



City of Waukesha
201 Delafield Street
Waukesha, WI 53188
Tel: 262.542.3700
waukesha-wi.gov

City of Waukesha Cover Sheet

Committee: Board of Public Works	BPW Meeting Date: 10/23/2025
ID Number: ID#25-02404	Ordinance/Resolution Number (if applicable):
Department Submitting: Department of Public Works	Common Council Meeting Date: 11/04/2025
Agenda Item Title: Review and possible action on the Storm Water Management Practice Maintenance Agreement between City of Waukesha and GE Medical Systems, LLC, for the property located at 3000 N. Grandview Blvd.	

Issue Before the Council: The property owner will be constructing storm water facilities at their development site to address storm water quantity and quality requirements. Storm Water Maintenance Agreements are required to be recorded by the City's Storm Water Management Ordinance. The Storm Water Agreement requires that the Owners regularly inspect and maintain the storm water measures installed as part of the development and report the results of the inspection to the City Engineer two times per year. If the Agreement is not approved, then the Owner may not maintain the storm water facilities.
Options & Alternatives: N/A
Additional Details: See attached Storm Water Management Practice Maintenance Agreement.

What is the Strategic Plan Priority this item relates to: N/A
What impact will this item have on the Strategic Plan Priority? N/A

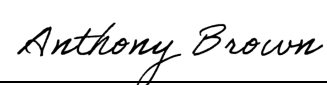
Financial Remarks:

There are no immediate costs to the City. This Agreement requires the property owners to arrange to complete future inspections of the storm water facility and provide a copy of the inspection report to the City, as listed in paragraph #3. The Agreement states that the City is able to levy the costs and expenses of inspections, maintenance, or repairs back to the property owner, if the owners do not complete the inspections, as listed in paragraph #5.

Suggested Motion:

Move to approve the Storm Water Management Practice Maintenance Agreement between City of Waukesha and GE Medical Systems, LLC, for the property located at 3000 N. Grandview Blvd.

Reviewed By:

City Attorney 	Date Reviewed 20 Oct 2025
Finance Director Joseph P. Ciarro	Date Reviewed
City Administrator Anthony W. Brown 	Date Reviewed 10/16/2025

Storm Water Management Practice Maintenance Agreement

Document Number

GE Medical Systems, LLC, as “Owner” of the property described below, in accordance with Chapter 32 City of Waukesha Storm Water Management and Erosion Control, agrees to install and maintain storm water management practice(s) on the subject property in accordance with approved plans and Storm Water Management Plan conditions. The owner further agrees to the terms stated in this document to ensure that the storm water management practice(s) continues serving the intended functions in perpetuity. This Agreement includes the following exhibits:

Exhibit A: Legal Description of the real estate for which this Agreement applies (“Property”).

Exhibit B: Location Map(s) – shows an accurate location of each storm water management practice affected by this Agreement.

Exhibit C: Maintenance Plan – prescribes those activities that must be carried out to maintain compliance with this Agreement.

Note: After construction verification has been accepted by the City of Waukesha, for all planned storm water management practices, an addendum(s) to this agreement shall be recorded by the Owner showing design and construction details. The addendum(s) may contain several additional exhibits, including certification by City of Waukesha of Storm Water and Erosion Control Permit termination, as described below.

Name and Return Address

City of Waukesha
201 Delafield Street
Waukesha, WI 53188

Parcel Identification Number(s)
WAKC0947999,

Through this Agreement, the Owner hereby subjects the Property to the following covenants, conditions and restrictions:

1. The Owner shall be responsible for the routine and extraordinary maintenance and repair of the storm water management practice(s) and drainage easements identified in Exhibit B until Storm Water and Erosion Control Permit termination by the City of Waukesha in accordance with Chapter 32 of the City Code of Ordinances.
2. After Storm Water and Erosion Control Permit termination under 1., the current Owner(s) shall be solely responsible for maintenance and repair of the storm water management practices and drainage easements in accordance with the maintenance plan contained in Exhibit C.
3. The Owner(s) shall, at their own cost, complete inspections of the storm water management practices at the time intervals listed in Exhibit C, and conduct the inspections by a qualified professional, file the reports with the City of Waukesha after each inspection and complete any maintenance or repair work recommended in the report. The Owner(s) shall be liable for the failure to undertake any maintenance or repairs. After the work is completed by the Contractor, the qualified professional shall verify that the work was properly completed and submit the follow-up report to the City within 30 days.
4. In addition, and independent of the requirements under paragraph 3 above, the City of Waukesha, or its designee, is authorized to access the property as necessary to conduct inspections of the storm water management practices or drainage easements to ascertain compliance with the intent of this Agreement and the activities prescribed in Exhibit C. The City of Waukesha may require work to be done which differs from the report described in paragraph 3 above, if the City of Waukesha reasonably concludes that such work is necessary and consistent with the intent of this agreement. Upon notification by the City of Waukesha of required maintenance or repairs, the Owner(s) shall complete the specified maintenance or repairs within a reasonable time frame determined by the City of Waukesha.
5. If the Owner(s) do not complete an inspection under 3. above or required maintenance or repairs under 4. above within the specified time period, the City of Waukesha is authorized, but not required, to perform the specified inspections, maintenance or repairs. In the case of an emergency situation, as determined by the City of Waukesha, no notice shall be required prior to the City of Waukesha performing emergency maintenance or repairs. The City of Waukesha may levy the costs and expenses of such inspections, maintenance or repair

related actions as a special charge against the Property and collected as such in accordance with the procedures under s. 66.0627 Wis. Stats. or subch. VII of ch. 66 Wis. Stats.

6. This Agreement shall run with the Property and be binding upon all heirs, successors and assigns. After the Owner records the addendum noted above, the City of Waukesha shall have the sole authority to modify this agreement upon a 30-day notice to the current Owner(s).

Dated this ____ day of _____, 2025.

Owner:
GE Medical Systems, LLC

By: _____

Name/Title:

Acknowledgements

State of Wisconsin:
County of Waukesha

Personally came before me this ____ day of _____, 2025, the above named _____ to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Waukesha County, WI

My commission expires: _____.

This document was drafted by:

Terry Meyer, P.E.
The Sigma Group, Inc.
1300 W. Canal Street
Milwaukee, WI 53233

For Certification Stamp

City of Waukesha Common Council Approval

Dated this ____ day of _____, 2025.

Shawn N. Reilly, Mayor

Katie Panella, City Clerk

Acknowledgements

State of Wisconsin:
County of Waukesha

Personally came before me this ____ day of _____, 2025, the above named _____ to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Waukesha County, WI
My commission expires:_____.

Exhibit A – Legal Description

The following description and reduced copy map identifies the land parcel(s) affected by this Agreement. For a larger scale view of the referenced document, contact the Waukesha County Register of Deeds office.

