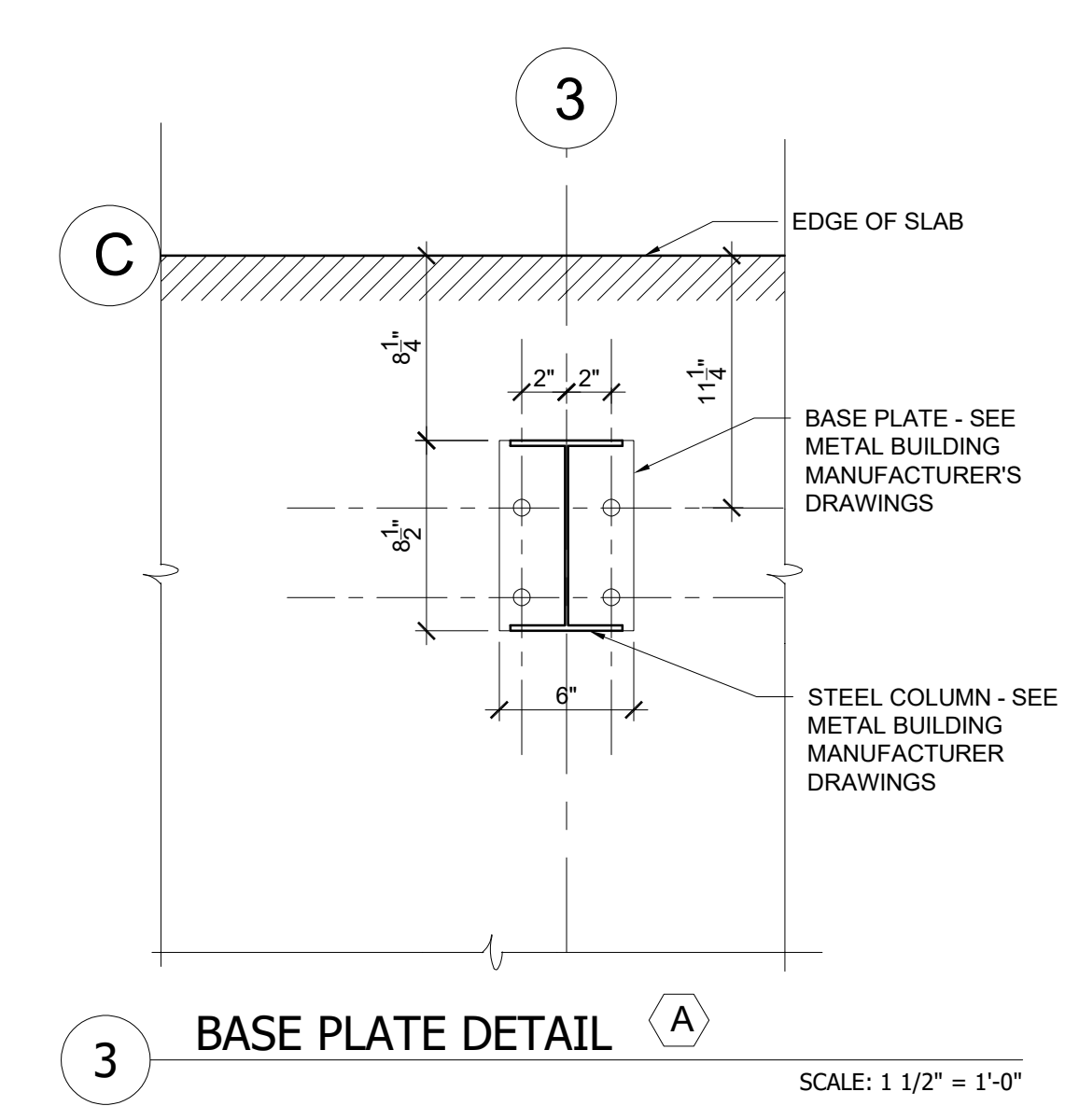
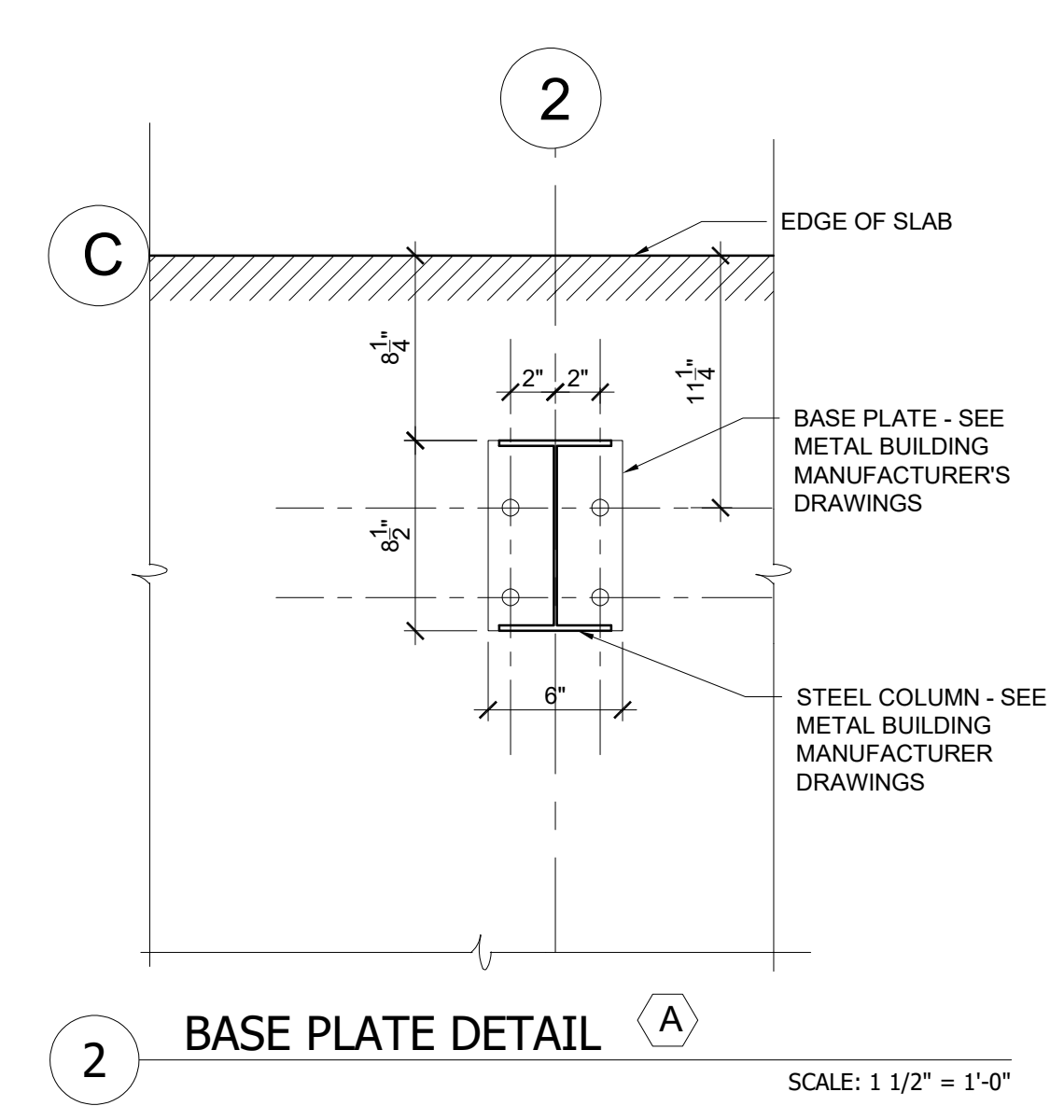
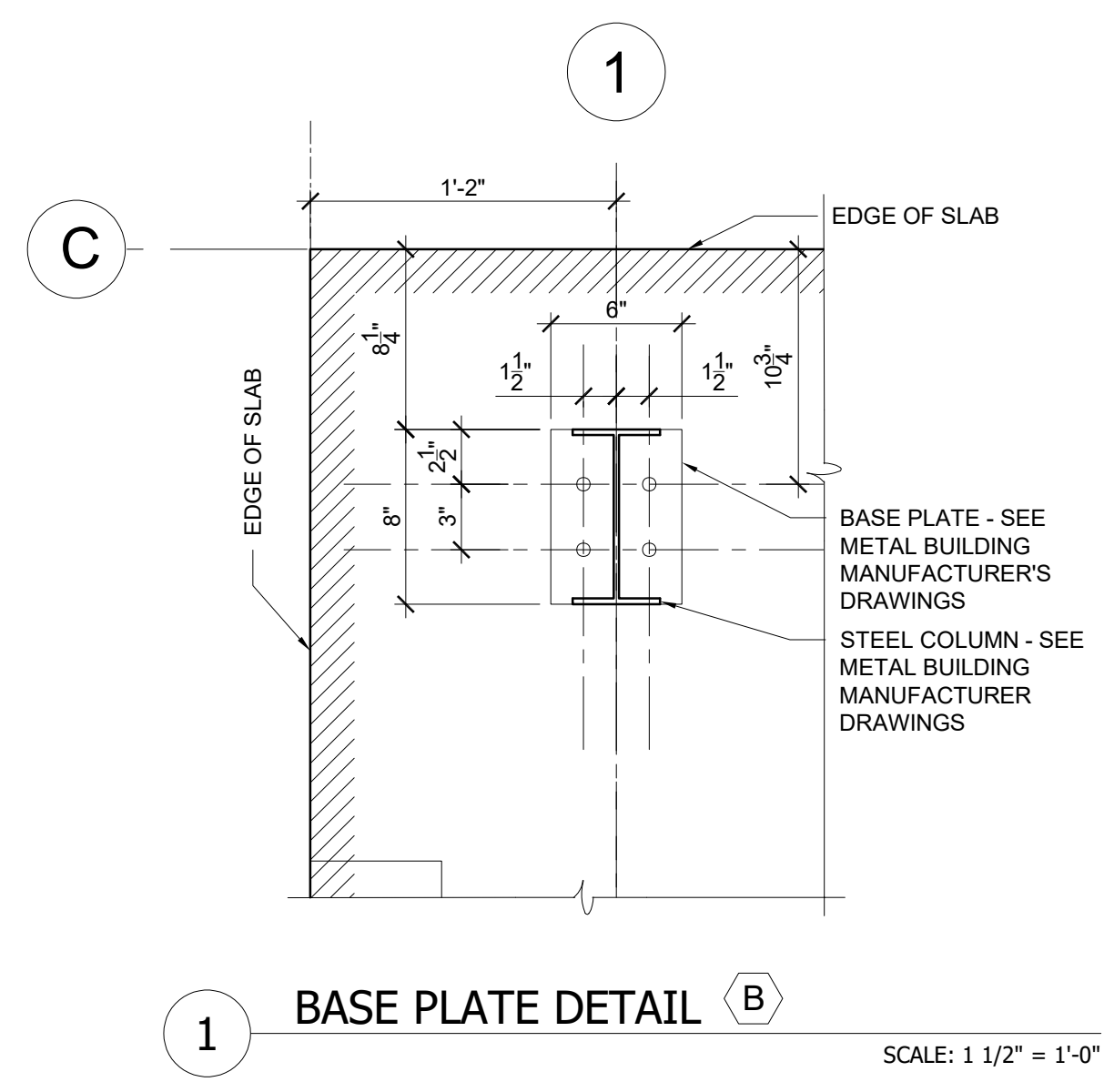
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Project : 202504

Sheet Number :

S-103

Base Plate Details



BUILDING SECTION "B"

- SHEET NOTES:**
1. ALL INFORMATION IS TAKEN FROM THE STEEL BUILDING DESIGN BY METALLIC, INC.
 2. * = DENOTES THE BASE PLATE DETAILS ON PLANS PREPARED BY METALLIC, INC.

