

Jerry Zeker Project

Deck Demo, Siding and Window Install

1324 E Moreland Blvd

Waukesha, WI 53186

Submitted: September 30, 2025

Project Details: Demo and disposal of existing deck entirely. Frame and install windows. Trim inside and outside of windows. Install new, matching cedar siding in rim joist area by doors.

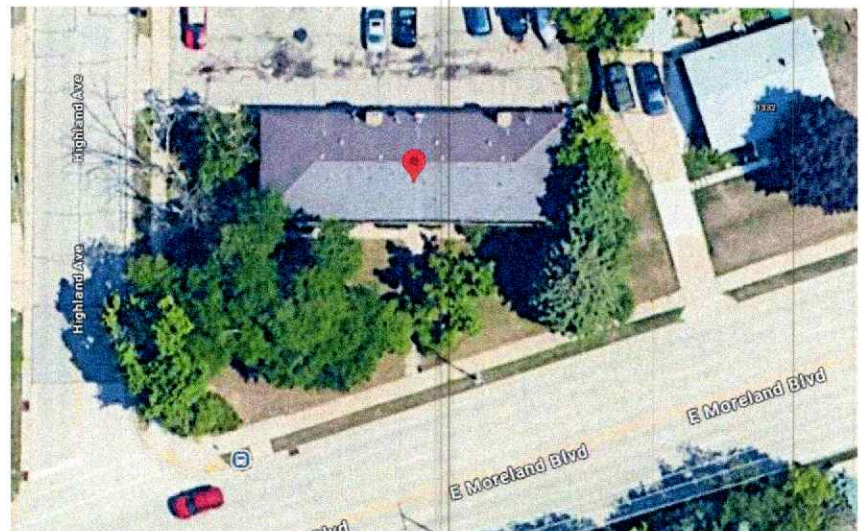
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City of Waukesha

Application for Development Review

Last Revision
Date:
January 2025

City of Waukesha Community Development Department - 201 Delafield Street, Waukesha, WI 53188 262-524-3750
City of Waukesha Department of Public Works Engineering Division—201 Delafield Street, Waukesha, WI 53188 262-524-3600
www.waukesha-wi.gov

APPLICANT INFORMATION

Applicant Name: Cody Zibung
Applicant Company Name: Excel Custom Decks
Address: 12000 W Le Mile Rd
City, State: Franksville, WI Zip: 53126
Phone: (414) 333-1888
E-Mail: CZibung@excelcontractor.com

PROPERTY OWNER INFORMATION

Applicant Name: Jerry Zeker
Applicant Company Name: _____
Address: 1324 E Moreland Blvd
City, State: Waukesha, WI Zip: 53186
Phone: (414) 219-5265
E-Mail: bigfishzeke@aol.com

ARCHITECT/ENGINEER/SURVEYOR INFORMATION

Name: _____
Company Name: _____
Address: _____
City, State: _____ Zip: _____
Phone: _____
E-Mail: _____

PROJECT & PROPERTY INFORMATION

Project Name: Deck Demotion, Siding + Window Installation
Property Address 1324 E Moreland Blvd
Tax Key Number(s): WAKC 100 4095
Zoning: Class 2
Total Acreage: 0.42 Existing Building Square Footage 3,200
Proposed Building/Addition Square Footage: 0
Current Use of Property: Rental Units

PROJECT SUMMARY (Please provide a brief project description.)

Demo + Disposal of existing deck entirely. Frame + install windows. Trim inside +
out. Install new matching cedar siding in rim joist area

All submittals require a complete scaled set of digital plans (Adobe PDF) and shall include a project location map showing a 1/2 mile radius, a COLOR landscape plan, COLOR building elevation plans, and exterior lighting photometric maps and cut sheets. A pre-application meeting is required prior to submittal of any applications for Subdivisions, Planned Unit Developments, and Site and Architectural Plan Review. The deadline for all applications requiring Plan Commission Reviews is Monday at 4:00 P.M., 30 days prior to the meeting date. The Plan Commission meets the **Fourth Wednesday** of each month.

APPLICATION ACKNOWLEDGEMENT AND SIGNATURES

I hereby certify that I have reviewed the City of Waukesha Development Handbook, City Ordinances, Submittal Requirements and Checklists and have provided one PDF of all required information. Any missing or incomplete information may result in a delay of the review of your application. By signing this I also authorize The City of Waukesha or its agents to enter upon the property for the purpose of reviewing this application.