Project Identifier: GE HealthCare
Map Produced By: The Sigma Group

Acres: 307.60

Legal Description:

PT SW1/4, NW1/4, NE1/4 & SE1/4 SEC 21 & SE1/4 SEC 20 T7N R19E BEG W 1/4 COR SEC 21, N0 15'W ON W LI NW1/4 899.16', N87 30'44" E 2140', S2 29'16" E 425', N87 30'44" E 600', S2 29'16" E 500', S11 31'33" W 1570.11', SW ON ARC 675.87', S38 58'59" W 484.03', SW ON ARC 653.35', S80 21'W 1002.78', N0 34'3" W 1265.39', S89 15'40" W 661.74', N0 19'W 1327.34', N88 57'30" E 655.95' TO BEG EXCEPT CSM 11275 (V111 CSM P150); EXCEPT PT NE1/4 OF SE1/4 SEC 20 T7N R19E DESCRIBED AS ALL E1/2 OF AFORESAID NE1/4 OF SE1/4 SEC 20 (LEGAL DESCRIPTION PROVIDED BY OWNER) 172.13 AC DOC NO 4378543

PT NW1/4, NE1/4, SE1/4 & SW1/4 SEC 21 T7N R19E - COM W 1/4 COR SEC 21, N0 15'W ON W LI NW1/4 899.16' TO BEG, N0 15'W 1128', N87 30'44" E 2674.96', S0 8'23" E 27', N87 34'14" E 874.26' TO W LI GRANDVIEW BL, S1 58'10" E ON W LI 2049.03', SW ON ARC 991.72', S71 5'34" W 276.36', SW ON ARC 720.97', NW ON ARC 100', N11 31'33" E 1570.11', N2 29'16" W 500', S87 30'44" W 600', N2 29'16" W 425', S87 30'44" W 2140' TO BEG ALSO VACATED FATIMA DR ADDED (DESC IN RES NO 83-02) 136.33 AC DOC NO 4389543

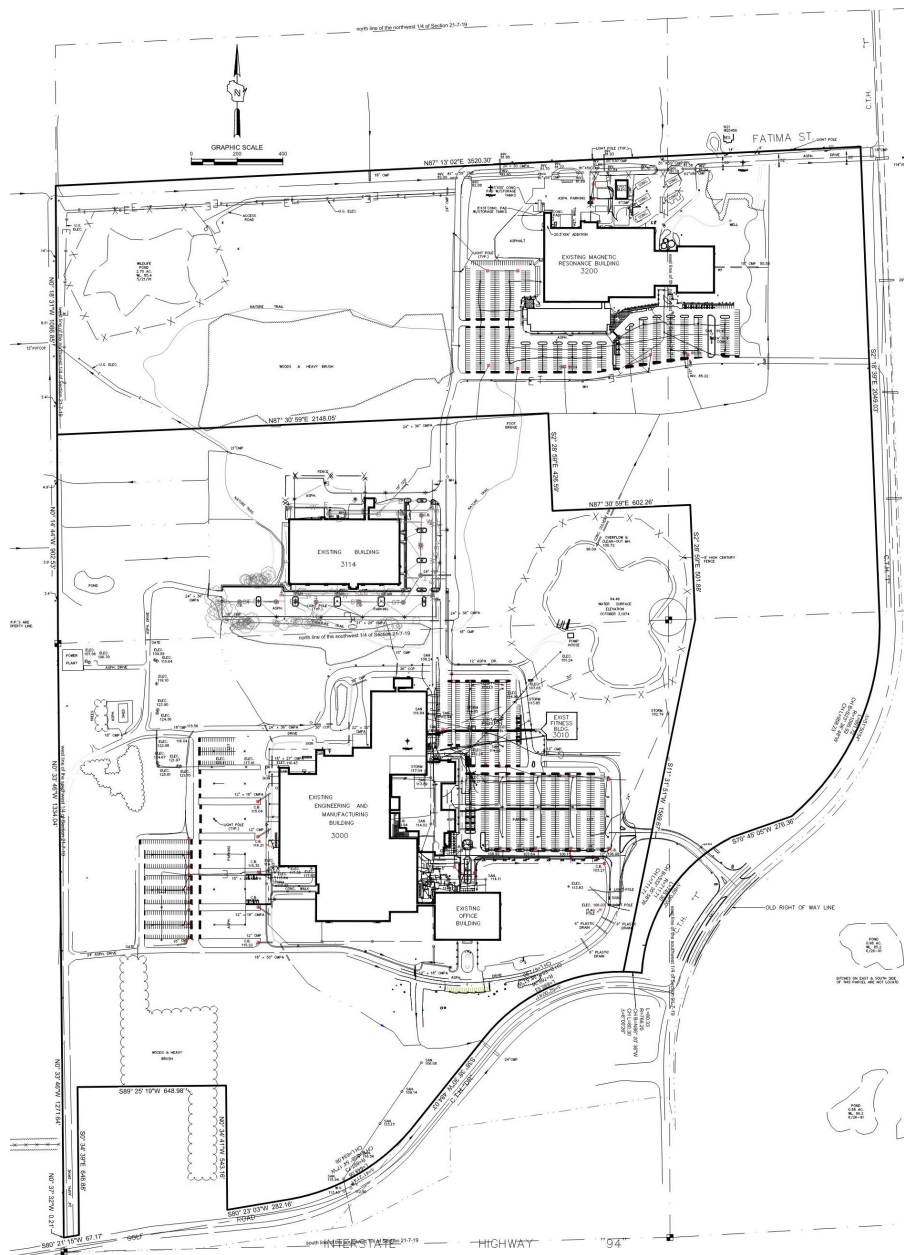


Exhibit B - Location Map

Storm Water Management Practices Covered by this Agreement

The stormwater management practices covered by this Agreement are depicted in the reduced copy of a portion of the construction plans, as shown below. The practices include general site stormwater maintenance and Up-flo filters, catch basins, and all associated pipes.

Development Name: GE HealthCare
Stormwater Practices: General Site Stormwater Maintenance, Upflo Filters
Location of Practices: As shown in Figure B1, B2, located at the property indicated on Exhibit A in the City of Waukesha, WI
Owner: GE Medical Systems, LLC
Drafter Name: The Sigma Group

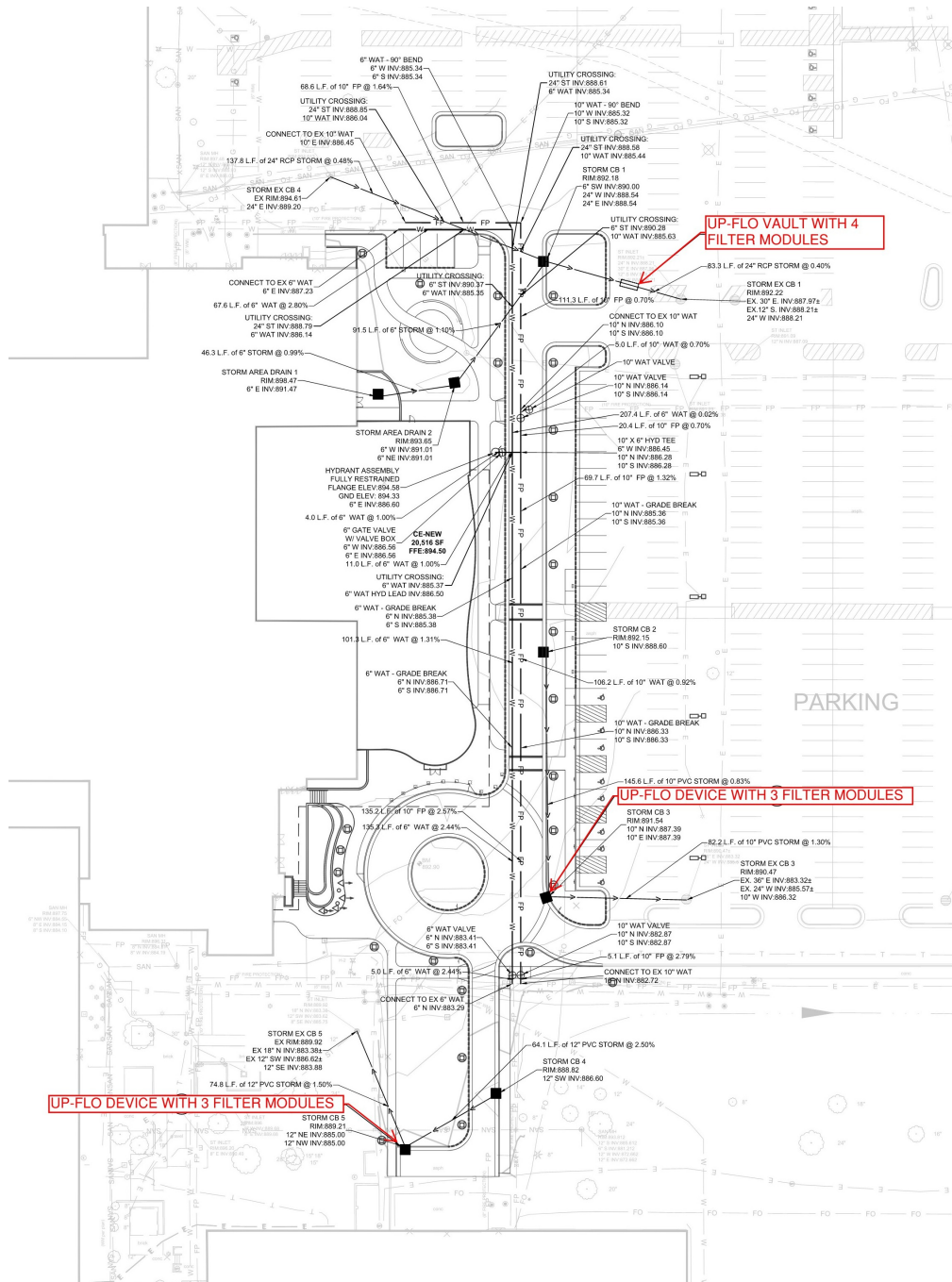


Exhibit C - Storm Water Practice Maintenance Plan

This exhibit explains the basic function of each of the storm water practices listed in Exhibit B and prescribes the minimum maintenance requirements to remain compliant with this Agreement. The maintenance activities listed below are aimed to ensure these practices continue serving their intended functions in perpetuity. The list of activities is not all inclusive, but rather indicates the minimum type of maintenance that can be expected for this particular site. Any failure of a storm water practice that is caused by a lack of maintenance will subject the Owner(s) to enforcement of the provisions listed on page 1 of this Agreement by the City of Waukesha.

Storm Sewer and Storm Catch Basins Description:

The storm sewer directs the storm water from catch basin to the storm water facilities for control and treatment. The storm catch basin will provide pretreatment for the underground system. Sediment will settle within the sump of the catch basin. "As-built" construction drawings, showing actual dimensions, elevations, outlet structures, etc. will be recorded as an addendum(s) to this agreement within 60 days after the City accepts verification of construction from the project engineer.

Minimum Maintenance Requirements:

To ensure the proper long-term function of the storm water management practices described above, the following activities must be completed by the Facility Manager every 6 months during the first year of operation. Adjust the inspection interval based on previous observations of sediment accumulation and high-water elevations:

1. Inspect all inlet/catch basins/area drains to ensure no clogging of the surface grates, or no blockage from floating debris or ice within the basins. Any blockage must be removed immediately.
2. Inspect the sump to determine the level of sediment build up. Remove sediment when it reaches a level within six inches of the discharge pipe invert.
3. Inspect the structural integrity of the structure/pipe connections. If any structural damage to the inlet/ catch basin structure/ pipe connections is identified the damage shall be repaired.
4. Inspect the pipe connections to ensure no clogging or blockage of the pipe. Any clogging or blockage must be removed immediately.
5. Any other repair or maintenance needed to ensure the continued function of the storm water practices or as ordered by the City under the provisions listed on page 1 of this Agreement.

Up-Flo Filter Description

The Up-Flo filter system provides treatment for the stormwater captured on site. The system is designed to capture trash, oil, sediment and remove fine pollutants.

Minimum Maintenance Requirements:

To ensure the proper long-term function of the storm water management practices described above, the following activities must be completed by the Facility Manager. An inspection and maintenance log for the devices is provided on the following pages:

1. A minimum of two inspections are required a year (May and October) to monitor sediment and pollutant accumulation.
 - a. Inspect the Up-Flo system for sediment building up within the sump. When sediment depth in the sump is found to be greater than 16 inches, sediment removal is required. There should always be a minimum of 8 inches separation between outlet pipe invert and the sediment built up within the sump.
 - b. Media filter bags and drain down filter shall be replaced at least once a year and properly disposed of in accordance with the Up-Flo manufacture's operation and maintenance manual.
 - c. The Up-Flo filtration system shall be inspected for outlet pipe clogging/blockage of debris or ice within the basins. Any blockage must be removed immediately.
 - d. Inspect the structural integrity of the structure/pipe connections. If any structural damage to the inlet/ catch basin structure/ pipe connections is identified the damage shall be repaired.
 - e. For detailed inspection and maintenance requirements refer to manufactures operation and maintenance manual.
 - f. Any other repair or maintenance needed to insure the continued function of the storm water practices or as ordered by the City of Waukesha under the provisions listed on Page 1 of this Agreement.

Minimum Maintenance Requirements for General Maintenance:

To ensure the proper long-term function of the storm water management practices described above, the following activities must be completed.

1. Periodic litter and debris pick up and as needed



UP-FLO® FILTER INSPECTION LOG

Site Name: _____ Owner Change since last inspection? Y N

Location: _____

Owner Name: _____

Address: _____ Phone Number: _____

Site Status: _____

Date: _____ Time: _____ Site conditions*: _____

*(Stable, Under Construction, Needing Maintenance, etc.)