Applicant Signature: [Signature]
Applicant Name (Please Print): Cody Zibung
Date: 7/30/25

For Internal Use Only:

Amount Due (total from page 2): _____	Amount Paid: _____	Check #: _____
Trakit ID(s): _____		Date Paid: _____

City of Waukesha Application for Development Review

TYPE OF APPLICATION & FEES (CHECK ALL THAT APPLY) Please note that each application type has different submittal requirements. Detailed submittal checklists can be found in Appendix A of the Development Handbook.

FEES

☒ **Plan Commission Consultation/Conceptual Review \$390**

\$390

☐ **Traffic Impact Analysis**

☐ Commercial, Industrial, Institutional, and Other Non-Residential **\$480**

☐ Residential Subdivision or Multi-Family **\$480**

☐ Resubmittal (3rd and all subsequent submittals) **\$480**

ONE OF THE THREE FOLLOWING ITEMS IS REQUIRED FOR SITE PLAN & ARCHITECTURAL REVIEWS (*):

* ☐ **Preliminary Site Plan & Architectural Review**

Engineering Review Deposit \$5,000 + _____

☐ Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$2,240**

☐ Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$2,460**

☐ Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$2,680**

☐ Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres **\$2,900**

☐ Resubmittal Fees (after 2 permitted reviews) **\$750**

* ☐ **Final Site Plan & Architectural Review**

Engineering Review Deposit \$5,000 + _____

☐ Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$1,360**

☐ Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$1,480**

☐ Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$1,700**

☐ Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres **\$2,020**

☐ Resubmittal Fees (3rd and all subsequent submittals) **\$750**

* ☐ **Minor Site Plan & Architectural Review (total site disturbance UNDER 3,000 total square feet)**

☐ Projects that do not require site development plans **\$420**

☐ Resubmittal Fees (3rd and all subsequent submittals) **\$420**

☐ **Certified Survey Map (CSM)**

Engineering Review Deposit \$750 or \$2,500 (see schedule) + _____

☐ 1-3 Lots **\$690**

☐ 4 lots or more **\$750**

☐ Resubmittal (3rd and all subsequent submittals) **\$180**

☐ Extra-territorial CSM **\$450**

☐ **Preliminary Subdivision Plat**

Engineering Review Deposit \$7,500 + _____

☐ Up to 12 lots **\$1,335**

☐ 13 to 32 lots **\$1,530**

☐ 36 lots or more **\$1,750**

☐ Resubmittal (3rd and all subsequent submittals) **\$695**

☐ **Final Subdivision Plat (Final Site Plan Review is also required.)**

Engineering Review Deposit \$7,500 + _____

☐ Up to 12 lots **\$750**

☐ 13 to 32 lots **\$995**

☐ 36 lots or more **\$1,215**

☐ Resubmittal (3rd and all subsequent submittals) **\$695**

☐ Extra-territorial Plat **\$930**

☐ **Rezoning and/or Land Use Plan Amendment**

☐ Rezoning **\$745**

☐ Land Use Plan Amendment **\$705**

☐ **Conditional Use Permit**

☐ Conditional Use Permit with no site plan changes **\$530**

☐ Conditional Use Permit with site plan changes **\$570** plus applicable preliminary and final site plan fees above

☐ **Planned Unit Development or Developer's Agreement (Site Plan Review is also required)**

☐ New Planned Unit Development or Developer's Agreement **\$2,000**

☐ Planned Unit Development or Developer's Agreement Amendment **\$960**

☐ **Annexation NO CHARGE**

☐ **House/Building Move \$150**

☐ **Street or Alley Vacations \$465**

TOTAL APPLICATION FEES:

Engineering Review Deposit Total = _____ Application Fee Total =

\$390

City of Waukesha

Development Review Submittal Requirements

PLAN COMMISSION CONSULTATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Plan Commission Consultation may be submitted for review and comment for the owner/developer to ascertain the feasibility of a proposed project. A consultation is not required but may be submitted in advance of an actual submittal for a preliminary plat, CSM, Planned Unit Development, rezoning, conditional use or site plan. The Plan Commission will only provide feedback, no approvals will be given. Prior to applying for a Plan Commission Consultation you must discuss your project with the Planning Division to determine if a Plan Commission Consultation is recommended.

Review Time: Approximately 30 days

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission (optional)

In addition to this application and corresponding application fee you will also need:

- ☒ One (1) digital (PDF) copy of the plans you want conceptual review of
- ☒ Attachment A: Development Review Checklist. You should also review all other corresponding checklists that relate to the project that you are seeking conceptual review of and include as much information as possible.
- ☒ Cover letter outlining project details.

TRAFFIC IMPACT ANALYSIS SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Traffic Impact Analysis is required for projects that meet certain criteria. Please refer to the Developer's Handbook Section 4.4 to determine if your project requires a Traffic Impact Analysis.