Inspection Frequency Key: A=annual; M=monthly; S=after major storms

Inspection Items	Inspection Frequency	Inspected? (Yes/No)	Maintenance Needed? (Yes/No)	Comments/Description
Debris Removal				
Adjacent area free of debris?	M			
Inlets and Outlets free of debris?	M			
Facility (internally) free of debris?	M			
Vegetation				
Surrounding area fully stabilized? (no evidence of eroding material into Up-Flo® Filter)	A			
Grass mowed?	M			
Water retention where required				
Water holding chamber(s) at normal pool?	A			
Evidence of erosion?	A			
Sediment Deposition				
Filtration Chamber free of sediments?	A			
Sedimentation sump not more than 50% full?	A			
Structural Components				
Any evidence of structural deterioration?	A			
Grates in good condition?	A			
Spalling or cracking of structural parts?	A			
Outlet/Overflow Spillway	A			
Other				
Noticeable odors?	A			
Any evidence of filter(s) clogging?	M			
Evidence of flow bypassing facility?	A			

Hydro International (Stormwater), 94 Hutchins Drive, Portland ME 04102

Tel: (207) 756-6200 Fax: (207) 756-6212 Web: www.hydro-int.com

Inspection Log Page | 1 of 2



Inspector Comments: _____

Overall Condition of Up-Flo® Filter**: ☐ Acceptable ☐ Unacceptable

***"Acceptable" would mean properly functioning; "unacceptable" would mean damaged or required further maintenance.*

If any of the above Inspection Items are checked "Yes" for "Maintenance Needed", list Maintenance actions and their completion dates below or on the Maintenance Log provided on page 15 of the Up-Flo® Filter Operation & Maintenance Manual:

Maintenance Action Needed	Due Date

The next routine inspection is schedule for approximately: (date) _____

Inspected by: (signature) _____

Inspected by: (printed) _____



UP-FLO® FILTER MAINTENANCE LOG

Site Name: _____ Owner Change since last inspection? Y N

Location: _____

Owner Name: _____

Address: _____ Phone Number: _____

Site Status: _____

Date: _____ Time: _____ Site conditions: _____

**(Stable, Under Construction, Needing Maintenance, etc.)*

Estimated volume of oil/floatable trash removed: _____

Sediment depth measured in sump prior to removal: _____

Number of Filter Modules fitted with new media packs: _____

Inspector Comments: _____

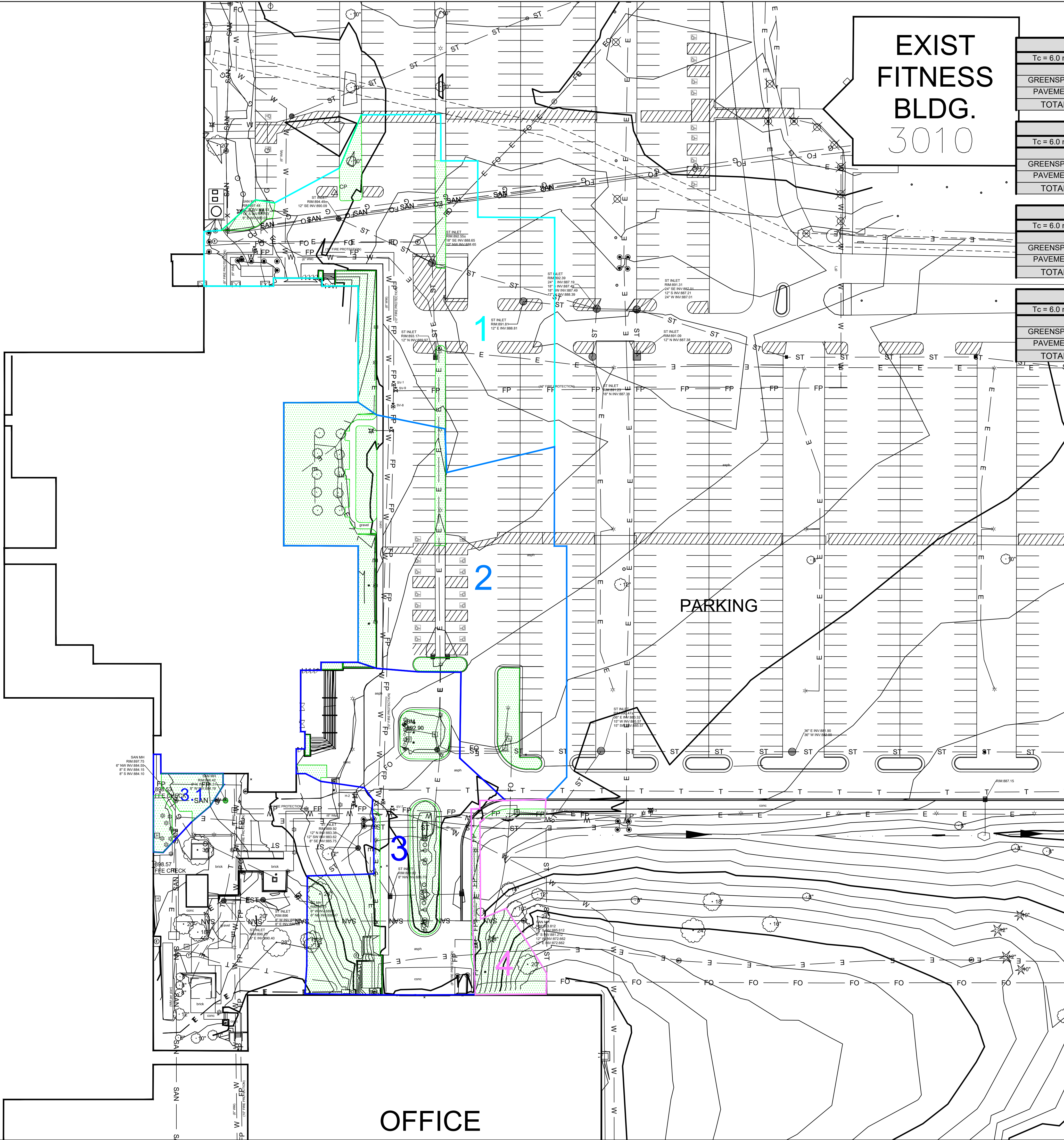
Overall Condition of Up-Flo® Filter: ☐ Acceptable ☐ Unacceptable

***"Acceptable" would mean properly functioning; "unacceptable" would mean damaged or required further maintenance.

Maintained by: (signature) _____

Maintained by: (printed) _____

Appendix G Figures



EXIST
FITNESS
BLDG.
3010

WATERSHED AREA 1			
Tc = 6.0 min.	SF	ACRE	CN
EXISTING			
GREENSPACE	4479	0.10	74
PAVEMENT	40185	0.92	98
TOTAL	44664	1.03	96

WATERSHED AREA 2			
Tc = 6.0 min.	SF	ACRE	CN
EXISTING			
GREENSPACE	11952	0.27	74
PAVEMENT	33535	0.77	98
TOTAL	45487	1.04	92

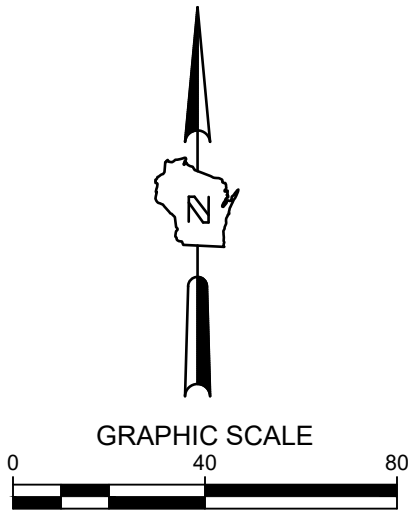
WATERSHED AREA 3 & 3.1			
Tc = 6.0 min.	SF	ACRE	CN
EXISTING			
GREENSPACE	12489	0.29	74
PAVEMENT	21418	0.49	98
TOTAL	33907	0.78	89