Review Time: Approximately 30 days

Reviewing Departments: Public Works Engineering Division

Reviewing Boards: None, however the Plan Commission may require a copy as part of site plan review process.

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) copy of the Traffic Impact Analysis

PRELIMINARY SITE PLAN & ARCHITECTURAL REVIEW SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Preliminary site and architectural plans are required for any new residential development with 4 or more units and all non-residential developments. Preliminary site plan approval is also required for additions or modifications to existing developments and projects where a stormwater management plan is needed. Preliminary approval is required unless it is determined by City staff in the Pre-Application meeting that the project only needs Final Site and Architectural Review.

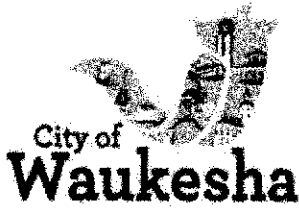
Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Cover letter outlining project details.
 - ☐ Color architectural elevations of all sides of the building and color perspective renderings
 - ☐ Conceptual Landscape Plan
 - ☐ Attachment A: Development Review Checklist
 - ☐ Site Plan (see Attachment B: Engineering Plan Checklist)
 - ☐ Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
 - ☐ Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)
 - ☐ Utility Plans (see Attachment H: Sewer Plan Review Checklist)
 - ☐ Any other attachments as applicable.



City of Waukesha
Department of Public Works
201 Delafield Street
Waukesha, WI 53188
Waukesha-wi.gov

Engineering Plan Checklist

Attachment A

(Rev 04/24)

Project Name: Deck Demo, Siding + Window Install - Zeker - 1324 E Moreland Blvd - 9.30.25

Engineering & Design Firm: Excel Custom Decks

General Information

Plans shall include the seal and signature of the Wisconsin licensed professional engineer responsible for the preparation of the construction plans on the cover sheet or on each sheet

YES	NO	N/A	
☐	☐	☒	Provide a copy of the WisDOT permit for any work in the State of Wisconsin right of way.
☐	☐	☒	Provide a copy of the Waukesha County Department of Public Works permit for any work in right of way of Waukesha County.
☐	☐	☒	Provide a copy of Wisconsin Department of Natural Resources Water Resources Application for Project Permits (WRAPP) for all sites greater than one acre.
☐	☐	☒	Provide a copy of US Army Corps of Engineers 404 permit.
☐	☐	☒	Provide cross access agreements for use of entrances.
☐	☐	☒	Provide off-site utility easements.
☐	☐	☒	Provide hydraulic gradeline calculations for all storm sewer pipes signed and sealed by a professional engineer licensed in the State of Wisconsin.
☐	☐	☒	Provide a storm water management plan and calculations signed and sealed by a professional engineer licensed in the State of Wisconsin.

All Plan Sheets

YES	NO	N/A	
☒	☐	☐	Plans prepared on sheets measuring 11" high by 17" wide or no larger than 24" high by 36" wide.
☐	☐	☒	Sanitary Sewer, watermain and storm sewer system plans for the entire development are included.
☒	☐	☐	A profile view is located below a plan view on plan and profile sheets and both views are aligned by stationing whenever possible. In general, stationing is from left to right.
☒	☐	☐	Plan and profile sheets start and terminate at match lines.
☐	☐	☒	The assumed bearing base, control monuments and stationing reference line(s)
☐	☐	☒	Right-of-way limits and easement limits
☐	☐	☒	Edge of pavement or flange, face and back of curb
☐	☐	☒	Name of each existing, proposed, and future roadway and any intersecting roadways

☒	☐	☒	Lot lines, lot and block numbers
☒	☐	☐	Addresses and names of Owners for existing parcels
☒	☐	☐	All obstructions located within the project limits including, but not limited to: trees, signs, utilities, fences, light poles, structures, etc.
☒	☐	☐	A note warning that underground utilities must be located by "Diggers Hotline" prior to start of construction
☐	☐	☒	Legend (relevant to each sheet) showing all special symbols, line types and hatch used
☒	☐	☐	Title block includes at a minimum, the following information: Name and address of engineering (design) firm and owner/developer Date of the drawing and last revision Scale Plan sheet number (# of #) Name and location description of development
☐	☐	☒	North to the top or right of the sheet and shown by a north arrow, clearly shown without intrusion.
☒	☐	☐	Scale of the plans 1" = 40' horizontally and 1" = 8' vertically for 11" by 17" plan sheets and 1" = 20' horizontally and 1" = 4' vertically for 22" by 34" sheets. Partial site plans have a scale of 1" = 20' or larger. The scale of details is such that the detail is clearly shown. The scale is shown with a line scale and text.
☐	☐	☒	Existing surface objects indicated with screened lines and clearly labeled.

Cover Sheet

YES	NO	N/A	
☒	☐	☐	Project title.
☒	☐	☐	Location Map (Proximity to two main streets minimum).
☒	☐	☐	Index of all plan sheets
☐	☐	☒	For large or phased subdivisions, a key map of layout and phases.
☐	☐	☒	Reference to a minimum of two (2) current SEWRPC reference benchmarks shall be required. Survey documentation references- Horizontal: North American Datum of 1983/2011; Vertical: North American Vertical Datum of 1988 (12)
☐	☐	☒	All permanent or temporary benchmarks and elevations.
☐	☐	☒	A description of the locations of the benchmarks; and the basis or origin of the vertical control network.
☒	☐	☐	Date of plan preparation and applicable revision date(s)
☒	☐	☐	The following statement: "All site improvements and construction shown on the plans shall conform to the City of Waukesha <u>Development Handbook & Infrastructure Specifications</u> . Where the plans do not comply, it shall be the sole responsibility and expense of the Developer to make revisions to the plans and/or constructed infrastructure to comply."

Roadway

YES	NO	N/A	
☐	☐	☒	For all new streets, a site specific geotechnical evaluation and pavement design submitted with the plans.
☐	☐	☒	A separate detail sheet showing typical cross-sections for each roadway standard width and cul-de-sac if applicable.
☐	☐	☒	Separate sheets showing any pavement markings to be installed within the public right-of-way.

Plan View

YES	NO	N/A	
☐	☐	☒	The assumed bearing base, control monuments and stationing reference line along the centerline of the roadway, including cul-de-sacs.
☐	☐	☒	At least one clearly labeled benchmark or control point per sheet.
☐	☐	☒	Pavement and median dimensions.
☐	☐	☒	Final grade elevations at 25' intervals at the right-of-way including at the edge of pavement for rural sections or at the flange of curb for urban sections.
☐	☐	☒	Final grade elevations for cul-de-sacs at 25' intervals at the right-of-way including at the edge of pavement for rural sections or at the flange of curb for urban sections.
☐	☐	☒	Label all PVC's, PVT's, and PC's, PT's for vertical and horizontal curves. Radii of all intersections (edge of pavement or flange of curb, with note indicating which is referenced).
☐	☐	☒	Driveways for all lots adjacent to storm inlets and intersections.
☐	☐	☒	Sidewalks labeled and dimensioned.
☐	☐	☒	Existing, proposed, future streets and drives labeled and dimensioned.
☐	☐	☒	All roadside ditch locations, flowline elevations at 50' intervals of the ditches.
☐	☐	☐	Slope intercepts.
☐	☐	☒	Invert profile for 200' downstream for any existing ditches receiving flow from a proposed road or street.
☒	☐	☐	Limits of any areas which need special stabilization techniques.
☐	☐	☒	Specific details of all existing connected roadways. Pavement, shoulders, ditches, curb alignment, and grades shall be shown as needed to adequately make the transition.

Intersection Details

YES	NO	N/A	
☐	☐	☒	Radii of all intersections (edge of pavement or flange of curb, with note indicating which is referenced).
☐	☐	☒	Sidewalks and accessible ramps labeled and dimensioned.
☐	☐	☒	Right of way corner clips and sight visibility easements.
☐	☐	☒	Spot grades as necessary to ensure proper drainage and compliant ADA slopes.
☐	☐	☒	Spot grades shall be shown at end of radius for all curb and gutter and the end radius for all back of sidewalk.
☐	☐	☒	Drainage clarified by flow arrows, high points, sags, ridges, etc. Slope intercepts shall be clearly labeled by station, elevation to the nearest 0.1', and offset distance (left or right) from the reference line.
☐	☐	☒	Invert elevation of ditches (for rural roadway).
☐	☐	☒	Final subgrade elevation at the centerline of the street or roadway.

Cross Sections

YES	NO	N/A	
☐	☐	☒	Right of way limits.
☐	☐	☒	Slope intercepts clearly labeled.
☐	☐	☒	Elevations to the nearest 0.01'.
☐	☐	☒	Offset distance (left or right) from the reference line.
☐	☐	☒	Final grade elevations at back of walk, face of walk, top of curb, flange elevation (edge of pavement for rural section), and the centerline of the street or roadway.
☐	☐	☒	Cross slope of sidewalk, terrace area, and roadway.
☐	☐	☒	Invert elevation of ditches (for rural section)