WATERSHED AREA 4 - OFFSITE			
Tc = 6.0 min.	SF	ACRE	CN
EXISTING			
GREENSPACE	3854	0.09	74
PAVEMENT	607	0.01	98
TOTAL	4461	0.10	77

LEGEND:

- SUBCATCHMENT AREA 1
- SUBCATCHMENT AREA 2
- SUBCATCHMENT AREA 3 & 3.1
- SUBCATCHMENT AREA 4
- GRASS, GOOD HSG C

THE **SIGMA** GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210



GE HEALTHCARE EXPERIENCE CENTER
3000 N GRANDVIEW BLVD
WAUKESHA, WI 53188
EXISTING CONDITIONS

PRELIMINARY
NOT FOR
CONSTRUCTION

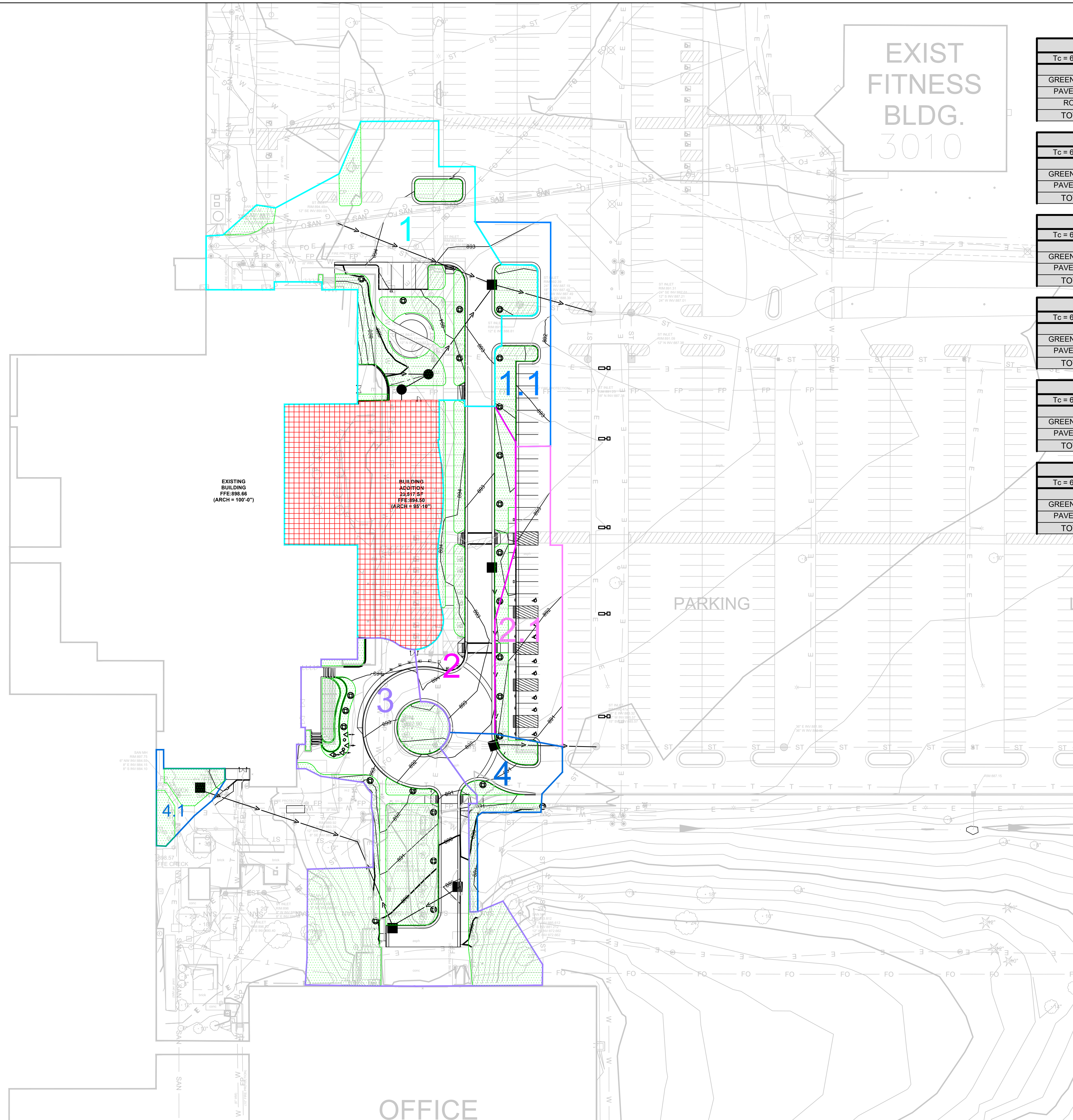
ISSUANCE DATE

CITY RESUBMITTAL

NO. REVISION DATE

PROJECT NO: 23610
DESIGN DATE: ----
PLOT DATE: 2025.07.28
DRAWN BY: AKK
CHECKED BY: ----
APPROVED BY: ----

SHEET NO:
SW 1.0



WATERSHED AREA 1			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	8588	0.20	74
PAVEMENT	25399	0.58	98
ROOF	20517	0.47	98
TOTAL	54504	1.25	94

WATERSHED AREA 1.1			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	1293	0.03	74
PAVEMENT	5417	0.12	98
TOTAL	6710	0.15	93

WATERSHED AREA 2			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	4199	0.10	74
PAVEMENT	11003	0.25	98
TOTAL	15202	0.35	91

WATERSHED AREA 2.1			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	1167	0.03	74
PAVEMENT	9528	0.22	98
TOTAL	10695	0.25	95

WATERSHED AREA 3			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	17528	0.40	74
PAVEMENT	16042	0.37	98
TOTAL	33570	0.77	85

WATERSHED AREA 4 & 4.1			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	3569	0.08	74
PAVEMENT	4260	0.10	98
TOTAL	7829	0.18	87

LEGEND:

-
-  SUBCATCHMENT AREA 1
 SUBCATCHMENT AREA 1.1
 SUBCATCHMENT AREA 2
 SUBCATCHMENT AREA 2.1
 SUBCATCHMENT AREA 3
 SUBCATCHMENT AREA 4 & 4.1
 GRASS, GOOD HSG C
 ROOFS

GE HEALTHCARE EXPERIENCE CENTER
3000 N GRANDVIEW BLVD
WAUKESHA, WI 53188

PROPOSED CONDITIONS

**PRELIMINARY
NOT FOR
CONSTRUCTION**

ISSUANCE	DATE

CITY RESUBMITTAL	
NO. REVISION	DATE

PROJECT NO:	23610
DESIGN DATE:	----
PLOT DATE:	2025.07.28
DRAWN BY:	AKK
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	

SW 2.0

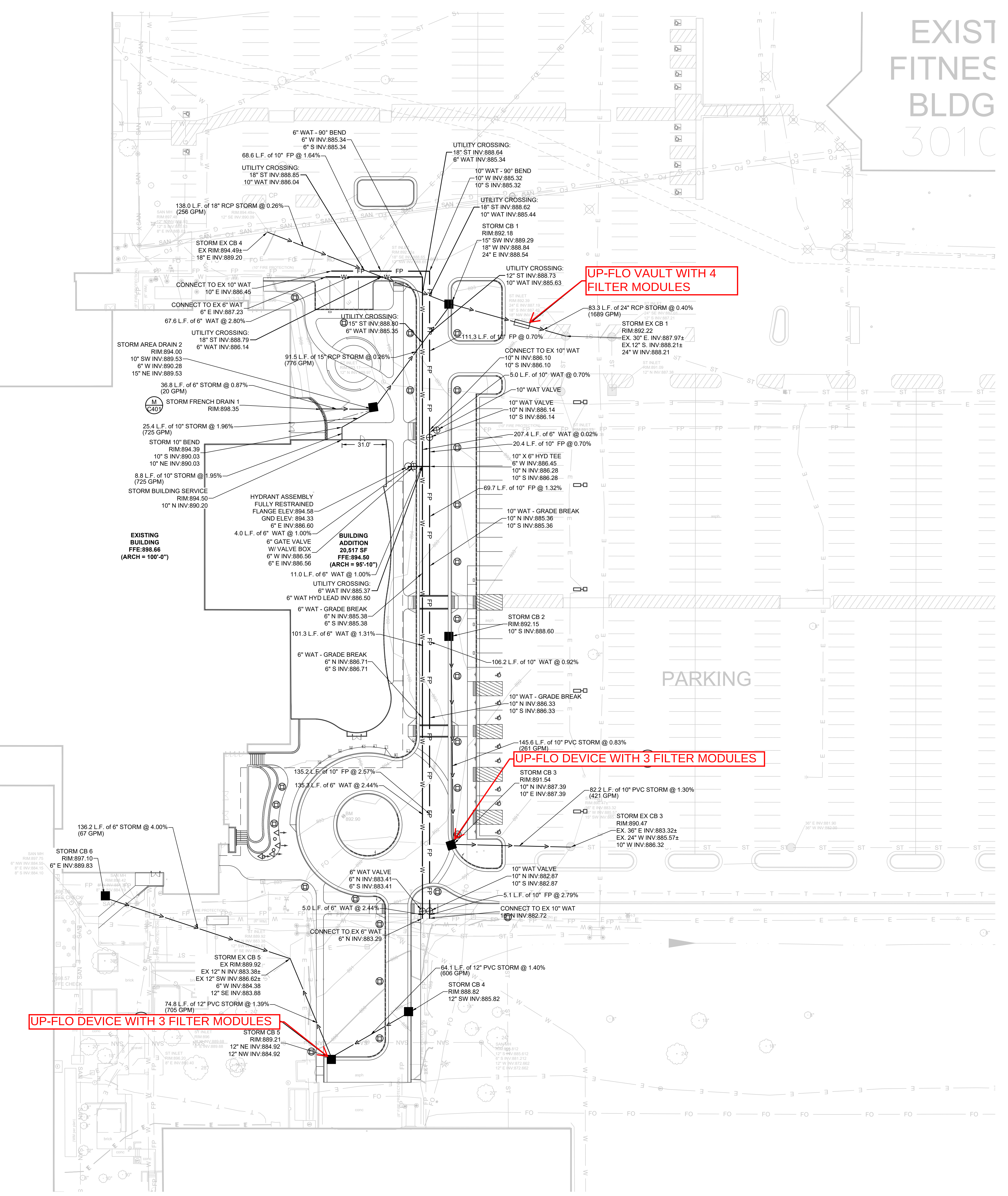
DATE	DESCRIPTION
04.11.2025	PRELIMINARY CITY SUBMITTAL
05.09.2025	SCHEMATIC DESIGN
06.23.2025	FINAL SITE PLAN & ARCHITECTURAL REVIEW
07.28.2025	CITY RESUBMITTAL

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PK

PROJECT NUMBER 223518-01



LEGEND:

— W — PROPOSED WATER SERVICE
— FP — PROPOSED FIRE PROTECTION
— SAN — PROPOSED SANITARY SERVICE
— S — PROPOSED STORM SEWER

■ (L) C401 PROPOSED STORM INLET
■ (J) C401 PROPOSED HYDRANT ASSEMBLY

□ □ □ □ PROPOSED LIGHTING
REFER TO LIGHTING PLAN FOR DETAILS

□ PROPOSED BOLLARD AND LIGHTING
REFER TO LIGHTING PLAN FOR DETAILS

- GENERAL NOTES:**
- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 - ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL REQUIRE GRANULAR BACKFILL. SLURRY BACKFILL IS REQUIRED FOR ALL WORK IN PUBLIC RIGHT OF WAY.
 - PRIVATE STORM INLETS IN PAVEMENT SHALL REQUIRE DRAIN TILE STUBS OF 10 FEET IN TWO DIRECTIONS FOR SUBDRAINAGE. RIM GRADE FOR STORM INLETS IN CURB AND GUTTER ARE FLOW LINE GRADES.
 - WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW MATERIAL AND INSTALLATION REQUIREMENTS PER MUNICIPAL AND/OR COUNTY.
 - PRIVATE STORM SEWER 12-INCH DIAMETER OR LARGER SHALL BE HDPE. BELOW 12-INCH DIAMETER SHALL BE PVC SDR-35 ASTM D3034. PRIVATE WATER MAIN SHALL BE CLASS 235 DR 18 PVC CONFORMING TO AWWA C-900. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D3034.
 - COORDINATE FINAL LOCATION AND DESIGN OF PRIVATE UTILITY SERVICES (ELECTRIC, GAS, PHONE, CABLE) WITH UTILITY COMPANIES.
 - IF PROJECT IS DESIGN BUILD MEP, THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE FINAL SEWER AND WATER DESIGN SHOWING LOCATION, INVERTS AND SIZES TO THE ENGINEER FOR FINAL REVIEW AND VERIFICATION PRIOR TO STARTING UNDERGROUND UTILITY CONSTRUCTION.
 - WATER MAIN CONNECTION: TAP WATER MAIN WITH SIZE AND LOCATION INDICATED ON PLAN IN ACCORDANCE WITH LOCAL WATER UTILITY REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL WATER UTILITY. ALL JOINTS SHALL BE RESTRAINED FROM CONNECTION OF WATER MAIN TO BUILDING WALL. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS. INSTALL MEGA-LUG OR APPROVED EQUAL TIGHT TO WALL FOR RESTRAINT FOR ALL BUILDING WALL PENETRATIONS AS APPROVED BY LOCAL PLUMBING INSPECTOR AND WATER UTILITY. INSTALL THRUST BLOCKING AND MEGA-LUG AT BEND BELOW FLOOR FOR ALL FLOOR PENETRATIONS.
 - INSTALL JOINT RESTRAINT AND CONCRETE THRUST BLOCKS AT ALL OFFSET FITTINGS (TEES, BENDS, DEAD ENDS, VALVES, REDUCERS) USING MEGA-LUG OR APPROVED EQUAL. CONCRETE THRUST BLOCKS SHALL BE INSTALLED PER PILE NOS.44,45,46 FROM THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. SEE DETAIL FOR MINIMUM LENGTH OF RESTRAINED JOINT REQUIRED. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS.
 - ALL SANITARY SEWER TO BE INSTALLED IN ACCORDANCE WITH CITY OF WAUKESHA STANDARDS.
 - ALL APPLICATIONS AND FEES FOR SANITARY SEWER MUST BE COMPLETED AND PAID PRIOR TO CONNECTION TO SEWER SYSTEMS.
 - ANY UTILITY WORK IN THE RIGHT-OF-WAY AND ALL SANITARY SEWER CONNECTIONS TO BE INSPECTED BY THE CITY. NOTIFY CITY 72 HOURS IN ADVANCE OF CONNECTING TO SEWER.
 - WHEN STARTING AN INSTALLATION, THE FARTHEST DOWNSTREAM LOCATION OF THE NEW SANITARY SEWER SYSTEM SHALL HAVE A PLUG INSTALLED AND MAINTAINED BY THE UTILITY CONTRACTOR. THAT PLUG SHALL NOT BE REMOVED UNTIL THE SYSTEM HAS BEEN ACCEPTED BY THE CITY ENGINEER AND DEEMED OPERATIONAL BY THE CITY.
 - ALL PRIVATE WATER FACILITIES WILL NEED TO BE INSPECTED BY THE PLUMBING INSPECTOR.

TO OBTAIN LOCATIONS OF EXISTING UTILITIES AND FACILITIES, CONTACT THE CITY OF WAUKESHA.

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WE STRIVE TO EXCEED YOUR EXPECTATIONS.
WORKING WITH YOU TO EXCEED YOUR EXPECTATIONS.
MILWAUKEE AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



milwaukee | madison | green bay | denver | atlanta

SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210



PROJECT INFORMATION

GEHC EXPERIENCE CENTER

3000 N Grandview Blvd,
Waukesha, WI 53188

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
04.11.2025	PRELIMINARY CITY SUBMITTAL
05.09.2025	SCHEMATIC DESIGN
06.23.2025	FINAL SITE PLAN & ARCHITECTURAL REVIEW
08.01.2025	ISSUE FOR CONSTRUCTION

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

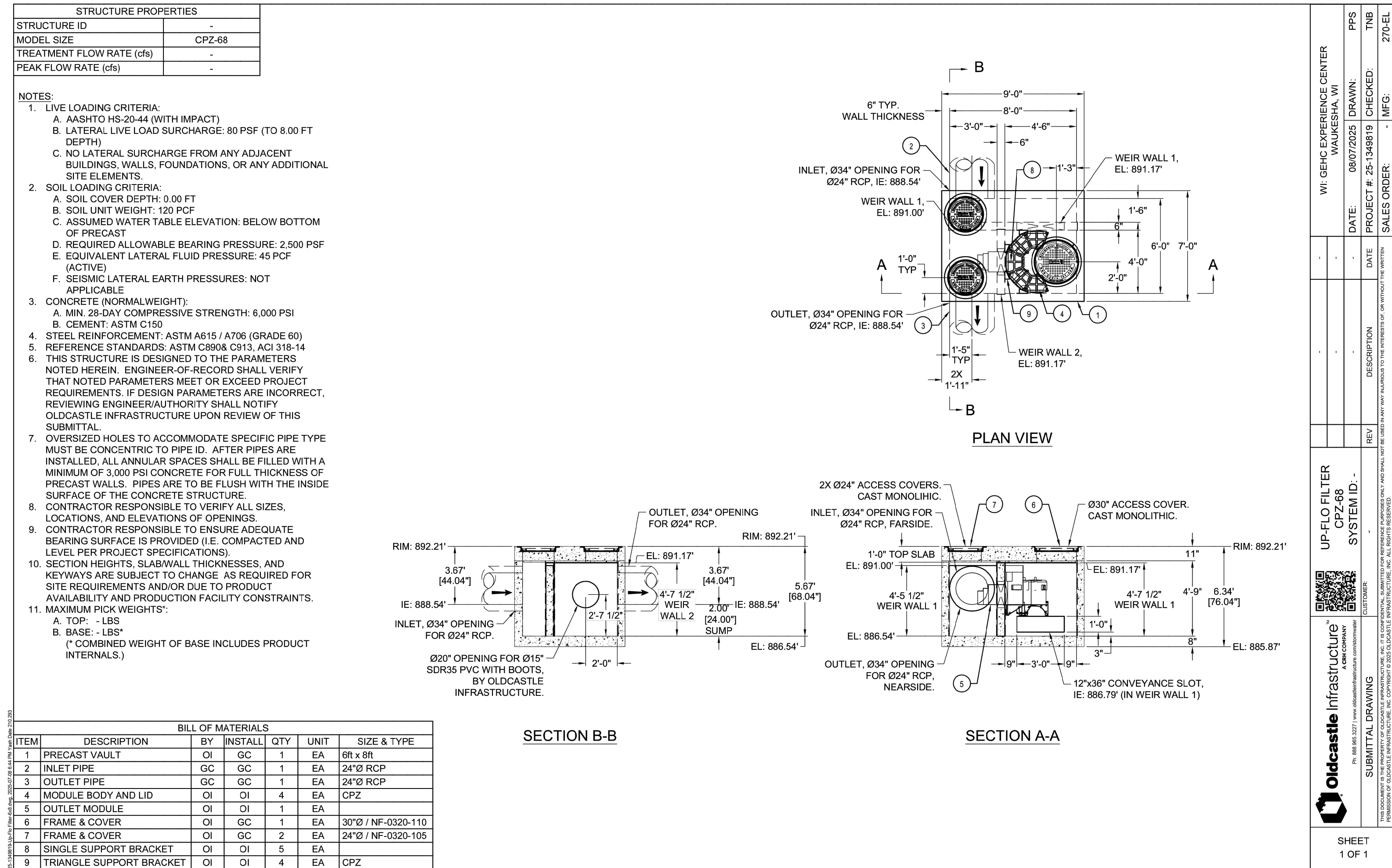
PROJECT MANAGER PK

PROJECT NUMBER 223518-01

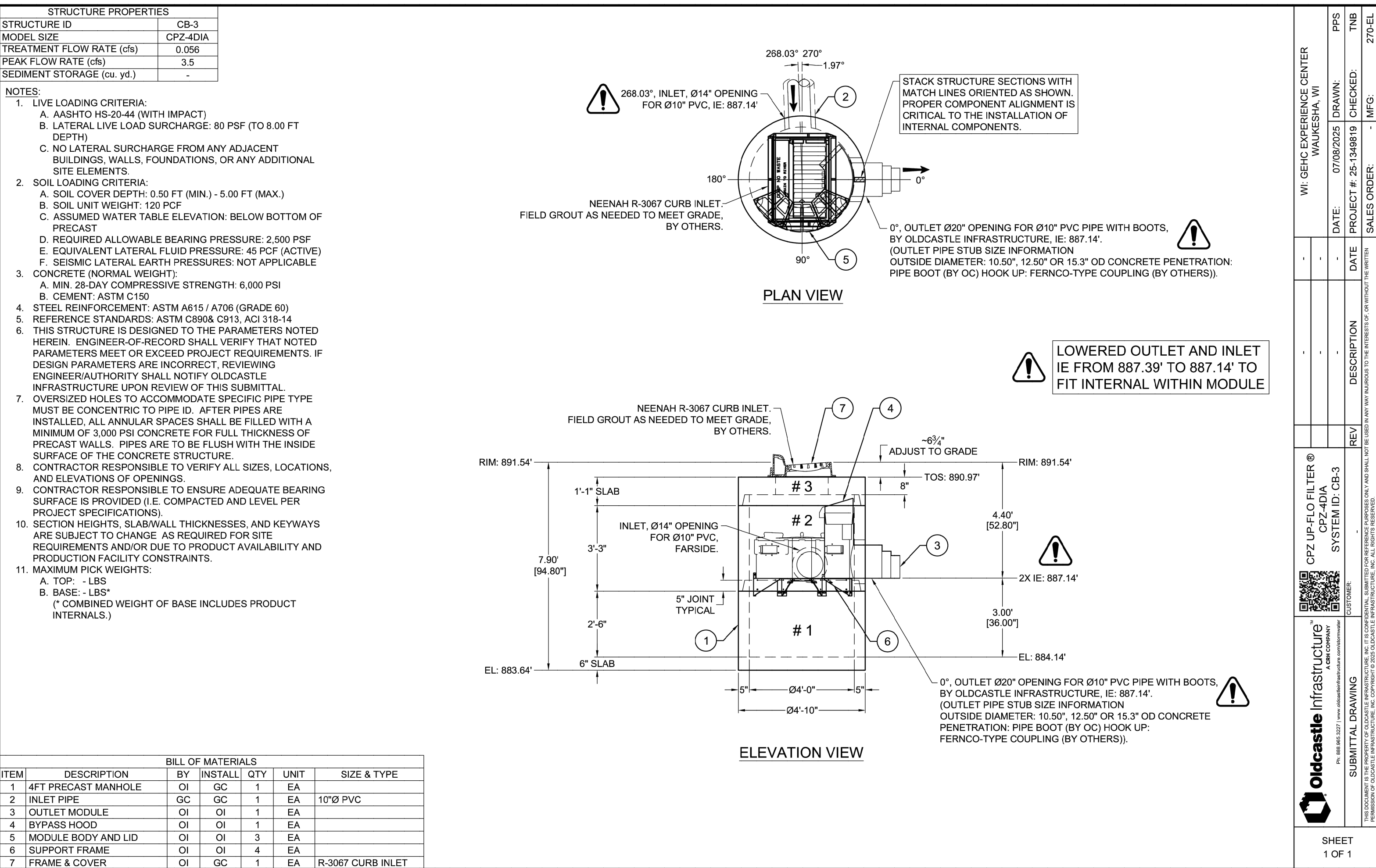
SITE SURVEY

C402

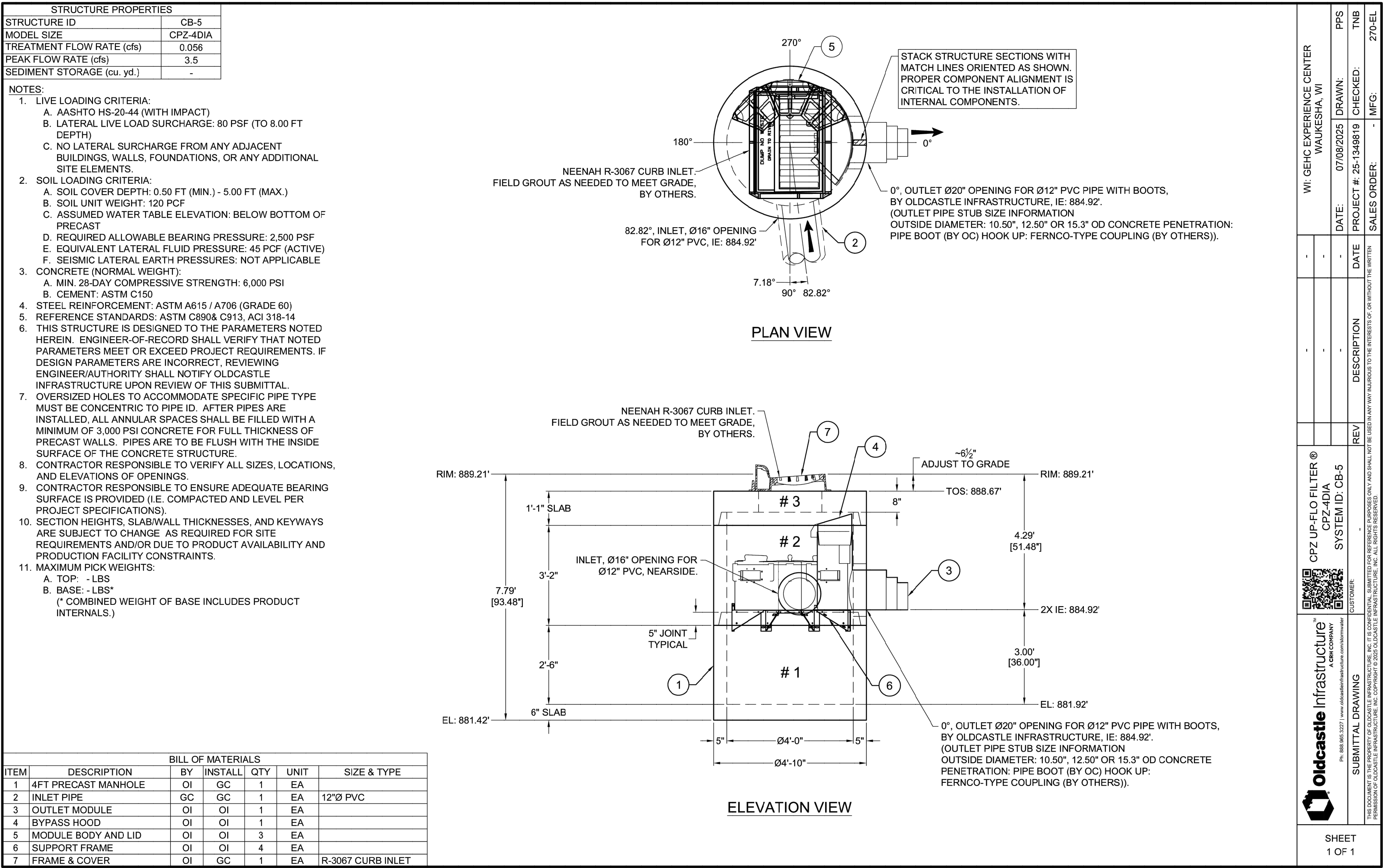
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CB 1 UPFLO FILTER VAULT
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